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○ WING to rather larger professional dealings than we have been accustomed to see of late, the Stock Market took on a more lively air this week. There was some public interest distinctly observable. Such as there was found expression in promising issues that have held back from the general advance, and whose good prospects force them on the attention of buyers. The professional dealings are, of course, guided by the prospective conditions of the money market. At the moment Europe may draw gold from us, although it is such a short time since it moved this way. Nothing could better illustrate the sharp demand that exists for loanable funds than this prompt call for balances whenever they are created, either by trade or the manipulation of exchange. The conditions of the money market for the near future depends to a considerable extent upon Europe, which is likely to draw upon our market whenever it has the opportunity. Not only have ordinary demands over there created scarcity, but the extraordinary facts of the cutting off the Transvaal contribution to the world's supply of gold, and the necessity the British Government will be under to become a borrower to meet war requirements, will make this more severe. The conditions on the other side of the Atlantic will be more or less reflected on this, and correspondingly affect our speculative, if not also our investment, markets. Yesterday's war news gave encouragement to the London market, and the announcement of new developments of a favorable nature on this side, served to give the market quite a confident tone.

VERY little importance need be attached to the talk of a European coalition against Great Britain and in favor of the South African republics. Whatever progress may have been made towards an understanding, it will be balked by official Germany playing the part towards Great Britain, that the latter official and civil played toward the United States at the outbreak of the war with Spain. Moreover, however desirous Russia and France may be to obstruct Great Britain, it is not out of any love for the Dutch in South Africa, and if they contemplate a diversion in their favor, it is because of that ever dominant factor in foreign politics, the prospective China trade. Like the rest of the world, they foresee ultimate victory for the British arms, but the Russian and French statesmen are also astute enough to see something more, and that a something inimical to their own interests. The close of the Boer war, probably at the end of a year's campaigning, will give Great Britain a veteran army of 50,000, or perhaps, 100,000, men, under proved generals, who can be easily thrown into the Far East with the transport and commissary services that will have then been perfected, and practically in a position to dictate her own conditions in China, or at any point in Southern Asia, where her own interests may be threatened by her adversaries, who to-day are pre-eminently Russia and France. These are reflections that will have an important bearing upon the world's trade of the future. Of that of the present it may be said to be a struggle to maintain the present high-rate of activity with an insufficient supply of capital. The war has summarily cut down the gold supply by a third, and to whatever extent increased production elsewhere can offset the loss of that of the Rand, its effect cannot be felt for some time; consequently, high rates for money must remain the order for some months to come, and the hope of really cheap capital banished into a distant future. The maintenance of the Bank of England's 5% rate shows that the comparative ease of the market in the past week is regarded by the best authorities as only a peculiar phase likely to be short-lived. The European financial journals agree in the opinion that relief cannot be expected this year, and are non-committal as to the probable conditions at the opening of next. The movement of money has now, it is true, turned toward the centres of circulation, but

before this has reached any considerable volume provision for the annual settlements will have to be made.

Building in the Philippines.

ALTHOUGH the United States have nominally been in possession of the Philippine Islands since Aug. 13, 1898, and our forces have actually held Manila and the suburbs since that time, still the average American pictures the country as a howling wilderness, and Manila as a rather extensive bamboo and thatched village, while the Filipino is supposed to run about with a curtain ring in his nose and a small thatched roof around his waist. These, at any rate, were very much the ideas of the writer until a year with the U. S. Engineers in Manila effected a complete revision of preconceived notions. From the conclusion of the Spanish campaign on Aug. 13, 1898, till the breaking out of open hostilities with the Filipinos in February, the American authorities were chiefly engaged in organizing and running a provisional government, which, while actually a military rule, should appear and work as much like a civil government as possible, and in general was modeled on former Spanish lines, as far as local laws and usages (including taxes!) were concerned. In this attempt to "bring order out of chaos" it fell to my lot, as an architect, to organize and run the Department of Buildings and Public Lands as a branch of the Bureau of Licenses. In the general confusion of reconstruction, it soon became evident to the various department heads that they would have to take the law into their own hands to a great extent, and in fact make the law, as they groped their way, by the light of nature. But while the profession of "law maker" is not overcrowded, and may seem attractive to ambitious youth, it is "not all jam," and those concerned in the civil government of Manila have doubtless, to-day, a great sympathy for Moses, Solon and John Y. McKane.

The points which engaged attention in connection with the Manila Building Department were many, and included the organization of the Department and the adjusting of license fees and collection of same—the classification of streets and buildings, methods of construction, sanitation, fire limits, and in fact a more or less intimate knowledge of the business conditions and daily life and habits of the people.

To the student of architecture there is another and broader field of interest in the architecture of the city, both old and new, and while little of it stands analysis, it is full of historic interest and suggestion, and Manila will rank with Genoa and Pisa as a picturesque city.

The city of Manila has within its official limits a population of some 300,000 people, composed, in point of numbers, about in the following order: Natives (forming the grand majority and mostly of the Tagalo tribes); Chinese, Spaniards, English, Continental Europeans and a few Japanese and East Indians. Of course, since the American occupation, the army disturbs this proportion if counted as a part of the population, but this would be an improper arrangement. American civilians are as yet numerically insignificant. During the "fool's paradise," from August 13 to February 4, 1899, the tendency of this element was to increase rapidly, but hostilities effectually checked this.

The city itself consists of the ancient walled city or Manila proper, and a number of districts which were originally suburbs and have been gradually absorbed by the growth of the city. These districts, mostly on the north side of the Pasig River, are called the new city, and form the main part of the town in area and population and business activity. On the south side of the river, besides the walled city, are Paco, Nozelada, Ermita and Malate, as well as the famous drive and parade ground, by the bay, called the Lunetta. The old city is practically a great fortress elliptical in form 1 mile by $\frac{3}{4}$ of a mile, with a compactly built town inside its massive walls. The whole is surrounded by a moat and the city entered through seven gates with drawbridges and redans, and is a most excellent specimen of medieval military engineering on the principles of Vauban. This part of Manila, together with the districts of Binondo, Santa Cruz and Quiapo, in the "new city," forms the body of the city, and is closely built of "materiales fortis," i. e., strong material, which means anything from masonry 5 ft. thick to wooden sheds with corrugated iron roofs; always excepting the native structures of bamboo and thatch, which form of construction is the "bete noir" of the building department, health board, and insurance men. In the more remote districts of San Miguel, Sampaloe, and Malaganan, as well as in the southern suburbs, detached modern residences of masonry and frame predominate, and here bamboo houses have been permitted when at a distance of 40 metres from a regular structure and also on the back streets and lots.

In organizing a building department under the American regime, one of the first matters requiring attention was the establishment of "fire-limits," and though but a few weeks had elapsed

since the overthrow of the Spanish rule, bamboo houses and shacks were springing up like mushrooms in all parts of the city, even in close proximity to the warehouses and wharfs, and the English and German insurance companies were clamoring for an abatement of this nuisance. They were the more urgent in the matter as great patches of ruins, including, in two cases, half a dozen blocks in the business section, bore witness to the entire inefficiency of the Manila fire department, or "bomberos" as they are called, and they feared that the demoralization of the transition period would make them quite useless.

As it seemed at this time quite impossible to obtain any reliable information as to former building regulations and fire limits, and as Spanish municipal records and codes were hopelessly confused and contradictory, there was no alternative but to make a tour of inspection of the city and establish new fire limits. Accordingly, armed with a wonderfully inaccurate Spanish map of Manila and mounted on a Filipino charger from the barracks of "His most Catholic Majesty," 10th Regiment of Lancers (the steed being about the size of a Shetland pony), the tour was made, and lines established which were afterwards found to conform pretty nearly with the former lines. At the same time a few brief regulations were written to govern building in general. These rules were submitted to the Provost Marshal General, who approved them, and they were adopted, but, like regulations of all other departments, were not published in the newspapers for various reasons "of state." Consequently, the long-suffering public was rather in the dark as to what it could do and could not do until it came to try it. The "law" was as follows, and it will be seen was rather elastic, so that the "punishment might be made to fit the crime," as the decidedly unstable conditions demanded:

"Within the Walled City and within certain limits, known as 'Fire Limits,' mentioned below, only such buildings shall be erected as shall be constructed of timber, masonry, iron or other approved materials.

"Buildings within hereinafter-mentioned limits must have roofs covered with tiles, tin, corrugated iron or other non-inflammable material. Warehouses for the storage of hemp, jute or other especially inflammable merchandise, within the districts of St. Nicholas and Binondo must have party or 'fire-walls' of masonry, running to and $\frac{1}{2}$ metre above roof line on sides and ends of buildings abutting on adjoining property.

"All buildings must have approved sanitary and drainage arrangements, and be properly connected with sewer or cess-pool.

"Within limits below, no building, booth or shed of bamboo, cane, or nipa shall be erected, except by special permit, and in such case must have metal roof.

"All bamboo, cane or thatched houses or sheds erected within these limits since Sept. 1, 1898, must be removed within 4 days of notice to remove by the military police. Properly constructed 'Kioskos' with metal roofs may be erected within the 'fire limits' by special permit.

"Outside of the 'fire limits,' but within the city limits of Manila, Malate and Ermita, thatched buildings may be built by obtaining consent of adjoining property owners and of the Bureau of Licenses.

"Before commencing building operations, a permit must be obtained from the Bureau of Licenses. This permit shall be necessary for the erection of new buildings or alterations or additions to existing buildings. Ordinary repairs may be made without permit. For new buildings or additions to existing buildings, or for alterations which in any way affect the construction of such buildings, plans must be submitted for approval of the Bureau of Licenses. Failure to comply with the above regulation, or the directions of the Superintendent of Buildings, will render the offender liable to fine according to law."

From the American occupation of Manila on Aug. 13th to the "reign of terror," beginning Jan. 3d, when it became evident to all that hostilities with the Filipinos were unavoidable, there was a prompt and general business revival in Manila. The long tension of the Spanish campaign was over and the majority of the populace, including the enterprising Chinese mercantile element, believed that while the Filipinos demanded recognition, that an amicable settlement might be reached, and they were not slow to take chances of making money again after the many lean years. During October and November retail business quite boomed, and on all sides old buildings were repaired, new ones projected and many plans filed for new business buildings in a burned section on the main street of Binondo in the Chinese section. Of course it was the policy of the American administration to foster this activity and encourage returning business confidence, and by prompt attention to the business of the departments and honesty, to make a pleasing contrast to the endless Spanish "red tape" and universal bribery. All departments of the Municipal Government, however (excepting possibly the Board of Health), were run in Manila, not simply to control affairs under their

supervision, but also as a source of revenue, and it was the distinctly understood wish of the American Governor-General that all departments should take in as much money as possible and make the city self-supporting at the earliest moment. It was, therefore, a problem to justly apportion the rates of taxation for building permits and still bring in the desired revenue. It seemed best to adopt the old Spanish system, with modifications, and lower the rates for moral effect. The plan was to classify the streets of the city (more or less arbitrarily) into four classes, according to their business importance and desirability, and the buildings into classes—warehouses, business buildings, tenements and factories in the 1st class; theatres and city residences, 2d class; country residence (regular construction), go-downs (store sheds), and "kioskos" (octagonal cigar and refreshment stands) in 3d, while the fourth class comprised the miscellaneous ruffraff of bamboo and thatched houses and sheds of the natives. The fees ranged from \$30 to $\frac{1}{2}$ (Mexican). The Chinese and certain Filipino and Spanish land owners were much gratified at the institution of "business methods," and reasonable rates "for first class buildings," while the lower class natives objected most strenuously to the payment of $\frac{1}{2}$ or \$1 (Mexican) for the permit for a bamboo house, even when it was stretching a point in their favor to permit the thing at all. As an illustration of Spanish methods, an English firm (H. F. Andrews & Co., white goods manufacturers), wished to build a well arranged brick factory with boilers and modern weaving machinery, on the outskirts of the city. They readily agreed to any and all stipulations of the department, yet it took them a year and \$2,000 (Mexican) to get the plans approved. An addition to this factory with new boilers was approved in twenty-four hours and at a cost of \$25 (Mexican) under our administration. On the other hand, the Filipino is the paragon of all natural born oppositionists and will not, only after being repeatedly warned, build his abominable cane shack in the most improper place, but will by preference squat on another man's property and cut the rightful owner's throat on the first opportunity if complaint is made against him. He has a most wonderfully developed bump of "square-headed" obstinacy and all warnings are wasted upon him. Only summary proceedings avail. A case in point occurred in an excellent neighborhood in Ermita adjoining the residence of the Russian consul. A well-built residence was burned here, and a week later a native started putting up a large bamboo house with thatched roof and sides. He was at once warned to desist. He would desist for a few days, and then go ahead. The warnings were repeated, till at length the house was finished with a spurt, and the building inspector found him smilingly seated under his own vine and fig tree, surrounded by a large and growing family. Information volunteered by the inspector that he had twenty-four hours in which to vacate produced only a grunt and the "majesty of the law" was only vindicated next day by the aid of half a dozen unwilling native "bomberos" with hooks and axes, and a corporal's guard from the 13th Minnesota regiment to protect them. The furniture was carefully removed and in an hour the house was a dusty memory, and respect and hatred for American authority had both gone up several points in Ermita.

The plans filed at the department for new buildings were mostly prepared by a Spanish architect (the former "Arquitecto de Estades" and two Filipino architects who seemed to have lucrative practices, and whose offices were fitted up much in the style of the average American draughting room. The draughtsmen were exceedingly neat and painstaking in their work. The plans were drawn on a scale of 1 centimetre to the metre and the glossy side of the tracing cloth used. The drawings were accurate, but no dimensions given, and as the buildings were almost invariably on irregular lots it was a mystery how the Chinese mechanics executed the work so successfully. Provision for light and air, even in sleeping rooms and water closets, was entirely disregarded! Plan after plan was submitted for tenements, to be crowded as only Chinese can be crowded and live, with sleeping room, toilets and kitchen all jammed up together, with only distant borrowed light. In addition to this, there are no chimneys used, and the smoke from the kitchen cooking pots is allowed to wander where it will. Injured innocence and mild surprise were expressed on the faces of both architects and owners when it was insisted that the plans be altered to correct these points. The plans submitted comprised floor plans, street elevations and longitudinal sections.

The buildings in Manila, excepting wooden sheds and bamboo houses, may be divided into three classes, from a structural standpoint. First, the solid masonry wall construction with floors either supported on masonry arches or timbers. This class includes almost all churches and ecclesiastical buildings and all important buildings built previous to the great earthquake of 1863. In the second class, which includes the majority of city residences and the better class of houses throughout the country, the walls up to the 2d tier of beams are of masonry, of a local soft conglomerate, or of concrete. The 2d tier of beams projects and car-

ries the frame 2d story and roof. The third-class is the system of construction in vogue at present, and is supposed to be earthquake proof. This system is particularly interesting to an American architect, as it is in principle, practically the same as the skeleton structure now in use for all the iron-frame buildings in America. While a discussion has recently arisen in New York as to the invention of the system and the first building constructed on this principle in this city, it may be interesting to note that this style of construction has been in use in Manila for twenty or thirty years! The accompanying illustrations show examples of these various system of construction. Plate No. 1, from a

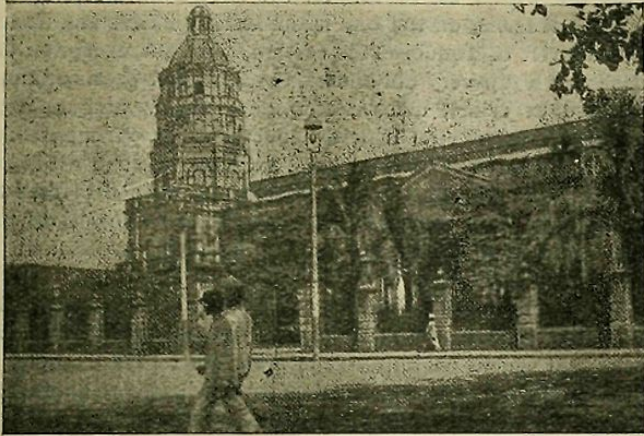


FIG. 1.—SANTA CRUZ CHURCH, MANILA.

photograph of the Santa Cruz parochial church of the first class of construction. The buttress near the apex of this church (not shown in the picture) are particularly massive and project at the base, some 12 ft., and are circular in plan and are battered off to a foot or so at the top. This is a regulation Manila church. Plate No. 2 shows the apse (recently restored) of the Malate church, also of solid masonry. Plate No. 3 is a view of Calle Corriedo, one of the business streets of Manila, and is a typical street scene. The buildings are of the 2d class of construction. Plate No. 4 is from a photograph of the better class of modern suburban residences, occupied mostly by Spanish and English residents. This house was occupied by the American commission to the Philippines. It is a combination of the 2d and 3d classes of construction. Plate No. 5 is a view of a number of business buildings in

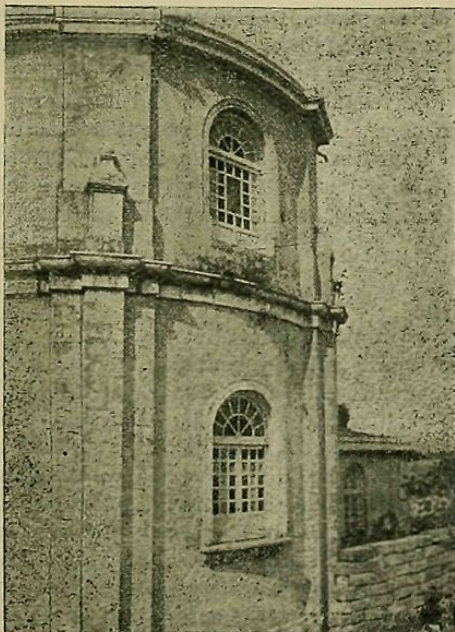


FIG. 2.—APSE, MALATE CHURCH, MANILA.

course of erection on Calle Nueva during the winter of '98-'99. They are all of the last-mentioned class of construction. The ancient buildings which have survived to this day are naturally the most interesting from every standpoint of history, achitecture and construction. The walls are enormously thick, having been successfully built to withstand earthquakes; they have also survived the many disastrous fires that have, from time to time, swept away whole sections of the city. With the exception of the Cathedral, the convent of St. Augustin and the old custom house, which are built of granite, most of the old masonry is of the peculiar soft conglomerate before mentioned. It is cut into blocks about 2 ft. 6 inches long by 10x10, and is readily hewn and fitted by means of a sharp hammer. Walls of this stone are generally covered with a coat of stucco. Heavy as is this style of construction, it was not always proof against earthquake and was abandoned in favor of the new plan after the earthquake of 1863.

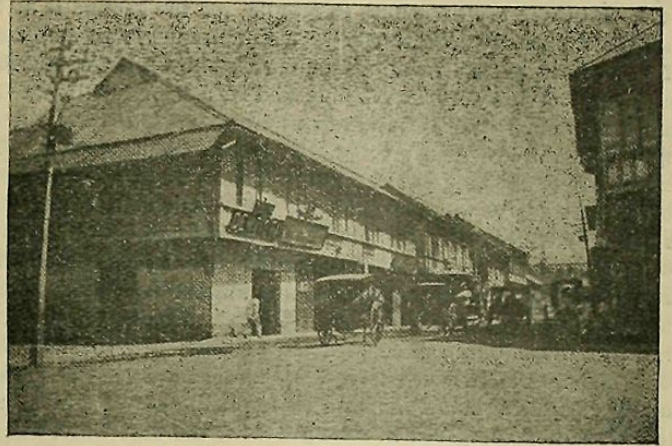


FIG. 3.—CALLE CORRIEDO, MANILA.

Some massive ruins in the walled city show the failure of some buildings of this class, and great, indeed, must have been the fall of them.

Buildings of the 2d or mixed plan of construction were entirely of wood above the 2d tier of beams, in fact the Spanish law at this time was amended so that masonry walls, unless of excessive strength and thickness, could only be carried to a height of 5 metres. The frame of the upper part of the house was cov-

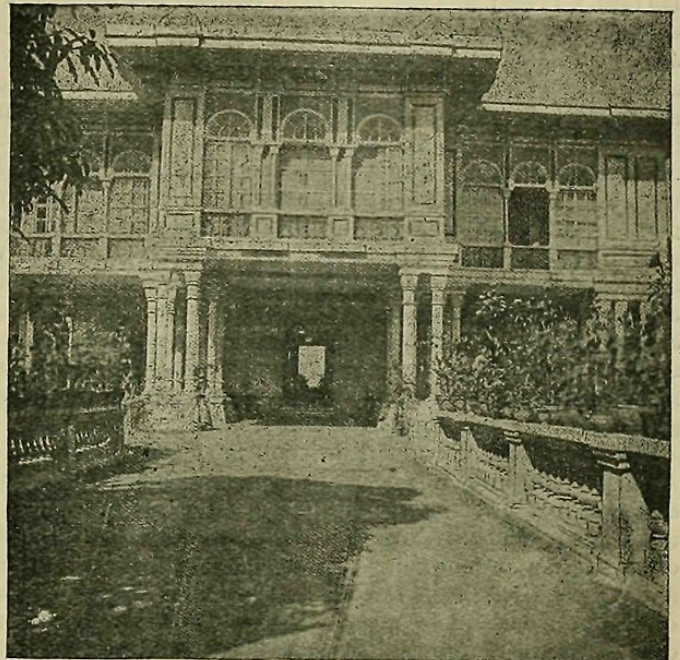


FIG. 4.—EXAMPLE OF BETTER CLASS OF SUBURBAN ARCHITECTURE, MANILA.

ered with a single thickness of broad matched planks and the roof with broad overhanging eaves covered with heavy red Spanish tiles or more recently prosaic corrugated iron, unpainted! The street fronts and rears of these houses, on the 2d floor, is composed entirely of a series of sliding sash so arranged that one slides behind the other until almost the entire front is open. The sash are about 3 ft. 6 ins. broad, and glazed with pieces of mother-of-pearl about 3 ins. square.

In the construction of the regulation modern building in Manila, trenches about 2 ft. deep and 2 ft. 6 ins. wide are dug for the main walls and lines of columns to rest upon. It may be said

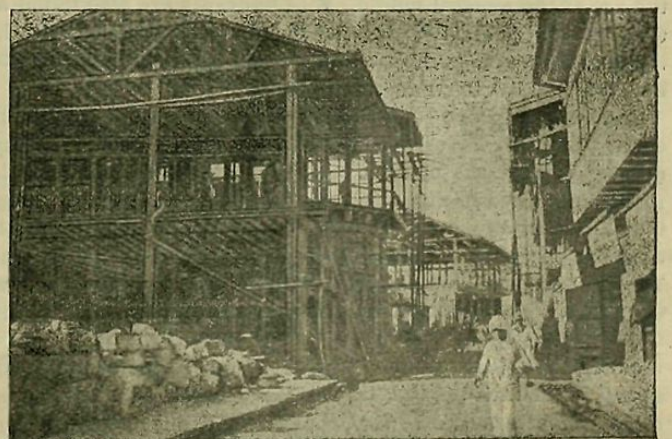


FIG. 5.—CALLE NUEVA (BUILDING IN COURSE OF ERECTION), MANILA.

here, that there are no cellars in Manila, for the ground is so low and the city so cut-up with tideways and streams, that at a depth of 3 to 4 ft. water is struck. These trenches are filled with a footing course of the soft local stone, laid in a poor quality of lime and cement mortar. At intervals of from 12 ft. to 15 ft. the upright columns are then erected. They are about 10x10 ft. The lower part of the columns extending from 8 to 10 ft. is of an incomparable native wood called Ypil, which will neither decay nor is eaten by white ants. This is neatly fished and spliced by a peculiar broken diagonal joint to the upper part of the column which is of a wood similar in appearance and almost as tough. Both of these woods look much like light colored walnut. The entire frame of the building is constructed of these two varieties with some mahogany for floors, rails, etc. These timbers are not listed in any engineer's handbook, and on inquiring of a Spanish engineer how they compared in strength with the best white oak, he said he thought they were about twenty times stronger! We discounted this opinion considerably, but as a matter of curiosity, figured out the sizes of timbers on the basis of white oak for one of the best sets of plans presented, and found that white oak of the sizes shown on drawings would be entirely inadequate to the task. The building was passed, however, without amendment and was as heavily framed as any modern ones, and as far as could be discovered there has never been an accident from the collapsing of any of these structures, nor even a case of a broken girder! This distance from column to column is spanned by two light girders (20 centimetres by 12 cent.) pinned on either side of the column, the pin running through the columns. Floor joists (20 cent. x 12 cent. and spaced 50 cent. centres) rest upon the girders and support the floor which has to do duty often for the storage of considerable merchandise! Both inside and outside walls and partitions are then formed by cross timbering and bracing the outside, curtain walls being then built up in the cross timbering with 9 ins. of very good quality of moulded brick with countersunk bed and top. Inside partitions are either brick filled or boarded. The roof consists of a number of primitive trusses with purlins, which are covered with corrugated iron, and the gable ends are also covered in same manner. The eaves are made very broad and ceiled on underside with galvanized iron with ornamental designs cut out for ventilation. The ceilings of the house are usually of painted and frescoed canvas, tacked to underside of beams above. Windows are of the mother-of-pearl glazed sliding variety, and the first floor windows protected by iron window guards, let into the stout structural frame.

Plumbing from the American standpoint is an unknown art. A few buildings owned by Spaniards or Englishmen have out-of-date washout closets improperly connected and unvented, but this is a great improvement on the average arrangement, which consists of an antique pan closet or more often of a hole leading most any old place! A few of the main streets have been sewered after a fashion by means of a brick-arched, flat-bottomed canal. Where the street had even this arrangement a similar canal was constructed under the house and connected to the public sewer. In most cases, however, a private cess-pool was located somewhere on the premises, while in the outlying bamboo districts, particularly the tough Tondo district, anything or nothing was provided. The lack of proper sanitation is undoubtedly the cause of much of the fever and the always prevalent small-pox. The department endeavored, as far as possible, to correct the drainage system, and particularly to educate the people up to the necessity of proper light and ventilation. With all these adverse conditions, the salvation of Manila, as a habitable city, is the water supply. All parts of the city and even outlying districts are supplied with fairly good water brought in through cast-iron mains from a pumping station 12 miles away on the river at San Tolan. All regularly constructed houses are piped, and public hydrants provided at intervals at the curb for the use of the general public. Fire hydrants are also found at intervals, but the supply is hardly adequate for this extra call, and the engines (such as they are) are often forced to run lines to the neighboring streams and tideways.

The typical native construction which prevails throughout the country, and as far as permitted in the city, is worthy a passing glance. The frame of the house is entirely of bamboo which is readily obtained in any size required, up to pieces 40 ft. long and 6 or 7 ins. in diameter. It has, of course, but little strength but answers perfectly for all the requirements of the native house. The corner posts and intermediate uprights support the whole structure. The first and only floor resting upon girts pinned to the uprights about 4 ft. above the ground. The joists are of 3-inch bamboo, and the floor itself made of strips of split bamboo about 1 inch wide, and lashed tight together. This makes a rather uneven and somewhat shakey floor, but has the advantage of allowing a free circulation of air. The roof consists of rafters resting on kingpost trusses. The openings are framed with bamboos, and lattice blinds swing out from lashings at the top. The

entire sides and roof are usually thatched with dried palm leaves called "nipa," which are neatly tied to slight bamboo cross-pieces which correspond precisely to "shingle strips." The whole structure has the advantage of being cheap, quickly constructed (in fact every Filipino is "his own architect and builder"), and particularly well suited to the climate. In the outlying districts some of the resident Englishmen have lived in these houses by preference, making only slight modifications in construction. As I have above mentioned, these cane houses were built in all manner of possible and impossible places in and about the city, and notwithstanding the endeavors of the building inspectors to limit their numbers, whole settlements of these shacks sprang up during the winter of '98-'99. At the northern extremity of the city and bordering on the Bay is the strictly native and decidedly tough district of Tondo. This section, with the exception of the church and a few very old houses, is entirely of bamboo, and was a hot-bed of crime, disease and insurrection, and during the numerous engagements in and about the city during February, was in large part burned—the fires, strangely enough having been started by the Filipinos themselves—and proved a blessed relief for the temptation was oftentimes strong to rid ourselves of the menace and nuisance by fire, as the Spaniards are said to have done several times before.

On the outskirts of the city there were erected several large native theatres. These were entirely constructed of bamboo and "nipa" and seated on an average from 600 to 1,000 people. The American authorities also erected several large temporary barracks and a small-pox hospital in this style.

The English and other foreign merchants were particularly anxious that more stringent laws should be passed in regard to the construction of buildings in the business portions of town. Fires have been so prevalent and so destructive in the history of Manila that the insurance rates are extremely high. This will doubtless receive the attention of the American authorities at the first practicable moment, and should be augmented with an adequate fire department equipped with modern steam engines. Several of the most prominent English merchants have expressed a belief that as soon as settled conditions should warrant it, there would be a general reconstruction of the old warehouse and business section, and that American structural iron should be an important factor in future business structures.

When, at last, peace shall be established in Luzon, and the various departments can be firmly and properly organized, there should be a great opportunity for the introduction of American specialties and methods. Iron plumbing and drainage machinery and electrical plants, to say nothing of railroads, will be all needed, and needed at once, and the Filipino himself will not be behindhand in calling for them. No city could be more prompt to respond to favorable conditions, and its vitality and possibilities are enormous. But half a chance is needed to give to trade and general improvement such an impetus that this part, at least, of the sleepy East will see a growth, more solid, but as enlivening as the boom of a mining town in "flush times."

FRED. B. HINCHMAN.

THE prayer of the Upper West Side that a beginning of the underground railroad be made in that section, is based upon the urgent necessity for rapid transit there which has been felt so long and borne, it must be admitted, with so much patience. If it were a question of the city's building and operating, doubtless something could be done at once to open up this territory, as the work would soon pay for itself by increased valuations. But the matter is in the hands of a commission who are restricted by the conditions placed upon them by their creator, the Legislature. These conditions require that, while the city can finance the operation, the contractor whom the Commission may employ must operate under lease, as well as construct the railroad, and pay a specified rental to the city. Consequently to secure this contractor the Commission feel that the project must be made as attractive from the profit side as is possible and, therefore, the contract that has been drawn, as will be seen from the statements made in another column of this issue, specifies that a beginning "shall" be made on the section of the railroad running from the City Hall to 59th street. That the railroad was divided into sections for the purposes of construction, is due to the necessity the municipal administration was under to see that they did not undertake to do more than they could carry out from time to time under the constitutional limit of indebtedness, and the demands upon them for other improvements which have to be paid for by the issue of bonds. The selection of the section running through the area of greatest density of travel, and of prospective income for earliest construction, was dictated by equally prudent considerations, and, although everyone will sympathize with the disappointment of the Upper West Side, it is difficult to see how any other arrangement could have

been made in the face of the conditions that existed. At the same time these arrangements do not preclude a contractor from carrying out the work as a whole if he wishes to do so, and is willing to accord the city the necessary pecuniary obligation, but such a contractor is not likely to be obtained. From the remarks made from time to time by people who spoke with authority, it is to be gathered that five years was the minimum of time universally specified for the completion of the railroad, and, judging from the obvious practical considerations, the idea has always been that the beginning should be made at the southern end. The Corporation Counsel, even, while expressing the opinion that the northern end of the city should be first served, did not feel justified in withholding his approval to the contract, which specifies that work shall commence on the southerly section. The delegation of uptown property-owners who waited on the Rapid Transit Commission the other day, also seem to have acquiesced in the arrangement, and everyone is laudably anxious to avoid doing anything that would prevent or delay the commencement of actual work.

The Realty Market.

GENERAL disappointment was expressed with the week's developments in the Real Estate Salesroom. This disappointment was founded, not on any retrogression in the market since last spring, but on the absence of positive signs of advancement. Despite the unfavorable turn which circumstances meantime have taken in speculative building, choice lots sold readily, and, indeed, commanded prices which appear extravagant by comparison with accepted standards. But there was no market for improved property—no more indication of an investment movement than six months ago.

The sum realized at the Eno sale was \$2,322,250. With the exception of two, possibly three, parcels, the improved real estate went to members of the estate. The exceptions were No. 147 West Broadway, at the southeast corner of Thomas street, which was bought by the tenant; Nos. 108 to 114 Wooster street, and, possibly, No. 101 West 64th. The West Broadway property contains a 5-story brick and iron-front building, on a plot 25x50, and is leased at \$4,100, net, per annum. It sold for \$36,000. Nos. 108 to 114 Wooster, two 6-story brick buildings, on a plot 100x100, which rent for \$14,000, brought \$138,000. With the exception of heirs, the principal buyers were Flake & Dowling, and Justice P. Henry Dugro, whose purchases amounted to \$526,000 and \$273,500, respectively. The competition between these two interests for the plot of about 3¼ lots at 8th avenue, 58th street, and the Circle, was the most notable incident of the sale. The bidding started at \$100,000, and advanced to \$210,000, at which price Flake & Dowling obtained the property. They took three adjoining street lots for a total of \$86,000. A high price was also realized at the northeast corner of Broadway and 62d street, where Justice Dugro paid \$175,000 for a plot fronting 117 feet, with a depth of 106 feet, and a northerly line of 164 feet. Oppenheimer & Hammershlag, bought a plot of almost exactly the same size at the corresponding corner of Broadway and 71st street, at the first Eno sale, for \$175,000. The latter location is generally regarded as superior to that at 62d street. On 62d street, adjoining his holdings at the northwest corner of that street and Central Park West, Justice Dugro bought five lots at \$19,700 each. Lots directly opposite on the south side of 62d street, sold at the first Eno sale for \$15,300 each. Flake & Dowling paid \$177,000 for four lots on the southwest corner of Broadway and 65th street, and \$53,000 for a lot at the southwest corner of Broadway and 69th street, opposite the Nevada Apartment House, which they recently purchased. Other Broadway lots between 68th and 69th streets brought \$33,000, and between the same streets on Amsterdam avenue the price was \$22,500. However, with the exception of those by Flake & Dowling, Justice Dugro, F. W. Saltzsieder, G. A. Suter, and, possibly, P. S. Treacy, all purchasers of unimproved as well as improved property, were made for members of the estate.

There is, of course, only one plot like the one bought by Flake & Dowling on the Grand Circle. But the other unimproved holdings also brought fancy prices. The intrinsic value of land uptown has undoubtedly risen since last spring, owing to the erection of so many elevator apartments. However, an important consideration in the generous estimates put upon choice uptown building sites by such judges as Flake & Dowling and Justice Dugro is unquestionably the circumstance that plots sufficiently large for modern apartments are becoming scarce at desirable points.

A speculative holding of uncommon interest was the block front on the west side of 7th avenue, from 125th to 126th street, sold by Samuel Goldsticker on behalf of the Schubart estate to I. Steinhardt, son-in-law of the late Henry Schubart, for \$415,000. Fabulous sums are reported to have been offered for this block

front; once, when it was proposed to locate the World's Fair in Harlem, and, again, when Oscar Hammerstein was preparing to build his Harlem Opera House. A real estate operator who contemplated its purchase had plans drawn for a 10-story apartment house. Still the adaptability of the plot is so uncertain and so much a matter of the future, that the new owner is said to contemplate the erection on it of a 2-story taxpayer. In the voluntary partition sale by Philip A. Smyth of fourteen lots in the block bounded by Westchester and St. Anns avenues, 150th street, and the Port Morris Railroad, all but two were bought by outsiders at prices fixed, in every instance, by spirited competition. The holdings of the Grinnell estate, at Audubon Park, sold in partition by Richard V. Harnett, from one of the handsomest book-maps ever published, were for the most part taken by heirs, although some large plots were bought by the Lansing Improvement Co.

The brokerage branch of the market suffered somewhat from the concentration of professional attention on the auction business. The transactions at private contract were, indeed, a trifle more numerous than last week, but none of them was of first importance. In improved property, the activity was exclusively in dwellings, tenements and low-priced flats. The feature of the trading was the great proportion of uptown building sites and antiquated downtown premises sold for improvement. Probably most of the purchases of this kind were made on the assumption that the cost of construction will be materially reduced by next spring. At any rate, it is noteworthy that most of the buyers were building loan operators, not builders. The interesting announcement was made that a 7-story elevator apartment will be erected on the southeast corner of Livingston place and 16th street, sold by S. H. Stone and Mandelbaum & Lewine. A plot of seven lots on 71st street, near West End avenue, and another of four lots, at 7th avenue and 113th street, were also purchased by builders. The transfer by the Schieffelin and Chisholm estates to Clarence True of the block fronts on both sides of 92d street, between West End avenue and Riverside Drive, which will be improved with fifty private houses, means the continuation on a large scale of the architectural making of this avenue begun by Mr. True some blocks further south. The denial by Mr. Sire of the report that he has sold the Bennett Building robs the budget of its one sensational item. Preliminary contracts are said to have been signed this week for the sale of the Roman Catholic Orphan Asylum. It seems reasonably certain that the successful bid was the one submitted by Richard M. Montgomery for ex-Mayor Smith Ely, Henry Seligman and Jefferson M. Levy. It is learned too late for verification that contracts are to be signed to-day by the Central Realty Bond Exchange and Trust Co., for the purchase of the plot on the east side of Broad street, between Exchange place and Beaver street, to which reference was made some time ago in these columns. The purchase will give the company frontages on four streets, which it is the intention to improve with a modern building.

THE ELEVATOR MANUFACTURERS' POSITION.

An elevator building is practically useless if the elevator does not run.

Investments are made for estates, banks, trust and insurance companies, in real estate. Those who decide where these investments shall be made doubtless read the Record and Guide. This means is taken to give notice that if there is money due the elevator manufacturer on the original contract, this amount will be added to the cost of the first repairs made on the elevator. It would be well, therefore, before making an investment in this class of buildings to know that the elevator has been fully paid for.

Those who erect buildings are of two classes. One who builds in his own name, pays for all he buys, and will do business in no other way. The other uses a dummy and gets all the material he can without paying for it. The latter class within a short period have got upwards of \$100,000 worth of elevators that they have not paid for.

Allowing these men to get elevators in this way has placed the honest builder at a disadvantage, while it has encouraged dishonest men to put up buildings as fast as they could find dummies who could get trusted for material. Nor has it helped the unfortunate dummy, for each in his turn must go down when his master has taken all he has, and has used him to get all the material men's money he can.

So it is believed that the stand taken by this association is not only the wisest for themselves, but is also for the best interest of all excepting those who get money by dishonest methods.

ELEVATOR MANUFACTURERS' CREDIT ASSOCIATION.
New York, October 19, 1899.

BACK NUMBERS WANTED.

Fifteen cents each will be paid for the following numbers of the Record and Guide: 1415, 1421, 1427, 1451, 1452, 1453, 1454, 1463, 1464, 1470, 1526, 1555.—Record and Guide, 14 and 16 Vesey street.

RAPID TRANSIT—ROUTES AND SECTIONS.

The Form of contract for the Construction and Operation of the Rapid Transit Railroad, of which so much has been heard lately, and whose approval by the Corporation Counsel brings the rapid transit project again into the practicable stage, is a document of 222 printed pages. It consists of Chapter I., General; Chapter II., Agreement for Construction; Chapter III., Agreement for Operation—the Lease. To these are added the form of invitation to contractors, or the advertisement inviting bids, routes and general plan and draft of the bond for construction and equipment. The agreement for construction contains full specifications covering 94 pages. The route of the road to be built adopted in the contract is as follows: From the corner of Broadway and Park row, under Park row to Centre st; under Centre st to new Elm st; under new Elm st to Lafayette place; to and under 4th av and Park av to 42d st; under 42d st to Broadway; under Broadway to 59th st; under Broadway (formerly the Boulevard) to 124th st; then by viaduct to 134th st; under Broadway and 11th av to a point about 1,350 feet north of 190th st; to the southeast end of Ellwood st; over Ellwood st, Kingsbridge road and Riverdale av to Kingsbridge Station of the New York & Putnam Railroad, together with a loop under City Hall Park and Broadway, connecting Centre st and Park row; and a branch as follows: Running from 103d st to and under 104th st, crossing Central Park, to Lenox av and 110th st; under Lenox av to 142d st; easterly to and under the Harlem River, to and under 149th st to 3d av; to and under and by viaduct

along Westchester av to Southern Boulevard; to Boston road and Bronx Park. It will be noted that this varies considerably from the route suggested in the report of the Engineer to the Commission quoted last week.

For the purposes of the contract the railroad is divided into four sections: Section I., including the part from the southern terminus at the City Hall to 59th st; Section II., including (a) the part on the west side, from 59th st to 137th st, and (b) the part on the east side beginning with the branch at 103d st and the Boulevard, and extending to 135th st and Lenox av; Section III., including (a) the part on the west side, from 137th st to Fort George, and (b) the part on the east side, from 135th st to Melrose av; and Section IV., including (a) the part on the west side, north of Fort George, and (b) the part on the east side, north of Melrose av. The contractor shall begin with Section I. If and when, within one (1) year after the commencement of work on Section I. the city shall so elect, the contractor shall construct Section II. If and when, after the commencement of Section II., and within two (2) years from the commencement of Section I., the city shall so elect, the contractor shall construct Section III. If and when, after the commencement of Section III., and within three (3) years after the commencement of Section I. the city shall so elect, the contractor shall construct Section IV.

The time allowed for the completion of the railroad is: If consisting of Section I., only 3 years; if of Sections I. and II., 3 years; if of Sections I., II. and III., 4 years, and if of all four sections, 5 years.

Nine Months of Real Estate and Building.

NEW YORK CONVEYANCES.

1899.		Borough Manhattan.			Borough Bronx.			1898.		Borough Manhattan.			Borough Bronx.			
1st quarter.	Total	No.	Amount.	No. nom-inal.	Total	No.	Amount.	No. nom-inal.	Total	No.	Amount.	No. nom-inal.	Total	No.	Amount.	No. nom-inal.
January	914	\$11,761,542	480	362	\$1,447,588	185	January	939	\$7,354,229	553	452	\$1,193,746	208			
February	808	10,110,535	400	347	1,100,584	168	February	874	7,470,725	547	376	1,723,546	178			
March	1,063	17,593,247	535	408	864,104	220	March	1,028	8,720,624	593	494	902,078	275			
Tot'l, 1st quart'r	2,785	\$39,465,324	1,415	1,117	\$3,412,276	573	Tot'l, 1st quart'r	2,841	\$23,545,578	1,693	1,322	\$3,819,370	661			
2d quarter.																
April	1,139	\$14,101,842	532	447	\$1,288,154	215	April	1,002	\$8,320,370	577	389	\$1,087,607	218			
May	1,236	18,688,127	597	535	1,809,251	256	May	847	6,058,100	491	364	618,522	197			
June	1,107	16,579,658	533	537	1,423,277	216	June	1,133	11,499,367	744	406	770,182	224			
Total, 2d q't'r.	3,482	\$49,369,625	1,662	1,519	\$4,520,682	687	Total, 2d q't'r.	2,982	\$25,877,837	1,812	1,159	\$2,476,311	639			
	2,785	\$39,465,324	1,415	1,117	\$3,412,276	573		2,841	\$23,545,578	1,693	1,322	\$3,819,370	661			
Total, 6 mos..	6,267	\$88,834,949	3,077	2,636	\$7,932,958	1,260	Total, 6 mos..	5,823	\$49,423,415	3,505	2,481	\$6,295,681	1,300			
3d quarter.																
July	827	\$9,550,160	429	430	\$1,173,648	174	July	496	\$5,754,161	225	344	\$857,873	141			
August	612	5,368,091	336	323	784,964	162	August	500	6,501,551	223	211	751,184	96			
September	568	4,753,443	344	337	874,421	166	September	534	5,460,915	265	315	976,228	146			
Total, 3d quart'r	2,007	\$19,671,695	1,109	1,090	\$2,833,033	502	Total, 3d quart'r	1,530	\$17,716,627	713	870	\$2,585,285	383			
	6,267	\$88,834,949	3,077	2,636	\$7,932,958	1,260		5,823	\$49,423,415	3,505	2,481	\$6,295,681	1,300			
Total, 9 mos..	8,274	\$108,506,644	4,286	3,726	\$10,765,991	1,762	Total, 9 mos..	7,353	\$67,140,042	4,218	3,351	\$8,880,966	1,683			

NEW YORK MORTGAGES.

1899.—First quarter.		Total No. morts.	Amount.	No. over 5%.	Amount.	No. at 5%.	Amount.	No. at less than 5%.	Amount.	No. to B. T. & I. Co's.	Amount.
January	1,546	\$24,457,088	622	\$6,804,379	562	\$7,391,579	362	\$10,261,130	294	\$9,797,615	
February	1,317	*35,736,061	444	5,310,376	481	*21,463,250	392	8,962,435	380	*23,342,049	
March	1,668	26,287,948	707	7,506,484	553	7,965,284	408	10,816,180	343	8,930,928	
Total, first quarter	4,531	\$86,481,097	1,773	\$19,621,239	1,596	\$36,820,113	1,162	\$30,039,745	1,017	\$42,070,592	
Second quarter.											
April	1,756	†\$50,284,036	701	\$7,875,126	568	\$7,135,095	487	†\$35,273,815	376	†\$32,292,960	
May	2,172	†30,379,503	834	9,556,574	738	9,959,934	600	†60,862,995	510	†60,434,391	
June	1,979	30,263,507	829	9,342,069	670	8,361,801	480	12,559,637	474	11,798,652	
Total, second quarter	5,907	\$160,927,046	2,364	\$26,773,769	1,976	\$25,456,830	1,567	\$108,696,447	1,360	\$104,526,003	
	4,531	\$86,481,097	1,773	\$19,621,239	1,596	\$36,820,113	1,162	\$30,039,745	1,017	\$42,070,592	
Total, six months	10,438	\$247,408,143	4,137	\$46,395,008	3,572	\$62,276,943	2,729	\$138,736,192	2,377	\$146,596,595	
Third quarter.											
July	1,516	†\$61,230,266	602	\$5,725,698	547	\$6,236,880	367	†\$49,267,688	338	†\$49,083,934	
August	1,258	19,240,799	520	6,841,651	449	4,901,168	289	7,997,980	287	7,547,209	
September	1,020	15,077,631	457	3,952,075	318	3,348,196	245	7,777,360	222	7,296,540	
Total, third quarter	3,794	\$95,548,696	1,579	\$16,019,424	1,314	\$14,486,244	901	\$65,043,028	847	\$63,927,683	
	10,438	\$247,408,143	4,137	\$46,395,008	3,572	\$62,276,943	2,729	\$138,736,192	2,377	\$146,596,595	
Total, nine months	14,232	\$342,956,839	5,716	\$62,414,432	4,886	\$76,763,187	3,630	\$203,779,220	3,224	\$210,524,278	
*Includes mortgage of \$15,000,000, New York Gas, Electric Light, Heat & Power Co. †Includes mortgage of \$21,000,000, New York Gas, Electric Light, Heat & Power Co. ‡Includes mortgage of \$45,000,000 to Long Island Railroad Co. §Includes mortgage for \$40,000,000 to Manhattan Ry. Co.											
1898.—First quarter.											
January	1,460	\$17,810,705	605	\$4,546,597	625	\$8,357,833	230	\$4,906,275	266	\$5,280,673	
February	1,260	18,779,527	544	5,885,944	487	7,105,335	229	5,788,248	228	6,747,039	
March	1,654	*42,336,840	708	15,458,618	615	19,702,383	331	7,175,839	340	26,721,817	
Total, first quarter	4,374	\$78,927,072	1,857	\$25,891,159	1,727	\$35,165,551	790	\$17,870,362	832	\$38,749,529	
*Includes mortgage to New Amsterdam Gas Co. for \$11,000,000, and one to the Second Avenue R. R. Co. for \$7,000,000.											
Second quarter.											
April	1,517	\$21,043,747	620	\$4,985,166	566	\$9,022,766	331	\$7,035,815	293	\$8,759,948	
May	1,314	17,041,811	595	5,709,609	543	7,006,327	176	4,325,875	220	5,475,325	
June	1,546	21,338,848	768	8,165,056	581	8,349,942	197	4,823,850	211	5,893,587	
Total, second quarter	4,377	\$59,424,406	1,983	\$18,859,831	1,690	\$24,379,035	704	\$16,185,540	724	\$20,128,860	
	4,374	\$78,927,072	1,857	\$25,891,159	1,727	\$35,165,551	790	\$17,870,362	832	\$38,749,529	
Total for six months	8,751	\$138,351,478	3,840	\$44,750,990	3,417	\$59,544,586	1,494	\$34,055,902	1,556	\$58,878,389	
Third quarter.											
July	973	\$9,601,492	463	\$3,154,264	379	\$4,074,178	131	\$2,373,050	112	\$2,570,662	
August	981	*19,757,309	442	4,173,827	367	*12,465,582	172	3,117,900	190	*12,580,513	
September	1,036	12,506,415	498	3,765,326	360	4,534,956	178	4,206,133	171	4,652,230	
Total for third quarter	2,990	\$41,865,216	1,403	\$11,093,417	1,106	\$21,074,716	481	\$9,697,083	473	\$19,803,895	
	8,751	\$138,351,478	3,840	\$44,750,990	3,417	\$59,544,586	1,494	\$34,055,902	1,556	\$58,878,389	
Total for nine months	11,741	\$180,216,694	5,243	\$55,844,407	4,523	\$80,619,302	1,975	\$43,752,985	2,029	\$78,681,784	
*Includes mortgage to Brooklyn Ferry Co. for \$7,500,000, also to Fulton, Wall & Cortlandt Street Railroad for \$1,000,000.											

NINE MONTHS' BUILDING STATISTICS.

BUILDINGS CLASSIFIED BY DISTRICTS FOR THE MONTHS OF JANUARY TO SEPTEMBER, 1899, INCLUSIVE.

The following tables show the variety of buildings erected in the several districts of the city, and will enable the reader to judge of the character as well as the number and cost of the structures which have been planned during the nine months.

	Total No. buildings projected.	Estimated cost.	Flats and tenements.		Private dwellings.		Office buildings, hotels, stores, churches, etc.		Miscellaneous buildings, stables, shops, etc.	
			No.	Cost.	No.	Cost.	No.	Cost.	No.	Cost.
South of 14th street	444	\$16,713,394	362	\$9,493,800	25	\$1,018,500	54	\$6,563,994	29	\$655,600
Between 14th and 59th streets	214	14,165,555	90	3,634,000	44	8,628,500	44	8,628,500	55	854,555
59th and 125th streets, east 5th avenue	430	12,043,205	313	7,857,900	54	1,769,000	14	1,877,000	49	599,305
59th and 125th streets, w st 8th avenue	285	15,356,000	156	12,306,000	90	2,219,000	11	588,000	28	243,000
116th and 15th streets 5th and 8th avs.	147	6,391,500	138	6,065,000	6	1,000	2	225,000	1	1,500
North of 125th street	347	9,381,894	184	5,785,499	125	1,632,700	12	812,000	20	1,151,695
23d and 4th Wards	1,627	15,284,358	773	10,637,700	611	2,328,485	21	1,531,250	222	786,923
Total for nine months, 1899	3,494	\$89,335,906	2,016	\$55,779,899	911	\$9,007,685	158	\$20,225,744	400	\$4,322,578
Total for nine months, 1898	2,814	\$57,018,231	1,384	\$33,505,600	901	\$8,043,200	150	\$13,950,650	379	\$1,518,781
Total " " 1897	2,771	\$66,207,665	1,228	\$27,241,800	1,078	\$8,355,290	196	\$28,733,625	269	\$1,876,950
Total " " 1896	2,558	\$61,386,775	1,057	\$20,075,250	999	\$7,046,495	241	\$30,223,005	361	\$4,042,025
Total " " 1895	3,131	\$89,663,417	1,632	\$35,807,740	939	\$9,556,595	196	\$22,219,100	364	\$2,079,982
Total " " 1894	1,873	\$38,665,522	597	\$11,848,850	782	\$8,469,445	147	\$16,249,850	347	\$2,157,377
Total " " 1893	1,892	\$50,558,493	609	\$13,289,400	715	\$9,396,300	164	\$23,229,900	404	\$1,642,803

BUILDINGS CLASSIFIED BY MONTHS.

	Total No. buildings.	Estimated cost.	Flats and tenements.		Private dwellings.		Office buildings, hotels, stores, churches, etc.		Miscellaneous buildings, stables, shops, etc.	
			No.	Cost.	No.	Cost.	No.	Cost.	No.	Cost.
1899.—First quarter.										
January	297	\$6,261,579	147	\$4,659,950	85	\$1,48,285	10	\$807,994	25	\$65,350
February	384	7,810,300	202	5,285,100	139	1,259,600	10	707,500	33	558,100
March	547	16,294,858	338	10,040,450	125	1,400,900	25	4,319,000	59	534,508
Total, first quarter	1,228	\$30,366,737	717	\$19,965,500	349	\$3,408,785	45	\$5,834,494	117	\$1,157,958
Second quarter.										
April	529	\$12,683,899	345	\$8,339,899	90	\$846,350	29	\$3,119,000	65	\$378,650
May	495	11,037,805	275	8,238,500	129	1,638,350	24	3,626,000	67	474,953
June	370	9,933,950	200	5,714,000	109	1,309,900	23	2,704,250	38	235,800
Total, second quarter	1,394	\$33,655,654	820	\$22,292,399	328	\$3,854,600	76	\$9,449,250	170	\$1,089,403
Total, six months	1,228	\$30,366,737	717	\$19,965,500	349	\$3,408,785	45	\$5,834,494	117	\$1,157,958
Third quarter.										
July	293	\$9,853,000	141	\$5,831,500	106	\$828,550	12	\$1,608,000	37	\$1,584,950
August	243	6,551,315	124	3,393,000	69	437,000	15	2,386,000	40	335,315
September	328	5,839,200	214	4,297,500	59	478,750	10	948,000	43	154,950
Total, third quarter	872	\$22,243,515	479	\$13,522,000	234	\$1,744,300	37	\$4,942,000	122	\$2,075,213
Total, nine months	2,622	\$67,052,391	1,537	\$42,257,899	677	\$7,263,385	121	\$15,283,744	287	\$2,247,363
Total, nine months	3,494	\$89,335,906	2,016	\$55,779,899	911	\$9,007,685	158	\$20,225,744	400	\$4,322,578

BROOKLYN RECORDS.

	1899.			1898.		
	No.	Amount Involved.	Nom.	No.	Amount Involved.	Nom.
1st quarter.						
January	1,114	\$2,488,129	612	1,494	\$2,420,815	824
February	918	2,474,181	516	1,190	1,683,001	753
March	1,428	2,849,580	834	1,570	3,435,221	856
Total, 1st quarter	3,460	\$7,811,890	1,962	4,254	\$7,539,037	2,433
2d quarter.						
April	1,534	\$4,181,124	855	1,493	\$2,630,772	936
May	1,691	4,533,281	962	1,233	2,388,959	760
June	1,435	4,030,408	849	1,564	2,416,483	965
Total, 2d quarter	4,660	\$12,744,813	2,666	4,290	\$7,436,214	2,661
Total, 6 mos.	3,460	7,811,890	1,962	4,254	7,539,037	2,433
3d quarter.						
July	1,392	\$2,859,830	706	972	\$2,992,687	435
August	1,142	5,209,433	683	1,107	2,461,032	390
September	1,040	1,880,483	665	1,100	3,094,949	556
Total, 3d quarter	3,574	\$9,949,746	2,054	3,179	\$9,148,668	1,381
Total, 9 months	8,146	20,556,703	4,623	8,544	14,975,251	5,094

3d quarter.						
July	1,237	\$4,194,882	430	\$1,417,025	\$07	\$2,777,857
August	1,014	10,442,134	337	1,110,231	637	9,331,903
September	864	3,344,727	341	1,253,523	523	2,091,204
Total, 3d quarter	3,115	\$17,981,743	1,148	\$3,780,779	1,967	\$14,200,964
Total, 9 months.	9,794	\$20,810,916	3,627	\$12,270,766	6,167	\$108,540,210

Includes mortgage to Nassau R. Co. for \$15,000,000.
 *Includes mortgage to Brooklyn Union L. \$16,000,000.
 †Includes mortgage to Long Island R. Co. for \$45,000,000.

KINGS COUNTY PROJECTED BUILDINGS.

	1899.			1898.			1899.		1898.	
	Total No. of bldgs.	No. of bldgs.	Cost.	Total No. of bldgs.	No. of bldgs.	Cost.	1899.	1898.	Cost.	Cost.
1st quarter.										
January	260	99	161	231	79	152	\$969,699	\$960,135		
February	251	135	116	246	95	151	1,348,176	1,130,995		
March	504	255	249	434	213	221	2,247,395	1,700,028		
Total, 1st quarter	1,015	489	526	911	387	524	\$4,565,270	\$3,791,158		
2d quarter.										
April	464	175	289	304	94	210	\$2,050,833	\$1,154,827		
May	437	215	222	210	68	142	2,528,481	683,194		
June	439	171	268	365	135	230	2,391,080	1,408,658		
Total, 2d quarter	1,340	561	779	879	297	582	\$6,970,394	\$3,246,679		
Total, 6 mos.	2,355	1,050	1,305	1,790	684	1,106	\$11,535,664	\$7,037,837		
3d quarter.										
July	415	132	283	273	110	163	\$1,895,133	\$1,278,157		
August	305	97	208	354	127	227	1,308,365	1,539,350		
September	364	162	202	252	112	140	1,866,480	1,209,285		
Total, 3d quarter	1,084	391	693	879	349	530	\$5,124,978	\$4,027,792		
Total, 9 mos.	3,439	1,441	1,998	2,669	1,033	1,636	\$16,660,642	\$11,059,629		

MORTGAGES.

	1899.		1898.	
	Total No.	Amount.	Total No.	Amount.
1st quarter.				
January	995	\$18,813,893†	375	\$1,001,271
February	706	2,829,120	281	990,544
March	1,041	19,945,859*	418	1,461,419
Total, 1st quarter	2,742	\$41,589,472	1,074	\$3,453,234
2d quarter.				
April	1,233	\$4,866,161	424	\$1,361,967
May	1,428	5,209,433	514	1,790,479
June	1,276	5,401,906	467	1,884,247
Total, 2d quarter	3,937	\$15,477,500	1,405	\$5,036,693
Total, 6 mos.	2,742	41,589,472	1,074	3,453,234
3d quarter.				
July	1,034	\$3,991,693	2,532	\$56,203,008
August	1,034	3,991,693	2,532	56,203,008
September	1,034	3,991,693	2,532	56,203,008
Total, 3d quarter	3,102	\$11,975,079	7,596	\$168,609,024
Total, 9 mos.	9,844	\$58,564,551	3,075	\$177,095,266

NOTIFICATION OF ASSESSMENTS.

The Division of Notification was opened this summer in the Bureau for the Collection of Assessments and Arrears, but as yet only 89 requests have been received for the service which it supplies. As will be remembered, a bill, introduced at the instance of the Collector of Assessments and Arrears, Edward Gilon, was passed at the last session of the Legislature, creating the division in question, the function of which is to keep owners, agents and mortgagees of property in Manhattan informed by mail of the charges made against their realty. "As soon as any assessment for local improvements shall have been confirmed, including assessments confirmed by a court of record, and the list thereof shall have been entered and filed in the Bureau for the Collection of Assessments and Arrears," reads the act, "the notification clerk and his assistants shall examine said list and shall thereupon, within 20 days after such confirmation, mail a notice to each person in whose name any lot, piece, or parcel of land affected by such assessment is registered, with the amount of assessment, date of confirmation, title of improvement, and statement of interest or penalty for non-payment, and date from

which the interest or penalty shall be computed." The act went into effect on July 1. To obtain the service supplied by the division a written request must be filed on a printed form furnished for the purpose. Failure on the part of the officials to comply with the request, or any error on their part, does not affect the validity or collectibility of the assessment. The obligations of the owner in respect of penalty remain the same as before the act was passed. Official notice of assessments is also made through the "City Record," the corporation newspaper, and posters, but it is on the "Notice to Property-Owners" column of the Record and Guide that owners and agents rely for information as to these matters. The tax bills, it is true, contain a column for assessments, which is filled out by the Tax Department on application. But these bills are for the most part made out by temporary clerks, who lack the experience to search for assessments, with the result that omissions have been so frequent as to be a serious source of loss to property-owners, who do not systematically consult the column in question. In the Division of Notification a system of reference has been devised by Collector Gilon, which, with a trained and permanent clerical staff, must make errors of omission or commission extremely improbable in the returns they furnish to registered owners.

Condemnation Proceedings.

PRACTICAL SUGGESTIONS FOR THEIR IMPROVEMENT.

The Comptroller of this city has commented unfavorably upon the results attained by condemnation proceedings conducted in its behalf, and while his criticisms are well founded, they represent primarily the city's position, and unconsciously, though naturally, lose sight of the unfortunate consequences which have resulted to the other party vitally interested, the property-owner. No reform will have a beneficial effect unless guided by a comprehensive view of the subject from both standpoints, for while the city at large might apparently receive a pecuniary advantage in wresting property at an inadequate price, it is taken for granted that citizens are not impelled by such a desire, but on the contrary, that they desire justice shall be done with a minimum of expense attending the proceedings.

The position of the person whose property is sought to be taken is most severe. In theory the constitution guarantees him just compensation, but in the way that the Courts have construed his rights, and in the practical conduct and result of such proceedings, the constitutional right becomes an empty form in many instances. Without going into too much detail, we may first note that his compensation is restricted to the market value of the real estate taken. The term "real estate" does not include any personal property used in connection with the real estate, if it be removable without injury to the freehold, even though its value practically may depend entirely upon its connection with the real estate, and even if, upon its removal, it descends substantially to the condition of old junk. Moreover, a though the taking of the property may utterly destroy a man's business, and practically ruin him, still as to this misfortune, he is remediless. This result is reached by the technicality that the condemning party takes only real estate and that removable personal property, business, good will, etc., do not fall under this classification.

The Courts have further engrafted the principle that, the market value of the real estate taken being the limit of the compensation, the value of any subordinate interest, as for example, leases, must be carved out of this market value and thus deducted from the award otherwise payable to the fee owner. At the outset, therefore, landlord and tenant are placed in antagonism, for the tenant, suffering some loss, disdains the fine distinctions as to what is and is not real estate, and strives for compensation, all of which must be at the loss of his landlord. Apart from using it himself, the property-owner must lease his property in order to get an income, but the moment he does, he exposes himself to probable loss if condemnation proceedings are brought.

The proceeding itself proscribes the property-owner. The cheaper his property can be acquired, the greater the honor to the corporation and the louder the acclaim of thoughtless citizens. The corporation counsel, from his public position, is unconsciously vested by commissioners with a quasi-judicial position, though, be it said to his credit, his vigilance, zeal and partisanship cannot be excelled by any advocate. Brought into contact with the commissioners in various ways, their meetings being held at his office, guided by proclaimed devotion to the city's interest, frequently consulted by commissioners in drawing up the reports, the corporation counsel, be his motives ever so lofty, receives and maintains a vantage point distinctly prejudicial to the property-owner, and impossible for the advocate of any other litigant.

To cap the climax the Courts have removed almost the last safeguard of the property-owner in deciding substantially that the promise or obligation to pay on the part of the city is equivalent to payment so far as acquiring title is concerned.

Thus the later statutes provide that title shall vest within a specified time, although payment for the property taken be deferred for years, it being supposed that the accruing interest will compensate for the delay in payment. What want and misery, what pitiable results have thus been wrought, only those who have been brought in contact with the sufferers can believe.

The appointment of commissioners has become a matter of patronage. A public sentiment on this question should be aroused so that the selection of commissioners should be the untrammelled act of the Court to the end that full responsibility for appointees would induce careful and conscientious selection.

The Courts have held that the commissioners should be impartial and unbiased, but no opportunity for challenge in this respect is afforded, probably because this point is mistakenly assumed to be safeguarded by the constitutional requirement that commissioners must be appointed by a Court of Record.

If the award is inadequate, the Courts hold that no relief may be had, unless in those extreme cases where "it shocks the conscience." To render an appeal practicable, some error in principle must be shown, yet in the vast majority of cases, the principle cannot be shown, because the report merely states the figures without disclosing any principle whatever.

Most, if not all, of the evils above outlined, can be easily prevented by legislation, as they are foreign to any idea of justice, and, in effect, nullify the protection which the constitution is assumed to grant.

Coming now to the expenses incident to proceedings, the following points may be worthy of consideration:

First. The city, through its officers, should endeavor more fre-

quently and earnestly to obtain the property by private sale. When a property-owner realizes that his property is wanted, and that condemnation proceedings are threatened, in the absence of special circumstances, the practicability of satisfactory agreement is not too remote to prevent the effort being made. This will prevent much loss of time and interest, and save the expense of legal proceedings.

Second. In cases where the city rejects the offer of the property-owner, and condemnation proceedings ensue, with the result that the property-owner's award equals or exceeds his offer, an allowance for counsel fees should be made to the property-owner limited to a certain amount or percentage.

This would tend to induce an earnest effort to acquire title by private arrangement, and thus prevent proceedings.

Third. Where proceedings have been brought, the hearings should be continuous and uninterrupted until finished, somewhat like the trial of an action.

If busy lawyers could not in consequence act as commissioners, they need not accept the appointment.

Fourth. If hearings cannot be continuous, they should at least be held a certain number of times per week, and should be at least a certain number of hours in length, and to reach this result, the compensation of commissioners should be rigidly based and conditioned upon strict compliance with this requirement, and the power of the Courts to increase this compensation should be abolished.

Fifth. A prolific cause of delay is the fact that the numerous proceedings pending so occupy the time of the assistant to the corporation counsel that his engagements allow but one hearing a week in any particular case. A sufficient number of assistants should be delegated to this class of work to prevent any delay by reason of the engagements of the corporation counsel.

Sixth. The office of Clerk to the Commission should be abolished. Commissioners have shown they need no clerk, and the little detail which he attends to can be readily done by the commissioners themselves. Where the commissioners are able and willing to do the work, the clerk has a sinecure.

Seventh. Stenographers should be regularly employed on salary, and delegated to this work.

Stenographers receiving appointments to report these proceedings, sometimes farm out the work and the intermediate profit is a direct loss to the city. In view of the additional compensation resulting from supplying counsel with copies of the minutes, it would be very easy to secure competent stenographers at moderate salaries.

Eighth. In taking proof of title, time and money could be saved if, instead of filling the record with extracts from documents, etc., the property-owner were required to submit an abstract of title to be verified by the corporation counsel. It is the custom now for the property-owner to show title for, say, twenty years, and then take the witness stand, and testify as to possession and existing encumbrances. Under the plan suggested, the testimony as to possession and encumbrances could be taken, and a prima facie title being shown, the corporation counsel's examination of the title for twenty years past would be far less costly and far more expeditious and certain than spreading it all on the record, to be there perused in the same way, if at all.

Ninth. The statute should not vest the title of improved income-producing real property in the city until the money is paid, or at least ready to be paid, and in the hands of the Comptroller. By thus making the city's need of the land await payment of compensation, a further incentive to speed is invoked, and incidentally, much hardship to the property-owner avoided.

If, however, it be deemed advisable to remodel the proceedings, it might be practicable, with the aid of legislation, even under the present constitutional provision, to have a part of the Supreme Court assigned to the duty of trying these cases with a jury. But, in this event, the jury should be composed of men specially qualified, drawn from a list prepared somewhat in the way provided by a late statute creating the office of special Commissioners of Jurors. This would insure a speedy trial, and in addition, make the place of trial a more equal ground of contest.

Public attention having been directed to the manifold evils resulting from condemnation proceedings, instituted by the city as at present conducted, the subject should not be allowed to drop until such reforms are made that the property-owner shall be relieved from the oppression to which he is now subjected, and the city spared the great loss now occasioned by the unnecessary delay, cumbersome machinery and useless expense which, through supineness and neglect, have apparently become a necessary accompaniment of such proceedings. HENRY F. MILLER.

THE NEW BUILDING LAW.

The Record and Guide's publication of the important new Code will be ready for delivery upon the Mayor's signature, or on Wednesday next. Price, 75 cents.

BLACKWELL'S ISLAND BRIDGE.

Commissioner Shea has approved plans for the proposed bridge from Long Island City to Manhattan, over Blackwell's Island. The approaches are to be, on this side, in the neighborhood of 60th st and 2d av, and on the other, about Rogers and Babbitt sts, Ravenswood. The following particulars have been re-

ported: The new bridge will be 150 ft. wide, and from the East River shore of Manhattan to the opposite shore of Long Island its length will be 2,710 feet. It will accommodate two elevated railroads, two double tracks for trolley lines, paths for bicycle riders, walks for foot passengers, two roadways for heavy teams and also roadways for lighter vehicles. The foundations, which will be concrete and stone, will rest on solid rock. The main pier in Manhattan will be 115 feet high, and the height of the piers on Blackwell's Island will be 118 feet. Additional approaches can be built, one from Astoria and another from Hunter's Point. The estimated cost of the bridge is as follows: Condemnation of land in Manhattan, \$1,485,000; condemnation of land in Queens Borough, \$573,000; main bridge, \$1,392,000; approach in Manhattan, \$930,000; approach in Queens Borough, \$1,360,000; total, \$5,740,000. If the construction of the bridge is begun simultaneously on the Manhattan side, on Blackwell's Island, and on the Long Island side, it is expected that it can be finished in two years. Commissioner Shea states that construction will begin just as soon as Corporation Counsel Whalen has determined whether the Board of Public Improvements or the Municipal Assembly has the final approval of the work before it goes to the Secretary of War. The latter, it is understood, has practically approved all the features of the bridge already.

ROOFERS' LOCKOUT.

Owing to a dispute between two unions, the employing roofers and sheet metal workers have been compelled to lock out their men. The cause of the trouble is explained in the statement of the Employers' Association of Roofers and Sheet Metal Workers given below. It broke out in the shop of A. Schwoerer, contractor for the new power house at 1st avenue and 95th street. The lockout is very effective, over 300 roofers in the shops of 70 employers are affected, and in the shops where the employers refused to lay off roofers, the cornice makers have withdrawn their men. Seventeen firms, not members of the Employers' Association, joined in the lockout. The following is the statement referred to:

To the Architects and Builders and the Building Trades in General of the City of New York:

For some years past a controversy has existed between the two unions existing in our trade, to wit: The Amalgamated Tin and Sheet-metal Workers' Benevolent Association, and the Tin and Slate and Metal Roofers' Union.

The last-named union present a claim that their organization has a certain class of work known as corrugated iron-work and clapboarding.

This class of work has always been considered by those concerned to belong to the Cornice and Sheetmetal workers, and the men of that branch of the trade are the ones most adapted to perform said work; and, consequently, our organization made an agreement with them, in which agreement was included that they should perform said work. This agreement, however, was not entered into with them until every effort on our part had been made to come to an agreement with the roofers, but not succeeding we signed an agreement with the cornice makers.

A few months later the members of the Roofers' Union struck a shop of one of our members for not conceding certain clapboarding to their men, which he, as they know, was unable to do without the consent of our organization. And during the last month we have had several conferences with committees from the Roofers' organization to try to settle the matter amicably, but without success.

Furthermore, the whole question between the unions was submitted to arbitration, and an arbitrator selected who was proposed by the roofers themselves, and he decided the question at issue in favor of the Cornice and Sheetmetal workers.

Notwithstanding this, the roofers still refused to return their men to the shop which they had struck, and at the same time refusing to strike in any other shop.

In consequence of the facts stated, we decided to lock out all the Roofers in the City of New York and Brooklyn Monday morning, Oct. 16th.

EMPLOYERS' ASSOCIATION, ROOFERS AND SHEET METAL WORKERS, Greater New York and Adjacent Cities.

Jacob Ringler, Chairman Executive Committee.

ART AT HIGH SPEED.

The following notice, taken from the "Building News" of San Francisco, shows under how thoroughly congenial conditions the fine art of architecture may be pursued:

PLANS WANTED.

Plans are wanted up to October 16, 1899, for a series of hospital buildings, to cost \$500,000. Address the Clerk of the Board of Supervisors, San Francisco.

Those wishing to compete will have to hurry, as only two weeks are allowed to prepare all the necessary drawings, etc., for buildings to cost a half of a million dollars; plans, specifications and detailed estimate of cost are necessary. It will take one week to prepare a careful estimate for a half a million job, thus leaving a full week of seven days to prepare the plans.

That "full week of seven days" is immense. Time stretched to the limit.

NEW YORK LUMBER TRADE ASSOCIATION.

There was a large attendance at the annual meeting of the New York Lumber Trade Association, held on the 11th inst. The ticket given in our issue of 7th inst. was unanimously elected, and the principal officers are: President, Charles L. Adams; First Vice-President, Richard S. White; Second Vice-President, W. P. Youngs; Treasurer, Charles E. Pell; Secretary, W. R. Bell.

In the course of his address, the President said: "It is generally conceded that the trade has benefited to a greater or less extent through our trade association, organized some thirteen years ago. It does not seem too much to expect that it can be made at least as beneficial in the future as the past, while with wise and conservative management of its affairs by its members it can undoubtedly be made to serve their interests to a greater degree than heretofore." He said also: "The effort within and with the countenance of the association to so regulate prices as to avoid unnecessary and ruinous competition, may have, to an extent, disappointed some of its friends, but in my judgment has proved a decided success. That it has at times failed of accomplishing all that was intended, does not prove that it has not been of great advantage."

The Secretary, in his report, referred to the gratifying results obtained from the credit system of the association, and said the list of delinquent debtors contained a grand total of 1,608, and the total amount collected for members during the life of the credit system was \$86,283.88, not including many accounts that may have been collected by notices. The association has on file reports concerning 1,041 carpenters and builders, or possible creditors of the lumber trade of New York City. Seventeen new members were elected during the year, and six dropped from the rolls. There were three deaths, one that of I. T. Williams, the first president of the association.

Resolutions for the following purposes were adopted: To appoint a committee of five to consider a revision of the by-laws of the association. To appoint a committee to confer with the Master Carpenters' Association concerning matters of mutual interest, and to hold an annual banquet (probably to be held at the Waldorf-Astoria).

George W. McChesney, of 1155 De Kalb avenue, Brooklyn, was elected to membership in the association, and F. P. Maloney was appointed an inspector of Yellow Pine and Cypress, under the rules of the association.

THE AUCTION MARKET.

A comparison of the foreclosure auction business for the third quarter of this year, with that of the corresponding period of last year, contains no features of particular significance. The amounts of property announced for sale in the two periods did not vary much, nor did its final disposition. There is no such remarkable differences in favor of this year as are shown in the totals for the nine months, which are appended for the convenience of readers. The same things may also be said for the voluntary sales, except that the number of the parcels offered sold and withdrawn was greater in the quarter of this year, though the final pecuniary results were not in proportion. This, however, does not prevent this year's results on voluntary offerings, as a whole, still showing up very favorably. The figures are:

FORECLOSURE SALES FOR THE THIRD QUARTER OF 1898 AND 1899.

Flats and tenements.	No.	Amount due.	Bought by—		Withdrawn—		
			No. Plaintiffs.	No. Others.	No.	Amount due.	
1898.....	82	\$1,429,742	55	\$962,978	22	\$404,784	
1899.....	148	2,815,402	74	1,668,608	63	937,612	
Dwellings.							
1898.....	65	\$11,591	40	376,585	14	233,085	
1899.....	77	1,023,429	38	470,524	26	286,985	
Lots and plots.							
1898.....	236	500,909	73	299,999	32	21,065	
1899.....	128	439,504	25	92,345	27	114,612	
Business.							
1898.....	19	2,959,690	10	1,890,795	6	993,056	
1899.....	13	1,014,708	8	933,087	4	96,025	
Total, all.							
1898.....	402	5,701,932	178	3,530,357	74	1,652,890	
1899.....	366	5,293,043	145	3,164,564	120	1,434,634	
Total, 9 mos.							
1898.....	1,200	16,223,404	705	9,260,187	274	4,907,021	
1899.....	1,328	20,910,301	672	11,370,614	417	6,364,554	

VOLUNTARY AUCTION SALES FOR THIRD QUARTER OF '98 AND '99.

Flats and tenements.	Total No. offered.	Sold.		Bid in—		Withdrawn or adjourned.	
		No.	Realized.	No.	Amount.		
1898.....	32	23	\$310,625	..	..	9
1899.....	23	16	204,150	1	\$26,500	6	
Dwellings.							
1898.....	8	8	74,875	..	..	..
1899.....	23	14	60,205	..	..	9
Lots and plots.							
1898.....	52	43	51,345	..	..	9
1899.....	222	80	186,095	..	..	142
Business.							
1898.....	..	..	..	..	..	..
1899.....	6	4	88,603	2	75,750	..	
Total, all.							
1898.....	92	74	436,845	..	..	18
1899.....	274	114	539,053	3	102,250	157	
Total, 9 mos.							
1898.....	866	757	5,435,486	..	..	109
1899.....	2,874	1,870	18,151,338	136	3,190,175	868	

Real Estate Market.

The following are the comparative tables of Manhattan and the Bronx of the Conveyances, Mortgages and Projected Buildings for the corresponding weeks of 1899 and 1898:

CONVEYANCES.		1899.		1898.	
Oct. 13 to 19, inc.		Oct. 13 to 19, inc.		Oct. 13 to 19, inc.	
Total No. for Manhattan	164	Total No. for Bronx	41	Total No. for Manhattan	164
Amount involved	\$1,039,711	Amount involved	\$192,550	Amount involved	\$1,039,711
Number nominal	89	Number nominal	42	Number nominal	89
Oct. 13 to 19, inc.		Oct. 14 to 20, inc.		Oct. 13 to 19, inc.	
Total No. for Manhattan and Bronx	212	Total No. for Manhattan and Bronx	239	Total No. for Manhattan and Bronx	212
Amount involved	\$1,232,261	Amount involved	\$1,613,349	Amount involved	\$1,232,261
Number nominal	131	Number nominal	102	Number nominal	131
Total No. Conveyances, Jan. 1 to date	12,706	Total No. Conveyances, Jan. 1 to date	11,345	Total No. Conveyances, Jan. 1 to date	12,706
Total Amt. Conveyances, Jan. 1 to date	\$123,541,093	Total Amt. Conveyances, Jan. 1 to date	\$80,452,350	Total Amt. Conveyances, Jan. 1 to date	\$123,541,093

MORTGAGES		1899.		1898.	
Oct. 13 to 19, inc.		Oct. 13 to 19, inc.		Oct. 14 to 20, inc.	
Total number for	212	Total number for	303	Total number for	316
Amount involved	\$3,181,707	Amount involved	\$3,676,519	Amount involved	\$3,791,555
Number over 5%	87	Number over 5%	126	Number over 5%	158
Amount involved	\$902,057	Amount involved	\$996,684	Amount involved	\$1,455,900
Number at 5%	51	Number at 5%	99	Number at 5%	109
Amount involved	\$900,370	Amount involved	\$1,339,250	Amount involved	\$1,385,000
Number at less than 5%	74	Number at less than 5%	78	Number at less than 5%	49
Amount involved	\$1,319,300	Amount involved	\$1,340,575	Amount involved	\$950,555
No. above to Banks, Trust and Insurance Co.'s	59	No. above to Banks, Trust and Insurance Co.'s	69	No. above to Banks, Trust and Insurance Co.'s	58
Amount involved	\$1,337,000	Amount involved	\$1,401,500	Amount involved	\$1,526,400
Total No. Mortgages, Jan. 1 to date	15,218	Total No. Mortgages, Jan. 1 to date	12,989	Total No. Mortgages, Jan. 1 to date	15,218
Total Amt. Mortgages, Jan. 1 to date	\$354,624,441	Total Amt. Mortgages, Jan. 1 to date	\$190,020,916	Total Amt. Mortgages, Jan. 1 to date	\$354,624,441

SATISFACTION OF MORTGAGES.
 Total number..... 264 Amount involved.. \$2,526,299

PROJECTED BUILDINGS		1899.		1898.	
Oct. 13 to 19, inc.		Oct. 13 to 19, inc.		Oct. 14 to 20, inc.	
Total No. New Buildings:		Total No. New Buildings:		Total No. New Buildings:	
Manhattan	41	Manhattan	101	Manhattan	57
Bronx	60	Bronx		Bronx	
Grand total	101	Grand total	101	Grand total	57
Total amount for		Total amount for		Total amount for	
Manhattan	\$1,891,360	Manhattan	\$2,212,710	Manhattan	\$677,795
Bronx	\$321,350	Bronx		Bronx	
Grand total	\$2,212,710	Grand total	\$2,212,710	Grand total	\$677,795
Total amount of alteration		Total amount of alteration		Total amount of alteration	
Manhattan	\$72,441	Manhattan	\$91,716	Manhattan	
Bronx	\$13,275	Bronx		Bronx	
Grand total	\$85,716	Grand total	\$91,716	Grand total	
Total No. New Buildings, Manhattan and Bronx, Jan. 1 to date	3,704	Total No. New Buildings, Manhattan and Bronx, Jan. 1 to date	3,704	Total No. New Buildings, Manhattan and Bronx, Jan. 1 to date	2,758
Total Amt. New Buildings, Manhattan and Bronx, Jan. 1 to date	\$95,109,051	Total Amt. New Buildings, Manhattan and Bronx, Jan. 1 to date	\$95,109,051	Total Amt. New Buildings, Manhattan and Bronx, Jan. 1 to date	\$54,806,830
Total Amt. Alterations, Jan. 1 to date	\$5,744,733	Total Amt. Alterations, Jan. 1 to date	\$5,744,733	Total Amt. Alterations, Jan. 1 to date	\$6,081,150

The total number of brokerage transactions reported is 38, with considerations given in 11, amounting to \$598,500. The figures for the corresponding week last year were, 71, 22, and \$2-540,425 for last week, 37, 12, and \$1,694,250.

Richard V. Harnett & Co. have a large amount of property to offer in the auction room during the coming week. Some of their important sales embrace the following parcels, with their dates of sale: The tenements Nos. 234 and 242 West 20th street, Tuesday, 24th inst.; the 4-story flats with stores Nos. 72, 74 and 76 East 125th street, No. 223 West 28th street, and No. 220 West 29th street, factory buildings running through, and the 3-story and basement dwelling No. 226 West 10th street, Wednesday, 25th inst.; the dwellings No. 352 West 123d street and No. 531 West 141st street, and the tenement on the southwest corner of 2d avenue and East 70th street, Thursday, 26th inst. Particulars of these offerings will be found in our business pages, and the auctioneers, at Nos. 71 and 73 Liberty street, will supply maps and full details.

Peter F. Meyer's important sale of lots announced for Tuesday next promises to be well attended. The demand for book-maps, which are now ready for distribution at his office, No. 111 Broadway, is large. The offerings comprise 240 lots, which make up what is known as the Seaman property, located on Broadway and Seaman avenue, Isham Park and 218th street, Park terrace and U. S. Ship Canal. Accommodation to buyers is offered to the extent of 70 per cent. of purchase money at 5 per cent. or 60 per cent. at 4 1/2 per cent. for one or three years. Titles will be guaranteed to purchasers free of charge. Mr. Meyer also announces for the following day, Wednesday, 25th inst., the auction sale of the attractive investment parcels Nos. 118, 120 and 122 Elm street, and the Astor leasehold dwelling, No. 315 West 45th street. Particulars of both these sales will be found on other pages, or can be had with maps of the auctioneer at the address already given.

Wm. M. Ryan announces in our business pages the auction sale of the plot of land and building No. 1185 Fulton avenue for Tuesday next, 24th inst. His office is in the Singer Building, No. 149 Broadway.

James L. Wells calls attention in our business pages to an auction sale of St. Anns avenue lots on Thursday, 26th inst. The lots are located opposite St. Mary's Park, in a substantially improved section, near an elevated station and trolley lines, and have features of special interest to builders. Title Guarantee and Trust Co. will insure titles, and terms include 70 per cent. on mortgage at 5 per cent. For other details reference should be had to our business pages, or to Wm. Shillaber, Jr., No. 1 Broadway, or to the auctioneer, at No. 141 Broadway.

Attention is called to the advertisement on another page

headed "Factory Building For Sale." The property referred to is located on Gold street, Brooklyn, and was at one time occupied by a prominent manufacturing hardware concern. In these times of heavy demand for working facilities this offer should find a ready taker. The owner is Thomas H. O'Connor, and he will furnish terms, etc., at his office, No. 45 Broadway.

D. D. Orrell, No. 60 Liberty street, offers for sale the valuable business properties, Nos. 142 and 144 Greene street, and No. 19 Mercer street, of which dimensions and other particulars will be found in our advertising pages, or can be obtained of Mr. Orrell, at the address named. The first-named building is equipped with steam plant, elevators, etc., and either deserves examination by would-be buyers.

FACTORY AND DOCK PROPERTY.

Business men who are looking for water front property should give careful attention to the advertisement on another page of this issue of the Brooklyn factory and dock property which is to be sold to close an estate. This property fronts on Smith and Centre streets and on Gowanus Canal, and is divided into two plots, each containing large buildings, and which can be bought separately or together. Either would have a considerable frontage on the canal and both together a very extended water front. The price is said to be low, and seller will allow 50 per cent. to remain on bond and mortgage for three years. Application for particulars can be made on the premises or to M. W. H., P. O. Box 1744, New York City, or to Leonard Moody, No. 26 Court street, Brooklyn.

Gossip of the Week.

SOUTH OF 59TH STREET.

Livingston pl, southeast corner of 16th st, 4-sty brownstone dwelling, on lot 18x84; sellers, Mandelbaum & Lewine; buyer, Joseph Polstein.

Livingston pl, No. 8, east side, 18 feet south of 16th st, 4-sty brownstone dwelling, on lot 18x84; seller, S. H. Stone; buyer, Joseph Polstein. This lot, with the corner, gives Mr. Polstein a site 36x84, on which he will build a 7-sty elevator apartment house.

Avenue B, northeast corner of 9th st, old building, on lot 20 3/4 x70.1; seller, Sarah A. B. Downs; buyers, Lowenfeld & Prager; broker, S. De Walltearss.

Pitt st, northeast corner of Broome, old building, on lot 45x55; seller, Angelina Anderson; buyer, Rebecca Cohn.

Mott st, No. 117, south of Hester, 3-sty front and rear tenements, on lot 20x100; buyers, Mandelbaum & Lewine; seller, Murphy estate.

Hudson st, southwest corner of Vestry, plot 33x100, with old 3 and 4-sty buildings; buyers, Gutwillig Bros.

58th st, south side, 100 feet east of 2d av, plot 50x55.4; buyer, Sheriff Thomas J. Dunn; brokers, John F. Doyle & Sons. The buyer owns adjoining property.

50th st, Nos. 231 and 233 West, west of Broadway, plot 43x100, with old buildings; seller, John Pettigrew; buyer, Michael F. McDonald; broker, William M. Ryan; price, about \$32,000.

William st, No. 263, between Pearl and new Chambers, 5-sty building, 30x64.6; seller, Samuel E. Jacobs; buyer, Nicholas J. Brown; brokers, Tuoti & Co.

39th st, No. 514 West, west of 10th av, 5-sty double tenement, on lot 25x98.9; seller, Mrs. Kate Johnson; broker, Herbert B. Rexer.

Market st, northwest corner of East Broadway, lot 13.7x67, with 3-sty brick store; seller, Louis J. Tilby; buyer, David Cohen; broker, Nicholas F. Walsh; price, \$17,000.

21st st, Nos. 37 and 39 East, plot 50x98.9, with old buildings; buyers, Boehm & Boehm; seller, Mary C. Dodge; brokers, M. & L. Hess; price, about \$100,000. The seller bought No. 37 in 1897 for \$40,250, and No. 39 in 1896 for \$36,000. No. 37 was once owned and occupied by President Van Buren.

13th st, No. 541 East, west of Av B, new 6-sty tenement, with stores, on lot 25x89; seller, H. Goldberg, who takes in exchange No. 53 Elm st.

West Broadway, No. 349, between Grand and Broome sts, lot 25x100, with old building; seller, Lydia M. White; buyer, Wm. Rosenzweig, who has resold to Joseph L. Buttenweiser.

37th st, No. 18 East, 4-sty brownstone dwelling, on lot 23x98.9; seller, a Mrs. Woodworth; brokers, Post & Reese.

Rivington st, Nos. 241 and 243, between Willet and Sheriff, 6-sty 4-family tenement, with five stores, on plot 40x70; sellers, Polstein & Feinberg; buyer, Abraham Wise, of Chicago; price, \$75,000 cash.

Bowery, Nos. 231 and 233, opposite Prince, plot 51.6x177; seller, Joseph Coar. The buyer will erect a 7-sty business building.

NORTH OF 59TH STREET.

74th st, No. 54 East, west of Park av, 20x82x102, 5-sty stone front American basement dwelling; sellers, G. & C. Weber; buyer, Jacob Bernheim; brokers, Lalor & Beringer; price, about \$53,000. This is one of a row of three houses begun by the sellers this spring.

134th st, No. 219 West, west of 7th av, 3-sty brownstone dwelling, 16.8x50x100; seller, A. J. Woodruff; buyer, a Mrs. Paterson; broker, W. P. Mangam.

111th st, No. 115 West, west of St. Nicholas av, 4½-sty American basement, on lot 15x100; buyer, a Mrs. Taylor; sellers, Gutwillig Bros.; price, \$21,000.

80th st, Nos. 230, 232 and 234 East, east of 3d av, three 2-sty frame houses; sellers, Julia G. Van Arsdale, Maria L. Downing and Caroline Opper, respectively; buyers, Lowenfeld & Prager; brokers, Eleiman & Co. The purchases comprise a plot 60x102.2.

Bradhurst av, northeast corner of 142d st, 5-sty flat with stores, on lot 25x75; buyer, Jerome L. Scudder; price, \$32,500.

120th st, No. 360 West, east of Columbus av, 3-sty and basement brownstone dwelling, 16x52x100; seller, Mrs. Margaret Munn; broker, Henry Marks.

120th st, No. 364 West, 3-sty brownstone dwelling, 16.8x50x100; buyer, Theodore R. Shean; sellers, J. W. & A. A. Teets.

74th st, No. 152 West, east of Amsterdam av, 4-sty stone front dwelling, on lot 20x102.2; buyer, William H. Arnold; seller, William H. Butler; broker, J. E. Whitaker.

Edgecombe av, No. 102, north of 139th st, 3-sty dwelling, 17x80; seller, T. E. Lane; buyer, Walter L. Johnson; broker, J. V. Graham; price, about \$17,000.

71st st, south side, 400 feet west of West End av, plot 153.9x125; seller, The N. Y. Investment and Improvement Co.; buyer, Kate C. Brown, who will build a 7-sty apartment house.

64th st, Nos. 111, 113, 138, 149 and 151 West, five 4-sty dwellings, 18 to 20x55x100; seller, James Brown Potter et al as executors; buyer, William E. Finn; brokers, Horace S. Ely & Co.

7th av, northwest corner of 113th st, plot 100.11x100; sellers, Edward Oppenheimer and Henry and Edward Hirsh; buyer, E. Block; broker, Leopold Weil. The buyer will erect a 7-sty apartment house.

1st av, Nos. 2125 and 2127, between 109th and 110th sts, 4-sty tenement with store, 25x75; buyer, S. Epstein.

180th st, south side, 95 feet east of Audubon av, 25x100; seller, Max. Marx, who takes in exchange the 4-story apartment house, No. 680 St. Anns av, near 156th st, on lot 26.4x90; buyer, Edward Robinson; broker, W. J. Huston.

90th st, No. 147 East, north side, 20 feet east of Lexington av, 5-story brick flat, on lot 25x100.8; buyer, a Mr. Doyle; seller, Leopold Sonn; price, \$26,000.

69th st, No. 315, north side, east of 2d av, 5-sty flat, 17x80x100; buyer, Samuel C. Baum.

Riverside Drive, Nos. 76 and 77, south of 80th st, two 4-story American basement dwellings; price, \$90,000 and \$85,900, respectively; seller, Clarence True.

71st st, No. 115 West, west of Columbus av, 5-sty single flat, 25x100; sellers, Gutwillig Bros.; price, about \$50,000.

THE BRONX.

Park View terrace, east side, near 198th st, plot 84x107; sellers, Hogenauer & Weslau; brokers, Charles Griffith Moses & Bro.

Willis av, southeast corner of 145th st, plot 50x74, with old buildings; seller, William Mconey; buyer, G. Otto Elterich; broker, Patrick H. Lydon. The buyer will erect two 5-sty flats with stores.

Unicn av, west side, 115 feet north of Home st, 2-sty frame house, 19.4x140; seller, John T. Doyle; buyer, Jacob Newton Nash; brokers, Ghames & Losere.

LEASES.

Schrag & Richtberg have leased the following business buildings: No. 344 6th av, for the Parke estate, at \$7,000 per year; No. 348 6th av, for Louisa Hirschfeld, at \$5,000, and the store and basement No. 529 6th av, for the Chas. F. Hoffman estate, at \$2,300.

Chas. E. Duross has leased No. 291 8th av, formerly part of Ehrich Bros.' dry goods house, to the Agnew Mission Society, for a term of years; also the 4-sty private house, No. 77 Washington pl, for John McDermott to Mrs. Mary Crosby, for three years, at \$1,700 per year.

Abbett & Happ have leased for A. G. Bolton the last of his private houses, No. 350 West 46th st, for a term of years, to Helena Kennedy.

L. J. Phillips & Co. have leased for E. P. Floyd-Jones, as executor, for a term of years, the building No. 24 Whitehall st, to Davies, Turner & Co.

H. L. Moxley has rented to the newly-organized Merchants' Trust Company the banking offices in the Central National Bank Building, No. 320 Broadway, lately occupied by Tefft, Weller & Co. To the Rapid Transit Commission Mr. Moxley leased the larger part of the Broadway front on the fourth floor.

Daniel Birdsall & Co. have leased the store and basement on the northeast corner of Broadway and Worth street, formerly Richter's Cafe, to the Illinois Central Railroad Company, for a term of years, at \$6,000 per year.

OUT OF TOWN.

Wm. M. Ryan sold for the Female Academy of the Sacred Heart its property at Atlantic City to Lewis T. Bryant. The property consists of a plot, 144x800 feet, with frontages on Ohio av and Park pl, about 400 feet from Pacific av, and extends to the ocean. The purchase includes valuable riparian rights, and it is said that the Pennsylvania Railroad is interested in the deal. The price was about \$150,000.

REAL ESTATE NOTES.

Geo. R. Read has removed into his new offices at No. 60 Cedar street.

Charles Weinberg was the buyer of the plot, 50x100, on the north side of 28th street, 125 feet east of 5th avenue.

Wednesday, November 1st, is the last day on which taxes can be paid to get a rebate. After that date they are net to the city. 7th avenue, southwest corner 116th street. The old dwelling house on this plot is being demolished for the owner, Mr. Ernest Ehrmann, who will sell for improvement.

Sydney Fisher, real estate agent and broker, of 54, 56 and 58 Lexington avenue, "Appellate" building, makes a specialty of the care and management of real estate. His business was established in 1845 by the late John Bisco, and Mr. Fisher continues on the same safe lines and with a constantly growing clientele.

A delegation of property-owners from Washington Heights who called on Mayor Van Wyck on Wednesday and asked that something be done for that section of the city in the way of street opening, paving and sewer building, were told to lay their applications before the heads of the different departments, and the Board of Estimate would take them into consideration in making up the estimates.

Justice Dickey, in the Supreme Court, Nassau County, in People ex. rel., John A. Potter v. Thomas Patterson, as Clerk of Nassau County, rendered the following opinion recently on motion for peremptory writ of mandamus: "In my opinion in all the counties of the state outside of the territory comprised in the City of New York it is still necessary, as of old, before Chap. 147, Laws of 1899, was passed, to have certificate of Commissioner of Deeds authenticated by the County Clerk of the County where commissioner resided and acted."

The Commission of Estimate of the school site on 116th and 117th sts, between 5th and Lenox avs, have completed their report. The plot taken is 150x201.10, beginning 295 feet from 5th av, in four parcels. The names of the owners, with the dimensions of their several properties, and the awards, are: Francis Crawford, 25x100, on 116th st, 295 west of 5th av, \$13,750; Samuel Warren, 125x100.11x50x100.11x75x201.10, running through to 117th st, \$95,500; Patrick Reddy, 5x100.11, on 117th st, 295 west 5th av, with wall of building which it is estimated will cost \$3,000 to rebuild, \$4,750; Geo. W. Johnson, 70x100.11, 300 feet west of 5th av, \$24,000.

The 4-story store and office building and three 5-story flats now approaching completion at the northeast corner of 3d and Tremont avenues (177th street), opposite Crotona Park and the Municipal Building of the Borough of the Bronx, have been very carefully and honestly constructed. The owner and builder is James O'Toole, who is well and favorably known as the contractor and builder of many public structures, including the Bronx Borough Municipal Building above referred to. The corner building promises to be quickly tenanted, likewise the flats, two of which are double and one single, all well arranged and up to date.

John J. Kavanagh, broker, whose card appears on another page, has been located on Madison avenue, north of 59th street, since 1881. During these years he has sold to and located permanently quite a number of very prominent citizens in the territory between 5th and Lexington avenues. He has always been a strong believer in the value of 5th avenue and adjacent properties, and many of those who acted on his suggestions by purchasing, have from time to time thanked Mr. Kavanagh for having induced them to settle in such a choice section. Mr. Kavanagh's office is at No. 1031 Madison avenue, and his telephone call 136 79th. His lists of houses, investment properties and lots for sale are very complete.

W. F. & C. H. Smith are now occupying handsomely furnished and well-equipped offices in their new "Smith" building, at the junction of 3d and Willis avenues and 148th street. Their new store and office building is a landmark in the district in which it is located, and is far ahead in appearance and appointments of any building in the Bronx. Less than five years ago Messrs. Smith started in the real estate business on 3d avenue, above Tremont avenue, and three years ago removed to 149th street and 3d avenue, to a structure that bears about the same comparison to the towering and handsome new Smith Building as the great volume of business now transacted by the firm compares with the business of the beginners of less than five years ago. The firm's specialty is the purchase, sale, exchange and appraisal of property, city and country, with well-managed departments for the rental and management of real estate and the placing of mortgage loans. Wm. F. Smith has been chosen one of the local board of managers of the International Banking & Trust Co., whose Bronx branch office is in the Smith Building. For the convenience of their numerous clients Messrs. Smiths' office is open evenings, except Saturday. Their telephone call is 127 Melrose.

THE NEW BUILDING LAW.

The Record and Guide's publication of the important new Code will be ready for delivery upon the Mayor's signature, or on Wednesday next. Price, 75 cents.

Brooklyn.

The following are the comparative tables for the Brooklyn Conveyances, Mortgages and Projected Buildings for the corresponding weeks of 1899 and 1898 given:

CONVEYANCES.		1899	1898
		Oct. 13 to 19, inc.	Oct. 14 to 20, inc.
Total number		295	254
Amount involved		\$430,293	\$585,670
Number nominal		184	128
Total number of Conveyances,			
Jan. 1 to date		12,570	12,209
Total amount of Conveyances,			
Jan. 1 to date		\$31,776,616	\$25,239,776
MORTGAGES.		1899	1898
Total number		239	192
Amount involved		\$580,110	\$630,764
Number over 5%		98	78
Amount involved		\$102,973	\$275,774
Number at 5 per cent. or less		141	114
Amount involved		\$417,207	\$355,140
Total number of Mortgages,			
Jan. 1 to date		10,528	10,297
Total amount of Mortgages,			
Jan. 1 to date		\$123,159,102	\$99,262,369
PROJECTED BUILDINGS.		1899	1898
Number of New Buildings		70	108
Estimated cost		\$353,295	\$318,820
Total number of New Buildings,			
Jan. 1 to date		3,479	2,681
Total amount of New Buildings,			
Jan. 1 to date		\$18,647,026	\$11,981,002
Total amount of Alterations,			
Jan. 1 to date		\$2,172,386	\$1,335,268

*Includes mortgage by the Edison Electric Ill. Co. for \$10,000,000.
*Includes mortgage by the Kings Co. Electric Light & Power Co. for \$10,000,000.

The Building Department has issued the following tabulated statement, showing the number of new buildings, with their estimated cost, completed from January 1, 1897, to September 1, 1899, in each of the wards of this borough. From this readers can see at a glance where the greatest constructive activity has been:

Tabulated Statement Showing Number of New Buildings and Estimated Cost, Jan. 1, 1897, to Sept. 1, 1899, in each Ward of Brooklyn.

Wards.	1899		1898		1897	
	No.	Valuation.	No.	Valuation.	No.	Valuation.
First	3	\$20,600	5	\$57,000	7	\$340,500
Second	1	35,000	6	731,500	14	115,950
Third	2	8,194	5	65,000	8	63,600
Fourth	3	32,500	6	276,716	3	12,125
Fifth	2	313,750	6	52,800	8	37,000
Sixth	1	12,000	21	334,393	12	104,525
Seventh	10	105,600	29	200,815	42	315,200
Eighth	150	745,095	219	1,158,095	215	966,785
Ninth	30	208,600	68	535,600	100	1,035,210
Tenth	14	75,000	17	56,450	32	218,660
Eleventh	5	38,250	5	36,850	11	177,323
Twelfth	14	122,825	11	44,615	21	68,416
Thirteenth	3	93,200	6	24,300	32	234,130
Fourteenth	14	121,675	12	10,665	10	32,500
Fifteenth	10	9,217	19	33,765	5	6,750
Sixteenth	10	118,050	14	168,150	24	249,673
Seventeenth	60	184,560	92	305,854	153	618,958
Eighteenth	19	24,175	40	111,635	44	80,415
Nineteenth	15	71,120	15	251,500	90	327,900
Twentieth	4	66,500	10	59,100	7	108,000
Twenty-first	21	153,500	47	322,450	50	238,750
Twenty-second	63	438,200	103	688,100	121	854,930
Twenty-third	10	35,900	113	730,550	92	631,683
Twenty-fourth	87	420,222	188	1,034,070	118	782,975
Twenty-fifth	17	56,300	119	635,465	116	490,145
Twenty-sixth	146	248,364	249	544,876	265	440,320
Twenty-seventh	29	111,965	56	247,650	77	305,325
Twenty-eighth	138	587,869	180	670,645	165	741,059
Twenty-ninth	308	979,801	484	1,576,195	253	840,494
Thirtieth	343	918,660	455	1,293,074	305	760,505
Thirty-first	163	348,457	193	339,435	230	378,190
Thirty-second	93	293,390	176	399,860	125	278,793

Board of Public Improvements has adopted a resolution that sewers be constructed in Fort Hamilton av, from 62d st to 60th st; in 60th st, from Fort Hamilton av to 14th av, and in 14th av, from 60th st to 41st st. The estimated cost of the work is \$460,000. The assessed value of the real estate included within the probable area of assessment is \$22,310,083. The said Board does determine that no portion of the cost and expense should be borne and paid by the city, but the whole be assessed upon the property deemed to be benefited thereby.

Clifton av, west side, between 2d and 3d avs, 2½-sty frame dwelling, 31x32, to cost \$10,000; Hannah Robinson, 362 Clifton av, owner; Charles P. Baldwin, architect; O. H. & F. Vreeland, builders.

Summer pl, 2½-sty frame dwelling, 22x48, to cost \$3,600; Mary F. Pope, 235 North 4th st, owner; Valentine J. Hobbis, architect; John Love, 153 1st st, builder.

No. 157 South 11th st, 2½-sty frame dwelling, 18x38, to cost \$2,500; George A. Buchanan, owner, architect and builder.

No. 219 Sussex av, 3-sty brick dwelling, 24x100; cost, \$7,500; Park Building Co., owners; Hurd & Sutton, architects; Thomas Reynolds, builder.

No. 168 South 11th st, 2½-sty frame dwelling, 20x56; cost, \$3,500; Emra L. Kellern, 17 Quitman st, owner; Wm. K. Schoering, architect; W. C. Wolf, builder.

Parker st, west side, between 2d and 3d avs, 2½-sty frame dwelling, 21x32; cost, \$4,000; James Robinson, 362 Clifton av, owner; Chas. P. Baldwin, architect; O. H. & F. Vreeland, 8th av, corner Summer av, builders.

No. 69 Fairmount av, 3-sty frame dwelling, 23x52; cost, \$4,500; E. Storsberg, owner; Carl F. Rohmann, 756 Broad st, architect; Frey & Kurz, 390 South 9th st, builders.

No. 43 South 9th st, 2½-sty frame dwelling, 22x30; cost, \$2,800; Collyer & Coddington, 12 Hedden pl, owners; M. E. Vanderhoof, mason work.

BUILDING MATERIAL MARKET.

CEMENT.

Like most other branches of the Building Material Market, the cement market has been firm, with a decided inclination toward higher prices. The one complaint of the dealers is that they are unable to fill their orders, as their mills are so crowded with contracts that they cannot begin to fill them on time.

The increased cost in the production of Portland cement of from 8 to 12c. per bbl. has been caused by the advance of prices of materials, both raw and manufactured, which enter into the manufacture of cement. The same has been the case with European cement, the prices of which have already been advanced, and the manufacturers of which are now refusing to fill orders at last month's prices, demanding another increase. For these reasons it would seem that it would be well for dealers to order their necessary supply without delay.

Rosendale prices will be advanced by December 15th. The condition of the cement trade is not singular. Iron and steel have been marked up steadily, and almost every other material is commanding higher prices now than for years past. There has also been a marked advance in the cooperage market, and the increased demand will not tend to lower prices.

A NEW FIRM.

It is with pleasure that the Record and Guide announce that Mr. Max. E. Miller, who for some years has been the city representative of the Newark & Rosendale Cement Co., has taken up additional duties in the form of a partnership, under the name of "The Warner-Miller Co.," New Haven, Conn., to carry on a wholesale business in masons' building materials. Mr. Miller's office is at No. 39 Cortlandt st.

A NEW CEMENT.

Among the recent improvements in Domestic Portland Cements is "Keene's American," manufactured at St. Lawrence, Kan., by East Bros. & Co., Ltd. This cement is said to be an improvement on many of the Patent Cements. It is thought that it will prove more satisfactory than any now in the market, and also that it will compare favorably with English and German Cements. It is made of an Alabaster Rock, and when used as a gauging material in connection with lime and sand, according to the manufacturer's formula, makes the finest plaster material ever put on the market.

BRICK.

In the Brick market business has been very brisk, with a hardening tendency.

Sales of fireproofing materials have been very good, but Terra Cotta has been dull.

Said one firm: "We never before, save once (1886), have had so large a year's trade, and we look forward to its equal next year."

"The recent sudden deliveries of iron on contracts," said a manufacturer, "have put us in a very crowded condition. We are running our yards full, and even then cannot fill our orders. For this reason, whoever now needs bricks will have to pay an advanced price."

James R. Sayre, Jr., & Co., of 207 Broadway, have a contract to furnish 3,000,000 common brick for the new residence of Mr. William K. Vanderbilt, Jr., at Oakdale. R. H. Hunt is the architect. D. C. Weeks & Sons are the builders.

Building News.

MERCANTILE.

1st av, east side, 38th and 39th sts, plot 200x276, fronting on 1st av, and running to the East River. The New York Gas and Electric Light, Heat and Power Co. have completed plans for a large brick and stone fireproof power house to be erected on this plot. The building will be equipped with sixteen vertical engines, each connected with a 3,500-K. W. generator, and will have a maximum capacity of 128,000 horse power. There will be fifty-six water-tube boilers. The engine-room will be divided into two parts, separating the engines from the boilers. The building will be three stories high, the third floor being used for coal bunkers, and will have a storage capacity of 9,000 tons. The engine-room will occupy the main portion of the building, the front end and south side of the building will be used for electrical apparatus, switchboards, offices, storerooms and shops. The plans were drawn by the company, at their offices, Nos. 53 to 57 Duane st. The contracts for structural iron and steel has been awarded to Milliken Brothers, and for boilers to Thayer & Co. Estimates will be taken next week on mason work, and a number of leading masons have been invited to bid.

74th and 75th sts, Avenue A to East River. The Manhattan Elevated Railroad has broken ground for a new power house to be erected on this block. They purchased forty odd lots in the block this spring. The plans for the building were drawn by the engineering department of the company. No contracts have been awarded.

26th st, No. 45 East. The old building on this plot has been demolished; at the office of the owner, The Edison Electric Illuminating Co., it was stated that they had not definitely decided

how it would be improved, but they would probably build an addition to the 26th st station of the company, which it adjoins.

Washington st, Nos. 385 and 387. Franklin Baylies has been selected architect for the 6-sty brick and stone warehouse, to cost \$20,000, to be erected on this plot, as mentioned in our issue of October 14th.

Westchester av, south side, 54 feet west of St. Anns av, 6 or 7-sty stores, stable and storage warehouse, on plot 100x100; Albert Rothermel, No. 663 East 144th st, architect and builder. The first story will contain a large store with bowling alleys; also a large market; the upper part will be used for stalls and storage.

Hudson st, southwest corner of Vestry, 7-sty semi-fireproof warehouse, 100x33; William C. Dewey, owner. Franklin Baylies, Bible House, is drawing plans for another building for the same owner, to be erected at Nos. 385 and 387 Washington st.

APARTMENTS, FLATS AND TENEMENTS.

7th av, east side, 116th to 117th sts, plot 200x175. The W. W. Astor estate, No. 21 West 26th st, have broken ground for a 12-sty brick and stone fireproof family apartment house, which they will erect at this location. The plans have been completed and will be filed next week.

4th av, No. 431, 7-sty bachelor apartment hotel, on lot 32.4x100; Thomas H. Bell, No. 120 West 134th st, owner and builder. The building will be of brick and stone, have electric light and elevator, power from the street, steam heat and telephone service. Moore & Landsiedel, No. 2861 3d av, were owner's architects in a previous operation.

29th st, No. 101 East, 8-sty bachelor apartment house, on lot 45x100; the building will be fireproof and front will be of brick and stone; Joseph Fleischman, No. 1115 Broadway, owner; Buchman & Deisler, No. 11 East 59th st, architects, will be ready to take bids in about two weeks.

74th st, between 1st av and Av A, K. M. Wallack & Son, who have just purchased a plot, 200x100, on this street will improve by the erection of eight 5-sty flats. George F. Pelham, No. 503 5th av, has been their architect on other occasions.

101st st, north side, 250 west of West End av, 50x100.11; T. Judson Kilpatrick, who has just purchased this property, will complete the two 6-sty flats now on the property. These buildings were started in 1898 by Joseph Cirrito, and are enclosed and plastered; they require plumbing, woodwork, tiling, etc.; Neville & Bagge, No. 217 West 125th st, drew the plans.

Amsterdam av, northeast corner of 131st st, four 5-sty brick tenements, 100.9x100. John C. Barth, No. 133 West 103d st, who recently bought these unfinished buildings at foreclosure, will complete them. The buildings are enclosed, but require plastering, plumbing, heating and woodwork. The plans were drawn by Neville & Bagge, No. 217 West 125th st.

Livingston pl, southeast corner of 16th st, 7-sty elevator apartment house, on lot 36x84. Joseph Polstein, No. 222 Henry st, owner and builder.

74th st, south side, 150 feet west of Av A, two 7-sty brick flats and stores, 25x91; total cost, \$75,000; Joseph Weiss, care of architects, owner; Moore & Lansiedel, 2861 3d av, architects.

Monroe st, Nos. 279 and 281, 6-sty and basement brick, stone and terra cotta flat and stores, 25x100; Pizer Brothers, 123 East 65th st, owners; G. F. Pelham, 503 5th av, architect (plans only). Old buildings now on plot partially torn down.

7th av, northwest corner of 113th st, 7-sty brick and stone elevator apartment house, on plot 100.11x100; E. Block, No. 2628 Broadway, owner and builder.

Tinton av, east side, 221.11 feet north of Kelley st, three 3-sty frame flats, 20x60; cost, \$6,000 each; Henry V. C. Jenkins, 83 East 116th st, owner; Moore & Lansiedel, 2861 3d av, architects.

St. Nicholas av, west side, 118 feet north of 113th st, two 6-sty brick and stone flats, 20x105; cost, \$70,000; Gundlack & Koch, 204 East 86th st, owners; John Hauser, 1441 3d av, architects. (Plans only.)

Ridge st, No. 132, 6-sty and cellar brick, stone and terra cotta stores and tenements, 25x89; cost, \$25,000; Louis Srokam, 258 Delancey st, owner; Horenburger & Straub, 122 Bowery, architects.

Mott st, No. 117, 6-sty and basement brick, stone and terra cotta store and tenement, 24x90; cost, \$25,000; Kidansky & Levy, 205 East Broadway, owners; Horenburger & Straub, 122 Bowery, architects.

DWELLINGS.

56th st, Nos. 30 and 32 West, 6-sty dwelling, on lot 41x100; Henry Seligman, owner; C. P. H. Gilbert, No. 1123 Broadway, architect, has plans under way for this dwelling; the front will be of limestone and pressed brick, and the construction is to be semi-fireproof; contracts have been awarded and the two buildings now on the site will be immediately torn down.

92d st, north and south sides, Riverside Drive to West End av; Clarence True, No. 459 Western Boulevard, who has just purchased both block fronts on this street, will improve his purchase by the erection of thirty-four 5-sty American basement brick and stone dwellings. The plans are well under way, and work will be started shortly on a few of the houses, it being the

intention of the owner to build from time to time as circumstances may direct.

ALTERATIONS.

116th st, southwest corner of 2d av, 2-sty brick addition to store, 21x30; Julius Meyer, care of architect, owner; John Brazier, 106 East 23d st, architect.

23d st, No. 12 East, addition to restaurant; work consists of changing the 1st floor and basement into restaurant; Childs Unique Dairy and Lunch Co., 42 Union sq., owner; J. C. Westervelt, 489 5th av, architect.

ESTIMATES RECEIVABLE.

By Treasury Department, Washington, D. C., until 2 p. m., November 18th, for the heating and ventilating apparatus, complete in place, for the U. S. Court House and Post Office building at Norfolk, Virginia. Drawings and specifications may be had of the Superintendent on the building, or of James Knox Taylor, Supervising Architect, Washington, D. C.

By Treasury Department, until 2 p. m., November 22d, for the construction of the laundry building, also for the completion (except lighting fixtures), of the Isolation Ward Building, U. S. Marine Hospital, Boston (Chelsea), Mass. Drawings and specifications can be obtained either at Washington or Boston.

BROOKLYN.

Evergreen av, corner of Woodbine st. The old Suydam Homestead, which was built and has been occupying this plot for over 200 years, is to be torn down and a church is to be erected in its place by the South German Baptists.

Hendersons walk, corner of Bowery, Coney Island, theatre; Frederick Henderson, owner; cost, \$60,000; J. B. McElfatrick & Sons, 1402 Broadway, N. Y., architects.

Dean Alvord has sold the following plots on Marlborough road: To Col. Francis M. Crafts, 66x130, on the northeast corner of Albemarle road; to Chas. M. Stillwell, a 60-foot on the east side; to W. H. H. Hull, on the east side, 130 ft. from Albemarle road; to Mrs. Emma L. Backus, 60 ft. on the west side, which will be improved by the purchaser; to Mrs. M. Du Bois, of Jefferson av, 60 ft. on the west side; to Edwin F. Tripp, of Park pl, secretary to the Rev. R. R. Meredith, 50 ft. on the east side; to Frank Schenck, of the Flatbush Trust Co., 50 ft. on the east side. Mr. Alvord has awarded contracts for the paving Albemarle road, from the Brooklyn & Brighton Beach Railroad to Rugby road, with asphalt pavement, the work to be completed by November 1st.

Garfield pl, No. 297, 4-sty and extension stone front house, 20x50x100; buyer, W. L. Hodge; seller, William Flanagan; broker, Leonard Moody Real Estate Co.; price, \$24,000.

METROPOLITAN DISTRICT.

Bayshore, L. I.—One 2-sty frame club-house, 82x800, to seat 600 to 800 people; cost, \$15,000; J. B. Pullis, owner; C. E. Brewster, architect.

Bridgehampton, L. I.—One 2½-sty frame dwelling; cost, \$7,000; John Sherlock, owner; James E. Ware, 3 West 29th st, N. Y. City, architect.

New Rochelle, N. Y.—Drakes av, 2½-sty frame dwelling, 26x34; cost, \$4,000; F. A. Mead, owner.—Sunset View Park, Dewey av, 2½-sty frame dwelling, 27x35; cost, \$4,500; John O'Shea, owner.—One 2-sty frame dairy and barn, 50x97; cost, \$10,000; barn will contain seven single and two box stalls; E. M. Bull, owner; Charles A. Lubbian, architect for all.—Main st, 3-sty frame flat and stores, 48x60; cost, \$8,500; F. D. Pagan, architect.

Tuckahoe, N. Y.—One 3-sty frame flats and store, 23x72, one story to be of brick; cost, \$9,000; J. Pacher, owner; A. J. Van Suetendael, Yonkers, N. Y., architect.

Yonkers, N. Y.—Grey Stone terrace, five 2½-sty frame dwellings; cost, \$6,500 each; G. W. Newman, owner; A. J. Van Suetendael, architect.—Linden st, three 4-sty brick flats, 32x60; total cost, \$45,000; Fielding Gower, owner and builder; architect, same as last.

Oyster Bay, L. I.—One 2½-sty frame dwelling; cost, \$15,000; Fred. C. Train, 41 Park row, N. Y. City, owner; R. W. Gibson, 54 Broad st, New York City, architect.

Patchogue, L. I.—One 2-sty frame dwelling; cost, \$5,000; George E. Pasco, 621 6th av, N. Y. City, owner; private plans.

Sea Cliff, L. I.—Glen av, 1-sty frame parish house and Sunday school, 75x30; will contain large hall to be used for basket ball and recreation; cost, \$5,000; St. Luke's Prot. Epls. Church, owner; Woodruff Leeming, 111 5th av, N. Y. City, architect.

Southampton, L. I.—One 2½-sty frame dwelling; cost, \$3,000; Albert Edwards, owner; W. E. Brady, architect.—One 2½-sty stores and apartments; Mrs. Klosser, owner; Jas. Jagers, architect and builder.—One 2½-sty frame stores and flats; A. Cameron, owner; private plans.

Southold, L. I.—One 1-sty frame addition to church; cost, \$7,000; church also to have a new interior and will be practically rebuilt; Southold M. E. Church, Rev. Henry E. Hiller, pastor, owner; Geo. W. Kramer & Co., 1 Madison av, N. Y. City, architects.

Far Rockaway, L. I.—Alteration to 3-sty frame hotel; cost, \$10,000; Aleck Egger, owner.—Alteration to 2½-sty frame dwelling; Judge Edward J. Healy, owner.—One 2½-sty frame cottage; cost, \$5,000; Ferdinand L. Salomon, owner.—Ocean Crest, four 2½-sty frame cottages; cost, \$7,000 each; Edward

Corey, owner; Delhi & Howard, 1193 Broadway, N. Y. City, architects for all.

Rye, N. Y.—One 2½-sty frame dwelling, 32x75; cost, \$14,000; Arthur Outram Sherman, 40 Wall st, N. Y. City, owner; Frank A. Rooke, 489 5th av, N. Y. City, architect.

NEWARK, N. J.

Belmont av, No. 436, 2½-sty frame dwelling, 22x32, to cost \$2,500; F. W. Settle, 130 Ridgewood av, owner and architect; Adolph Muller, 454 Bergen st, builder.

Ashbridge st, Nos. 23 and 25, 2-sty brick factory, 35x50; cost, \$4,000; The Celluloid Co., owner; J. C. Rahn, architect; Edward J. Oakley, builder.

Clinton pl, 2½-sty frame dwelling, 34x41; cost, \$4,500; Geo. Pfundschut, owner; Edward A. Wurth, 748 Broad st, architect; George Landgraf, 271 Hunterdon st, builder.

Lake st, Nos. 826 to 830, 2½-sty frame dwelling, 32x45; cost, \$4,500; Robert Kuebler, No. 752 De Graw av, owner and architect; Smith & Van Sant, builders.

Elm st, No. 296, 2½-sty frame dwelling, 30x45, to cost \$4,500; Anna T. Pomitz, 12 Hamburg pl, owner; Henry C. Klemm, 240 Market st, architect; Julius Hauser, 99 Hamburg pl, builder.

Jelliff av, four 2½-sty frame dwellings, 22x50 each, costing together \$15,200; Wm. Zimmermann, 785 Broad st, owner; L. A. Virtue, Broad and Academy sts, architect; Miller & Phillips, 33 South 13th st, builders.

South 16th st, two 2-sty frame dwellings, 24x32 each, to cost together \$5,500; Anna Zurgaid, owner; Wm. P. Schoenig, architect; J. Jester & Co., builders.

THE NEW BUILDING LAW.

The Record and Guide's publication of the important new Code will be ready for delivery upon the Mayor's signature, or on Wednesday next. Price, 75 cents.

OF INTEREST TO THE BUILDING TRADES.

Chas. H. Frost, of Los Angeles, Cal., has been elected a non-resident member of the Building Trades' Club.

George Burnham, architect, has opened an office at No. 41 Union Square, Room 922; Peter L. P. Tostevin, builder, is now established at No. 41 Union Square, Room 917.

The Ornamental Plasterers' Association will meet at the Building Trades Club on Wednesday next, at 8 p. m., and the Masons' Board of Arbitration at the same place on Thursday next, at 8 p. m.

Richard Gibbons, of the well-known firm of M. Gibbons & Son, contracting builders, was recently married to Miss M. E. Lynch by the Right Rev. Chas. E. McDonnell, Bishop of Brooklyn. The ceremony was performed at the Brooklyn Cathedral.

The plans of Ackerman & Ross, No. 156 5th av, N. Y., have been selected for the new Public Library to be erected on Mount Vernon Square, Washington, D. C. The library will have a capacity of 250,000 volumes. Andrew Carnegie donated the money necessary to pay for the building.

The death is announced of William Stacom, of the firm of Fay & Stacom, who have for years been identified with East Side tenement building, having erected something in the neighborhood of 300 such houses in that section, south of 14th st. Mr. Stacom was only 43 years old at the time of his death, and his loss is felt by a large circle of friends and business acquaintances.

The U. S. Civil Service Commission will examine candidates for Inspectorship of Heating and Ventilating Apparatus, in connection with the Supervising Architect's office, on Nov. 14 and 15. Forms of application can be obtained of the U. S. Civil Service Commission, Washington, D. C. Examinations are held at any place where the Commission has a Board of Examiners.

Contractor and Builder Robert G. Kenny, of 1548 Broadway, is finishing a 5-sty store and flat at No. 606 8th av for Messrs. Mandelbaum & Lewine, the well-known realty operators, after plans by Israels & Harder, architects; a factory building on West 25th st for the Manhattan Hygeia Ice Co., and has under way a 6-sty business building on the northeast corner of Water and Fletcher streets, designed by Israels & Harder.

The long-established and successful East River Mill & Lumber Co., 92d and 93d streets and East River, whose stock was recently damaged by fire originating in adjoining premises, kept their customers supplied and took care of all their contracts, notwithstanding their loss. Mr. Thomas J. Crombie, the well-known lumber dealer, is secretary and treasurer, and Geo. H. Toop, president of the company. Their telephone call is 180 79th street.

Fred. Damm, house mover and contractor, has removed his office to No. 638 East 143d st, opposite his old quarters. Mr. Damm has a record for executing difficult contracts with success and dispatch. He recently moved two 5-sty flats, 50x70, on the corner of 149th st and Brook av, and is now at work moving back two 4-sty flats, Nos. 529 and 531 East 149th st, all four flats being moved back 20 feet to allow for the widening of 149th st. About a year ago Mr. Damm completed with great success the removal of four 5-sty flats at Willis av and 134th st, to make way for the new Willis Avenue Bridge.

Spitzer & Samek is the title of a new firm of ornamental and artistic wrought iron workers, whose card will be found on another page of this issue. The firm consists of Alexander Samek

and Alexander Spitzer, who are well known in the business as capable, experienced men, and hard workers. Mr. Spitzer received his professional education in Vienna, and is an expert draughtsman. Their catalogue covers the whole line of artistic iron-work, and their address is No. 123 West 30th street (with telephone 402 Madison Square), between 6th and 7th avenues, where they will be pleased to furnish estimates and designs.

A new fire-resisting flooring material called Asbestolith has been lately placed on the market, and has met with much success. It is claimed for it, that it is as hard as stone and light as wood, much more durable than cement; is a non-conductor of sound, and can be furnished in various colors. It is highly recommended for roofs, as it is lighter than any similar material and practically will never wear out, consequently there is only the first cost, as there are no repairs or paint required; also for offices, halls, schools, hospitals and public buildings; also for bathrooms, kitchens, laundries, etc. The Asbestolith Co., 95 Nassau st., are the makers.

Castle Bros., whose specialty is cementine sidewalks, are still working on the 18-mile contract at Borough Park, for Senator Wm. H. Reynolds. They have just completed 5 miles of walks and 5 miles of curbing at Kings Oaks, for Wood, Harmon & Co., and are now working on section bounded by Ocean av, B. B. R. R. track, Beverley road and Newkirk av, for Pounds & Decker; they have nearly completed their work at the Medical Society Building, at Bedford and Atlantic avs, in which concrete arch construction was largely used. Other work consists of 34 houses for Wm. A. A. Brown, on Midwood st, and in other parts of the Lefferts estate, and they are about to lay walks around the Park on Kingston av and Prospect pl.

Having outgrown their facilities at Nos. 110, 112 and 114 Navy st, Brooklyn, Schratwieser's Sheet Metal Lath Works have been moved to a new building built especially for them, at Nos. 426, 428, 430 and 432 3d av, on the corner of 7th st, that city, by C. Schratwieser, who is the proprietor. The building is 50x100 feet, the basement being used for a cornice shop and stable, and the first floor is entirely devoted to the metal lath business, with a general and private office at the front. The upper floor is well adapted for manufacturing or storage, being supported by heavy timbers, and lighted on three sides. The lath, which has grown in demand so as to require the increased facilities, is the invention of J. Schratwieser. It is made in sheets 15 inches wide and 8 feet in length, with a bead running along each edge and down the centre. This bead enables a strong, smooth lap to be made when the lath is applied, and gives rigidity and strength to the finished wall. These works also have fireproof and slow-burning specialties which deserve attention.

At the annual meeting of the New York Chapter of the American Institute of Architects, held on 11th inst., the following officers and committees were elected: President, Walter Cook; Vice-President, A. W. Brunner; Treasurer, James B. Baker; Recording Secretary, A. L. Brockway; Corresponding Secretary, Charles I. Berg; Executive Committee, P. L. Le Brun, John M. Carrere, Richard H. Hunt, H. R. Marshall. The standing committees elected were: Committee on Library, William S. Post, H. R. Marshall, Thomas Tryon; Committee on Education and Publication, William M. Kendall, John Galen Howard, C. A. Rich; Committee on Examinations, A. F. D'Oench (representative on the Board of Examiners), R. W. Gibson, Joseph Wolf, A. L. Brockway, William A. Boring, R. M. Upjohn; Auditing Committee, William A. Boring, George L. Heins; Nominating Committee, A. L. Brockway, Charles A. Gifford, E. P. Casey; Committee on Professional Practice and Competitions, George E. Harney, Joseph H. McGuire, Walter B. Chambers; Committee on Fine Arts Federation (delegates), Walter Cook, G. L. Heins, A. W. Brunner; (alternates), William R. Mead, R. H. Hunt, William R. Russell.

For many new buildings, some of the highest class, including manufacturing, mercantile, apartment, tenement, in fact structures of every kind, owners are adopting Plastic-Slate as a roofing material. Its first cost is considerably less than tin, and no painting is required. By the use of important improvements in methods and materials, Plastic-Slate roofs are guaranteed up to 15 years, under hard usage in many cases. This means a clear saving of all expense during that entire period. J. Casmento & Co., of No. 160 5th avenue, who have earned the confidence of builders during many years of active business in this line, mention among some late instances of the employment of their Improved Plastic-Slate roofs the following: Central Park West, 108th to 109th street, for W. W. Graham & Co.; southwest corner 129th street and 5th avenue, for John Schnoering; Broadway, 78th to 79th street, for Jos. Kelly; south side 95th street, near Riverside Drive, for P. Talbot; American Rubber Co., College Point; D. Loprete, Newark, N. J.; P. Lorrillard, Tuxedo Park; Washington Heights Presbyterian Church; James Wallace, 229 5th avenue; Bartholdi Hotel; Pike Estate; R. P. Messiter, 51 and 53 Leonard street, and Chas. Hartung, Wyckoff, N. J. In these times of higher cost in many items of building materials, a substantial saving in cost of roofing should not be lost sight of.

THE NEW BUILDING LAW.

The Record and Guide's publication of the important new Code will be ready for delivery upon the Mayor's signature, or on Wednesday next. Price, 75 cents.

MISCELLANEOUS.

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W. F. & C. H. SMITH, Real Estate Experts, Advisers and Dealers, SMITH BUILDING, Third and Willis Aves. and 148th St. (junction). Telephone, 127 Melrose.

NOTICE TO PROPERTY OWNERS.

ACQUIRING TITLE FOR STREET OPENING. Wilkins pl, from Southern Boulevard to Boston road; street extension. Bills of cost will be presented to the Supreme Court for taxation October 31st, at 10.30 a. m.

HEARINGS FOR THE COMING WEEK.

At No. 21 Park Row.

Van Corlear pl, from Kingsbridge av to Broadway; change of grade and lines; Leggett av, bet Hewitt pl and Dawson st, and Hewitt pl, bet Leggett av and Longwood av; changing block line; 184th st, from Amsterdam av to the 1st new avenue east of Amsterdam av; street extension. By Board of Public Improvements, Nov. 1st, at 2 p. m.

THE MUNICIPAL ASSEMBLY.

Below is a summary of the business directly affecting the interests of real estate owners in the boroughs of Manhattan, the Bronx and Brooklyn which came before the Municipal Assembly at the meetings of the two bodies composing it on Tuesday last:

COUNCIL—MANHATTAN AND THE BRONX.

Railroad av, bet 177th st and 179th st; 179th st, bet Jerome av and Tremont av; 176th st, bet Jerome av and Tremont av; and Riverdale lane, bet Riverdale av and Old Albany road; water mains. Work ordered. Stebbins av, bet 165th st and Westchester av, and Loring pl, bet 183d st and Fordham road; water mains. Referred to the Committee on Water Supply. 19th st, from Irving pl to 2d av; 21st st, from 1st av to 2d av; 27th st, from 2d av to 4th av; 56th st, bet Broadway and 9th av; Sullivan st, from s s 3d st to n s Canal st; 80th st, from 1st av to Lexington av, and Broadway, bet 43d st and 44th st; repaving. Work ordered. 97th st, bet Central Park West and Amsterdam av; repaving. Referred to the Committee on Streets and Highways. Burnside av, bet Valentine and Ryer avs, and Davidson av, from 177th st to Tremont av; change of grade. Work ordered. 177th st, from Tremont av to Jerome av; change of lines. Work ordered. 189th st, bet Webster av and 3d av, and 171st st, from Fulton av to Park av; regulating and grading. Work ordered.

COUNCIL—BROOKLYN.

43d st, bet 13th av and Fort Hamilton av; 44th st, bet 13th av and Fort Hamilton av; 45th st, bet 13th av and Fort Hamilton av, and 12th av, bet 41st st and 45th st; water mains. Work ordered. Fayette st, bet Beaver st and Broadway; Lynch st, bet Broadway and Bedford avs; President st, from Hamilton av to Columbia st; Monroe st, from Ralph av to Broadway; President st, from Columbia st to Clinton st; Madison st, from Ralph av to Broadway; Putnam av, from Ralph av to Broadway; Jefferson av, from Ralph av to Broadway; Hancock st, from Howard av to Broadway; Harmon st, from Evergreen av to Myrtle av; Lynch st, bet Lee and Marcy avs; Sumpter st, from Fulton st to Broadway. Meserole st, from Bushwick av to Union av; Harmon st, from Evergreen av to Wyckoff av; Degraw st, from Bond st to Gowanus Canal; Hoyt st, from Bergen st to Sackett st;

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OWNERS of Real Estate having mortgages past due or maturing can obtain liberal loans at a low rate of interest and at small expense. N. W. CHAMBERS, 35 Nassau Street, New York. German-American Building. Tel. 4080 Cortlandt.

Hoyt st, from Sackett st to 2d st; Rutland road, bet Flatbush av and Bedford av; 16th st, from Hamilton av to 6th av; North 8th st, from Wythe av to Driggs av; Meserole av, from Manhattan av to Guernsey st; Clay st, from Manhattan av to Oakland st; Kosciusko st, from Bedford av to Broadway; Evergreen av, from Noll st to the Cemetery; Herbert st, from Graham av to Kingsland av; North Henry st, from Richardson st to Meeker av; Carlton av, from Flushing av to Myrtle av; Vanderbilt av, from Myrtle av to Willoughby av; Clermont av, from Flushing av to Fulton st; Fourth pl, from Henry st to Smith st; Luqueer st, from Columbia to Smith st; Nelson st, from Columbia to Smith st; Huntington st, from Hamilton st to Smith st; Garnet st, from Clinton st to Smith st; Degraw st, from Court st to Bond st; Calyer st, from Manhattan av to Oakland st; 14th st, from 4th av to Hamilton av; South 1st st, from Kent av to Rodney st; 9th av, from 15th st to 19th st; and 10th st, from 8th av to 9th av; paving. Work ordered. 80th st, bet Narrows av and the Shore road; street extension. Work ordered. Regent pl, bet Flatbush av and Ocean av; and 2d av, bet 59th st and 65th st; grading. Work ordered. Prospect av, bet 11th av and Terrace pl; change of lines. Work ordered.

ALDERMEN—MANHATTAN AND THE BRONX.

College av, from 146th st to 148th st, and Cauldwell av, from 161st st to Boston road; regulating and grading. Referred to the Committee on Streets and Highways. Woodlawn road, from Jerome av to Bronx Park; regulating and grading. Work ordered. 57th st, from 3d av to Lexington av; repaving. Work ordered.

ALDERMEN—BROOKLYN.

Bedford av, bet Heywood st and De Kalb av, and 2d av, bet 39th st and 58th st; repaving. Referred to the Committee on Streets and Highways. Cooper st, bet Hamburg av and the county line of the Borough of Brooklyn; regulating and grading. Referred to the Committee on Streets and Highways. Prescott pl, bet Herkimer st and Atlantic av; regulating and grading. Work ordered. 11th av, from 43d st to New Utrecht av, and Av F, from Ocean av to Foster av; closing av. Work ordered. Meeker av, bet Kingsland av and the Meeker av bridge; grading. Work ordered.

AUCTION SALES OF THE WEEK.

The following is a complete list of the properties sold, withdrawn, or adjourned during the week ending Oct. 20, 1899, at the New York Real Estate Salesroom, 111 Broadway. Except where otherwise stated, the properties offered were in foreclosure. Adjournments of legal sales to next week are noted under Advertisements Legal Sales. *Indicates that the property described was bid in for the plaintiff's account. The total number at the end of the list comprises the consideration in actual sales only.

PETER F. MEYER & CO.

Executors' Sale of Eno Estate. Pine st, Nos 73 to 77, 65.9x69.2x47.1x irregular, three 3-sty brk dwell'g. Upset price, \$75,000; no bid. West Broadway, No 147 s e cor Thomas, 25.0 1/2 x 49.11x24.11, 5-sty brk and iron front bldg. F N Saltzsider. 36,000

MISCELLANEOUS

THOMAS DIMOND, Iron Work for Buildings, 128 WEST 33D STREET, NEW YORK. Works: { 128 West 33d Street, Established 1852. { 127 West 32d Street, Telephone, 311 88th St.

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LOANS ON BOND and MORTGAGE 4. 4 1/2 AND 5% F. de R. WISSMANN 55 Liberty Street, Cor. Nassau, NEW YORK. Tel. 1634 Cortlandt.

Special Fund to loan, 75 per cent. of valuation, at 4 1/2%.

FOLEY & SNIFFIN, 149 BROADWAY, Members Real Estate Board of Brokers. John R. Foley, Appraiser. Elisha Sniffin.

E. S. WILLARD, REAL ESTATE, HAVEMEYER BUILDING, 26 CORTLANDT ST. Tel., 2691 Cortlandt. Uptown Office, 509 5th Av., n. 42d.—Tel., 2749-38th

Thomas st, No 70, adjoining, 25x100.11, 5-sty brk bldg. J V Douglass. 30,250 Howard st, No 54, n e cor Mercer st, 30.5x57.11 x30.6x58, 5-sty stone front bldgs. Douglas Robinson. 51,000 Wooster st, Nos 108 to 114, 200 1/2 n of Spring st, 99.10x100, two 6-sty brk bldgs. George A Suter. 138,000 West Broadway, Nos 474 to 478; Thompson st, Nos 146 to 150, 61.2 1/2 x172.5x61.0 1/2 x173.1, two 5-sty brk bldgs. J V Douglass. 110,000 Thompson st, Nos 152-154, adjoining 4s.10 1/2 x98.11, two 2-sty and attic brk bldgs. J V Douglass. 34,500 Broadway, Nos 1668 and 1670; 52d st, Nos 200 to 206 W; 7th av, No 798; 40.5 1/2 x170.11x40.5 x169 13-16, 5-sty and brk apt house, Newport. L A Da Cunha. 150,000 Broadway, Nos 1680 to 1684; 7th av, Nos 810 to 814, 50.8 1/2 s 53d st, 75.5 1/2 x189.9 1/2 to 7th av, x75x181.8 1/2, 2-sty and attic brk bldg. L A Da Cunha. 150,000 8th av, and Grand Circle, n w cor 58th st, 40.8 1/2 x122.5 1/2 x19.11 1/2 x100.5x125, 1-sty brk and frame bldgs. Flake & Dowling. 210,000 58th st, n s, 125 w 8th av, 25x100.5, vacant. Same. 36,000 58th st, adj, 50x100, vacant. Same. 50,000 Broadway, n e cor 62d st, 116.2x164.11 1/2 x100.5x 106.7, vacant. P H Dugro. 175,000 Broadway, adjoining, 116.2 n 62d st, 46.10x62x 25x25x84.11 to 63d st, x 25x100.5x89.11. A Eno. 49,000 62d st, adjoining, 106.7 e Broadway, 25x100.5, vacant. A Eno. 24,000 62d st, adjoining, 25x100.5, vacant. Same. 19,500 62d st, adjoining, 125x100.5. P H Dugro 98,500 64th st, No 101 W, n w cor Columbus av, 25x 104.11 1/2, 5-sty brk bldg. P S Treacy. 86,000 Broadway, s w cor 65th st, 120.1x157.9x100.5x 99.5, vacant. Flake & Dowling. 177,000 Broadway, n w cor 68th st, 84.9x59x25x50.5 x99.9, vacant. J W Pinchot. 100,500 Broadway, adj, 84.4x95.6x50x25x109, vacant. J V Douglass. 99,000 Broadway, adj, 28.1x107.8x25x120.6, vacant. Alfred Eno. 35,500 Broadway, s w cor 69th st, 28.6x107.8x25.5x94.8, vacant. Flake & Dowling. 53,000 Amsterdam av, s e cor 69th st, 25.5x75, vacant. Alfred Eno. 33,600 Amsterdam av, adj, 25x75. Same. 20,500 Amsterdam av, adj, 75x100. J V Douglass. 67,500 68th st, n s, 100 e Amsterdam av, 25x100.5. J V Douglass. 19,500 Broadway, s e cor 76th st, 75x89x72.7x107.8, 5-sty brk bldg. Douglas Robinson. 110,500 Broadway, s e cor 77th st, 28x100.4x27.2x103.4, vacant. Pease & Elliman. 49,500 Broadway, adj, 25.9x97x25x103.4. Same. 36,500 Broadway, adj, 51.7x84.3x50x97. Same. 57,500 77th st, s s, 110.4 e Broadway, 50x102.2, vacant. Alfred Eno. 34,400 The total amount realized at this sale was \$2,322,250. *102d st, No 207, n s, 132.6 e Broadway, 32.6x 100, 5-sty brk flat. (Amt due \$8,274; sub to taxes, &c, \$1,600.) Charles Frazier, partner Charles Frazier & Co. 41,000

*102d st, No 205, n s, 130 w Amsterdam av, 30x 100, 5-sty stone front flat. (Amt due \$8,275; sub to taxes, &c, \$1,600.) Same.....\$4,187

*102d st, No 203, n s, 100 w Amsterdam av, 30x 100, 5-sty stone front flat. (Amt due \$8,275; sub to taxes, &c, \$1,600.) Philip Dexheimer.....\$4,187

*104th st, No 220, s s, 226.8 e 8d av, 16.8x 100.11, 3-sty stone front dwell'g. (Amt due \$6,843; sub to taxes, &c, \$550.) John H Ives and exrs and trustees Emilio Del Pino.....6,650

184th st, No 316, s s, 225.5 w 8th av, 24.7x99.11, 5-sty brk store and flat. (Amt due \$17,517; sub to taxes, &c, \$1,028.69.) Steindler & Gussaroff.....18,900

91st st, Nos 412 to 418, s s, 219 e 1st av, 100x 110.8, 1 and 2-sty frame bldgs, sheds, &c. (Amt due \$11,100; sub to taxes, &c, \$814.51.) Pietrowski & Keller.....18,150

*97th st, Nos 10 to 14, s s, 175 e 5th av, 60x 100.11, three 5-sty stone front flats. (Amt due \$69,718; sub to taxes, &c, \$1,041.78.) Seth M Milliken.....37,500

*Walton av, No 561, w s, 192.6 s 150th st, 17.6x 100.2, 3-sty brk dwell'g. (Amt due \$5,911; sub to taxes, &c, \$320.) Hattie A Randall.....5,000

*Walton av, No 563, w s, 175 s 150th st, 17.6x 100.2, 3-sty brk dwell'g. (Amt due \$5,911; sub to taxes, &c, \$320.) Same.....5,000

126th st, Nos. 204 and 206 W, voluntary withdrawn; \$21,800 each.....

*Clinton av, No 1985, w s, 120 s Lebanon st, 25x100, 2-sty frame dwell'g. (Amt due \$3,880; sub to taxes, &c, \$200.) Wm H Birkmire 3,600

46th st, No 414 W, 25x100.5, 4-sty brk bldg. (Voluntary.) Thomas Farrell.....17,300

W. M. RYAN.

*Wooster st, Nos 68½, 70 and 72, e s, 190.2 n Broome st, runs s e 100 x n e 35 x w 4.10 x n 25 x n w 95.2 to Wooster st, x s w 60 to begin, 6-sty brk store. (Amt due \$118,935; sub to taxes, &c, \$4,338.75.) Justus L Bulkeley et al, exrs and trustees Danl B Fayerweather.....160,000

*4th st, No 34, s s, 151.10 w Bowery, 25.4x94.11, 5-sty brk store and tenem't. (Amt due \$5,298; sub to mort \$20,000, and taxes, &c, \$643.29.) Max Weiss.....33,600

*Intervale av, No 1054, e s, 133 s 167th st, 21.6 x100, 3-sty frame dwell'g. (Amt due \$4,973; sub to taxes, &c, \$230.) Julia Jahn.....2,000

*124th st, No 352, s s, 143.2 e Columbus av, 27.8 x100.11, 5-sty brk flat. (Amt due \$25,579; sub to taxes, &c, \$910.) Edmund E Murphy, exr Elsie S Murphy.....20,000

55th st, No 43 W, 18.9x100.11, 4-sty brk dwell'g. (Executor's sale.) L H Herrmann.....20,000

*Bowery, No 163, being Bowery, e s, 117.6 n Chrystie st, No 133, Broome st, 23.6x226.6 to Chrystie st, x 23.5x225.7, 5-sty stone front store on Bowery and 4-sty brk bldg on Chrystie st. (Amt due \$63,178; sub to taxes, &c, \$3,250.) Grosvenor S Hubbard trustee under will of James Bogert.....66,850

12th st, n s, 127.6 w Prospect Terrace, 27.6x 100, Wmsbridge. (Amt due \$3,091.) Jos S Wood.....3,200

*Maple av, w s, 50 s Randall st, 50x100, Williamsbridge. (Amt due \$923; sub to taxes, &c, \$21.08.) Wm C Arnold.....500

B. L. KENNELLY & CO.

103d st, No 146 W, 32x105.6, 5-sty flat. (Voluntary.) Withdrawn; \$28,000.....

48th st, No 408 W, 25x100.5, 5-sty flat. (Voluntary.) Withdrawn; \$25,000.....

8th st, Unionport, s s, 300 w Av C, 100x103.6, vacant. (Partition sale.) Bernard Gafney.....900

4th av, No 32, n s, 380 w 4th st, 25x114, Wakefield. (Amt due \$3,351; sub to taxes, &c, \$30.) Thos E Fitzgerald.....3,400

4th av, No 34, n s, 355 w 4th st, 25x114, Wakefield. (Amt due \$3,381; sub to taxes, &c, \$30.) Same.....3,400

4th av, No 36, n s, 330 w 4th st, 25x114, Wakefield. (Amt due \$3,380; sub to taxes, &c, \$30.) Same.....3,400

RICHARD V. HARNETT.

158th st, n s, 152.2 w Boulevard Lafayette, runs w 150 x n 59.11 x e 61.7 to w Boulevard Lafayette, x s e — x s 84.9 to beginning, vacant. (Sub to assessments \$2,508.37.) Lansing Investment Co.....34,000

Boulevard Lafayette, s e cor 158th st, 165.6x 124x109.10, gore, vacant. (Sub to assessments \$1,237.90.) George Bird Grinnell.....25,000

Boulevard Lafayette, s w cor 158th st, runs w 131.6 x s 99.11 x w 200 x s 129.11 to a point made by producing the middle line of 157th st West beyond its termination at Broadway, x e 535.2 to w s Boulevard Lafayette, x n w 305 to beginning, 2-sty brk stable and vacant. (Sub to assessments, \$3,298.51, and mort on this and parcels 1 and 2 for \$45,000.) Lansing Investment Co.....150,000

Boulevard Lafayette, w s, 199.10 n 155th st, 30 x47.8x30x449.10, vacant. George Bird Grinnell.....5,000

155th st, n s, 437.6 w Broadway, runs w 237.6 x n 376.4 x e 67 x s e 218.2 x s 30 x again s 30 x 12.6 x s 199.10 to beginning, 2-sty frame dwell'g, with 2 and 1-sty brk bldgs. (Sub to mort \$55,000.) Louis Dean Speir.....100,000

155th st, n s, 125 w Broadway, runs w 312.6 x n 199.10 x e 287.6 x s 99.11 x e 25 x s 99.11 to beginning, 2-sty frame dwell'g, with 2-sty frame bldgs. (Sub to mort \$60,000. Same.....101,000

Broadway, parcel bounded on e by w s Broadway, on the w by e s Boulevard Lafayette and on n by a line formed by producing the n s 157th st beyond where it ends on e s Broadway, vacant. George Bird Grinnell.....800

17th st, No 309 E, 22.4x106, 4-sty stone dwell'g. (Executor's sale.) Charles F Murphy.....30,100

Jay st, No 44, 26.9x59, 5-sty brk warehouse. (Executor's sale of ½ interest.) Robert Loeb.....13,230

20th st, No 118 West, 20x98.9, 3-sty dwell'g. (Voluntary.) William Nelson.....15,100

*123d st, No 226, s s, 475 e 8th av, 25x100.11, 5-sty brk flat. (Amt due \$10,589; sub to mort \$7,000, and taxes, &c, \$170.62.) Thomas Brady.....8,181

W. KENNELLY.

*14th st, No 207, n s, 75 w 7th av, 25x96, 4-sty stone front store and tenem't. (Amt due \$26,802; sub to taxes, &c, \$1,224.99.) The Trustees of the Peabody Education Fund.....28,000

THOMAS C. SMITH.

*76th st, No 433, n s, 438 e 1st av, 25x140.9x 25.3x145.3, 2-sty brk stable. Amt due \$12,157; sub to taxes, &c, \$387.29.) Emily P Delafeld.....9,000

SAMUEL GOLDSTICKER.

*107th st, No 54, s s, 100 e Madison av, 25x 100.11, 5-sty brk flat. Amt due \$3,183; sub to taxes, &c, \$21,000.) Henry Herrmann.....22,306

125th to 126th st, w s, 7th av, 125x199.10, frame dwell'g and vacant. (Executor's sale.) Israel Steinhardt.....415,000

D. PHOENIX INGRAHAM, & CO.

115th st, Nos 14 and 16, s s, 210 e 5th av, 50x 100.11, two 5-sty brk flats. (Amt due \$8,794; sub to mort \$21,500, and taxes, &c, \$198.43.) Wm H McWhirter.....30,868

HERBERT A. SHERMAN.

Division st, No 15, s s, 166.5 e Catharine st, 12.6x70.6, 2-sty brk stores. Adj to Nov 8.

*29th st, No 114, s s, 190 w 6th av, 20x98.9, 4-sty brk tenem't with stores. (Amt due \$18,053; sub to taxes, &c, \$381.19.) Eliza J Cox.....18,200

JAMES L. WELLS.

52d st, No 399, n s, 60.3 e 1st av, runs n 22 x w 0.3 x n 50 x e 20 x s 72 to st, x w 19.8 to beginning, 3-sty stone front tenem't. (Amt due \$9,656; sub to taxes, &c, \$282.60.) Jacob Pfeiffer, party in interest.....9,750

W. W. FOGG.

60th st, No 135 West, 25x100.5, 5-sty brk flat. (Executor's sale.) John T Wall.....24,000

Total.....\$3,850,385

Corresponding week 1898.....430,945

Jan. 1, 1899, to date.....41,004,228

Corresponding period 1898.....21,984,682

ADVERTISED LEGAL SALES.

Referee's Sales to be held at 12 o'clock noon at the New York Real Estate Salesroom, 111 Broadway, except where otherwise stated.

Oct. 23.

65th st, No 56, s s, 175 e Columbus av, 25x100.5, 5-sty stone front flat. John C Barth agt Joseph Lane et al; Lippmann & Ruck, att'ys, 132 Nassau st; Charles Putzel, ref. (Amt due \$5,477; sub to taxes, &c, \$1,035.) Mort recorded May 13, 1896. By P F Meyer.

85th st, No 320, s s, 208.4 w West End av, 16.8x 102.2, 3-sty brk dwell'g. Wm J Shaw agt Alice C Floyd et al; Edwd R Vollmer, att'y, 229 Broadway; John P Clarke, ref. (Amt due \$1,159; sub to mort \$15,000, and taxes, &c, \$310.05.) Mort recorded Feb 1, 1898. By Samuel Goldsticker.

Oct. 24.

Water st, Nos 336 and 338, n s, abt 70 e Roosevelt st, 37.9x64x37.6x67.3, two 4-sty brk stores and tenem'ts. Sheriff's sale on execution of all title which Angelina Gamberlengo and Vincenzo Camperlango had on Feb 28, 1899, or since; John Palmieri, att'y, 61 Park Row; Thos J Dunn, Sheriff. By P F Meyer.

13th st, Nos 419 to 425, n s, 275 w 9th av, 100x 103.1, Nos 419 to 423, two 3-sty brk stores and tenem'ts; No 425, 1-sty brk and frame stores. Harris Mandelbaum and Fisher Lewine agt Denison P Chesebro et al; A Stern, att'y, 31 Nassau st; Joseph McElroy, Jr, ref. (Amt due \$25,731; sub to mort \$31,000, and taxes, &c, \$1,200.) Mort recorded Aug 27, 1895. By P F Meyer.

27th st, Nos 244 to 248, s s, 150 e 8th av, 60.5x 98.9x62.2x98.9, two 6-sty brk stores. Mary E Kerr agt Wm H Gildersleeve et al; Adams & Douras, att'ys, 71 Broadway; Allan Lee Smidt, ref. (Amt due \$21,090; sub to mort \$60,000, and taxes, &c, \$748.02.) Mort recorded July 16, 1898. By Wm Kennelly.

34th st, No 117, n s, 204.4 e Park av, 21x98.9, 4-sty stone front dwell'g. The Young Men's Christian Association of the City of New York agt Richd D Harris et al; Harrison & Byrd, att'ys, 59 Wall st; John E Ward, ref. (Amt due \$27,703; sub to taxes, &c, \$900.) Mort recorded July 19, 1895. By Wm Kennelly.

52d st, No 104, s s, 57.6 e 4th av, 19.2x80, 4-sty brk flat. Kath R Jackson agt Edward Kantrowitz et al; Bowers & Sands, att'ys, 31 Nassau st; Edwd L Patterson, ref. (Amt due \$12,305; sub to taxes, &c, \$711.80.) Mort recorded Feb 12, 1889. By P F Meyer.

89th st, No 211, n s, 210 e 3d av, 25x100.8, 5-sty brk tenem't. Israel Josefsohn agt Margaretha Galm individ and as extrx of Adam Galm et al; Meyer & Josephson, att'ys, 132 Nassau st; Thos J Dunn, Sheriff. (Amt due \$1,233; sub to mort \$15,000, and taxes, &c, \$334.85.) Mort recorded March 2, 1899. By P F Meyer.

164th st, Nos 442 and 444, s s, 225 e 10th av, 50x112.4, 2-sty frame dwell'g and 1-sty frame sheds, &c, and vacant. Bachman Brewing Co agt Geo J Fleibig et al; Wendel & Robeson, att'ys, 280 Broadway; Gerard B Townsend, ref. (Amt due \$4,778; sub to taxes &c, \$1,303.21.) Mort recorded July 9, 1896. By R V Harnett & Co.

Columbus av, No 428, w s, 102.2 n 80th st, 25.6x 100, 1-sty frame stores. Leasehold. Sheriffs sale under execution of all title which John Thomas had on Sept 7, 1899, or since; Geo H Rudolph, att'y, 141 Broadway; Thos J Dunn, Sheriff. By Peter F Meyer.

West Broadway, No 456, w s, 120 n Prince st, 25 x75, 2-sty brk bldg with 3-sty brk bldg on rear. Leroy st, No 26, s s, 243.9 w Bleecker st, 18.9x 80, 2-sty brk dwell'g. John G Hadden agt Caroline Hadden et al; Smith & Bowman, att'ys, 38 Park Row; Francis C Cantine, ref. (Partition.) By Wm M Ryan.

4th st, s s, 332 e White Plains road, Wakefield, &c, 25x114. Mary E Mallander agt Ida B Lamphear et al; Clocke & Clocke, att'ys, 2045 Boston road; Wm F Burrough, ref. (Amt due \$2,596; sub to taxes, &c, \$75.) Mort recorded in Westchester Co. By James L Wells.

Oct. 25.

63d st, No 322, s s, 275 e 2d av, 25x100.5, 5-sty brk tenem't with stores. Anna Lowenstein agt Rosa M Pasca et al (No 1); Simpson & Werner,

att'ys, 52 Broadway; Elbert Crandall, ref. (Amt due \$9,233; sub to mort \$11,000, and taxes, &c, \$375.) Mort recorded Nov 11, 1897. By P F Meyer.

63d st, No 324, s s, 300 e 2d av, 25x100.5, 5-sty brk tenem't with stores. Same agt same (No 2); same att'ys and ref. (Amt due \$9,243; sub to mort \$11,000, and taxes, &c, \$375.) Mort recorded Nov 11, 1897. By same auctioneer.

63d st, No 326, s s, 325 e 2d av, 25x100.5, 5-sty brk tenem't with stores. Same agt same (No 3); same att'ys and ref. (Amt due \$9,249; sub to mort \$11,000, and taxes, &c, \$375.) Mort recorded Nov 11, 1897. By same auctioneer.

63d st, No 328, s s, 350 e 2d av, 25x100.5, 5-sty brk tenem't with stores. Same agt same (No 4); same att'ys and ref. (Amt due \$9,245; sub to mort \$11,000, and taxes, &c, \$375.) Mort recorded Nov 11, 1897. By same auctioneer.

Oct. 26.

Stanton st, Nos 334 to 338, n s, 19.11 w Mangin st, 59.9x70, Nos 334 and 336, 6-sty brk bldg; No 338, lumber yard. Louis Lewinthal agt Ludwig Zodikow et al; Thos J L McManus, att'y, 140 Nassau st; Warren W Foster, ref. (Partition; sub to mort \$27,000, and taxes, &c, \$1,267.79.) By P F Meyer.

87th st, No 2, s s, 70 w Central Park West, 18x 100.8, 5-sty brk dwell'g. Nathan Mayer agt Oscar A Norman et al (No 1); Joel M Marx, att'y, 220 Broadway; Richd W G Welling, ref. (Amt due \$3,121; sub to mort \$27,000, and taxes, &c, \$989.13.) Mort recorded July 6, 1898. By Herbert Sherman.

87th st, No 8, on map No 6, s s, 110 w Central Park West, 20x100.8, 5-sty brk dwell'g.

87th st, No 4, s s, 88 w Central Park West, 20x100.8, 5-sty brk dwell'g. Same agt same (No 2); same att'y and ref. (Amt due \$7,050; sub to mort \$58,000, and taxes, &c, \$2,066.54.) Mort recorded June 30, 1898.) By same auctioneer.

Lexington av, No 719, e s, 20.5 s 58th st, 20x 65, 3-sty stone front dwell'g. Sheriffs sale on execution of all title which Thomas Regan had on Aug 9, 1899, or since; James Kearney, att'y, 220 Broadway; Thos J Dunn, Sheriff. By P F Meyer.

Madison av, s e cor Westchester Landing, to Bear Swamp road, runs s along e s Madison av 102.3, x e 105 to said road, x along same 150.3 to begin, and being lots 188 to 190 on map in partition of real estate of William Adee, Westchester. Edgar K Brown as admr, &c, and trustee under will of John S Kenyon agt Annie R Conklin et al; Henry Smith, att'y, 132 Nassau st; James E Kelly, ref. (Amt due \$5,758; sub to taxes, &c, \$200.) Mort recorded —. By B L Kennelly & Co.

Prospect av, e s, present line, 162 n e Westchester av, runs e 56.3 x n e 106.2 x n w 8 x n e 2.2 x n w 85.4 to Prospect av, x s w 107.3 to begin, five 3-sty frame flats. George Stark agt Geo E Fowler et al; Otis & Pressinger, att'ys, 111 Broadway; Henry M Whitehead, ref. (Amt due \$7,600; sub to taxes, &c, \$400.) Mort recorded Dec 27, 1898. By Wm Kennelly.

Oct. 27.

Allen st, No 155, w s, 116.8 n Rivington st, 20.10 x88.4, 2-sty brk tenem't with stores. Leasehold. Louis Althof et al trustees agt Adolph Luckner; Hugo R Muller, att'y, 181 Broadway; G M Speir, ref. (Amt due \$3,794; sub to taxes, &c, \$161.22.) Mort recorded July 1, 1896. By R V Harnett & Co.

Houston st, No 314, n s, abt 165 e Av B, 24.11x 89.9x24.10x91.4, 3-sty brk tenem't with stores with 3-sty brk bldg on rear. Sheriffs sale on execution of all title which Gustav Goldman had on Oct. 2, 1897, or since; Frederic Wiener, att'y, 346 Broadway; Thos J Dunn, Sheriff. By P F Meyer.

148th st, No 305, n s, 100 w 8th av, 25x99.11, 5-sty brk flat. Leo G Rosenblatt as trustee, &c, agt Frank W Gilbert et al; M S & I S Isaacs, att'ys, 27 Pine st; Robt G Monroe, ref. (Amt due \$15,871; sub to taxes, &c, \$901.52.) Mort recorded Dec 23, 1897. By Herbert A Sherman.

Av A, No 39, w s, 26.6 s 3d st, 26.6x100, 4-sty brk tenem't with stores with 4-sty brk tenem't on rear. Leasehold. Joseph Applegate agt Erhard Gelhard et al; Brigham & Baylis, att'ys, 37 Liberty st; Thos J Dunn, Sheriff. (Amt due \$13,015; sub to taxes, &c, \$645.50.) Mort recorded Feb 26, 1897. By P F Meyer.

Amsterdam av, No 349, e s, 77.2 s 77th st, 25x100, 5-sty brk flat with stores. Liberty Realty Co agt John J H Poillon et al; Frayer, Smith, White & Seaman, att'ys, 141 Broadway; Henry W Hardon, ref. (Amt due \$28,629; sub to taxes, &c, \$800.) Mort recorded April 2, 1893. By Samuel Goldsticker.

Oct. 30.

89th st, n s, 96.8 w Columbus av, 103.4x100.8x 100x100.10, vacant. Alexander Walker agt Mark E Stevens et al; Otis & Pressinger, att'ys, 111 Broadway; Geo H Hart, ref. (Amt due \$20,595; sub to mort \$38,500.) Mort recorded Oct 3, 1898. By Wm Kennelly.

Lexington av, No 1014, w s, 68.2 s 73d st, 17x 80, 3-sty brk dwell'g. Mary L Shear agt Caroline G M Ecclesine et al; Theo R Shear, att'y, 32 Liberty st; Alfred T Ackert, ref. (Amt due \$1,683; sub to mort \$13,000, and taxes, &c, \$589.) Mort recorded May 27, 1897. By P F Meyer & Co.

5th av, s e cor 128th st, 24.11x110, 5-sty 128th st, No 2, bry flat. Henry E Coe and ano trustees under will of Richard L Campbell agt Howard D Hamm et al; Edo E Mercelis, att'y, 69 Wall st; Gilbert M Speir, ref. (Amt due \$64,002; sub to taxes, &c, \$2,685.78.) Mort recorded Aug 5, 1897. By R V Harnett & Co.

156th st, s s, extends from Concord av to Jackson av, 175x90, vacant. Frederick McCarthy agt Christina and James Henderson; Smith Williamson, att'y, 364 Alexander av; Augustus Van Wyck, ref. (Amt due \$17,131; sub to taxes, &c, \$150.) Mort recorded Sept 23, 1898. By James L Wells.

3d av, Nos 417 and 4179, on map Nos 4171 and 4173, w s, 30 n 176th st, 52x96.10x52x98.10, two 4-sty brk flats and stores. Joseph Flynn agt Laura Streffler et al; Grasmuck & Ostrander, 202 Broadway; Franklyn Paddock, ref. (Amt due \$4,802; sub to mort \$30,000, and taxes, &c, \$800.) Mort recorded Oct 12, 1898. By D P Ingraham.

18th av, n s, 183 w White Plains road, 18x114,

Wakefield. Rosa A Skidmore as general guardian of Saml T Skidmore agt Wm H Glover et al; Albert W Seaman, att'y, 16 Exchange pl; Warren S Burt, ref. (Amt due \$2,086; sub to taxes, &c, \$62.) Mort recorded Sept 9, 1898. By P F Meyer & Co.

JUDGMENTS IN FORECLOSURE SUITS.

Oct. 13.

Kelly st, n s, 75 w Wales av, 75x115.1x86.4x72.4. Michael Cowen agt Louis M King et al; T Chanon Press, att'y; Chas A Jackson, ref. (Amt due \$4,878.)

Waverly pl, No 106, s s, 88 w McDougall st, 22x97. Edgar Logan agt John E Alexander et al; Chas B Crane, att'y; John Hone, Jr, ref. (Amt due \$16,222.)

106th st, No 62, s s, 150 e Columbus av, 20.3x100.11. Solomon Scheuer agt Wm C Turner et al; Leon B Ginsburg, att'y; Edwd B La Petra, ref. (Amt due \$1,133.)

Oct. 14.

Amsterdam av, w s, 57.11 s 165th st, 2 lots, each 30x100. The German Savings Bank agt John E Darragh et al; 2 actions; Hollis, W & B, att'ys; Joseph Koch, ref. (Amt due \$24,947 on each.)

112th st, s s, 125 w 1st av, 50x100.11. United States Trust Co. of New York agt Peter Reilly et al; Edward W Sheldon, att'y; Peter B Olney, ref. (Amt due \$7,776.)

Elton av, n w cor 160th st, 50x100. Charles Unangst agt James A Simpson et al; Charles Unangst, att'y; Rollin M Morgan, ref. (Amt due \$5,909.)

136th st, s s, 1,000 w Home av, 2 plots, each 50x100. Sophia Hencken agt Herman Enselhardt et al; 2 actions; Charles Unangst att'y; James R Torrance, ref. (Amt due \$3,554 on each.)

Water st, s e s, 52.5 s w Dover st, 24.6x72.6x22.10 x72.8. Helen D Adams trustee will of Patrick Dickle agt William Calhoun et al; Chalmers Wood, att'y; Geo M Van Hoesen, ref. (Amt due \$43,393.)

Oct. 16.

109th st, s s, 100 w Columbus av, 50x100.11. Mary R Reed agt Gaetano Cirrito et al; Wm H Reed, att'y; Sidney J Cowen, ref. (Amt due \$205.)

West End av, s w cor 99th st, 21x80. John S Wilson agt Adela B Heyman et al; Simpson, T & B, att'ys; Isaac Moss, ref. (Amt due \$29,314.)

145th st, s s, 300 w Amsterdam av, 100x99.11. Citizens Savings Bank agt Wm C Turner et al; John W Pirsson, att'y; Geo M Van Hoesen, ref. (Amt due \$38,882.)

Oct. 17.

9th st, No 30, s s, 430.9 w 5th av, 25.4x93.11. The State Bank agt Rosalie Schoenberg et al (No 1); Weil, Wolf, & Kramer, att'ys; Frank D Arthur, ref. (Amt due \$4,545.)

34th st, No 264, s s, 125 e 8th av, 19.6x98.9. Same agt same (No 2); same att'ys and ref. (Amt due \$4,545.)

104th st, s s, 131.4 e Columbus av, 31.4x100.11. Wm P Sandford agt Edgar Coles and ano; Danl S Decker, att'y; Sidney J Cowen, ref. (Amt due \$2,312.)

104th st, s s, 100 e Columbus av, 31.4x100.11. Chas A Christian agt same; same att'y and ref. (Amt due \$2,312.)

111th st, n s, 74 w 2d av, 26x75.7. George Carter as trustee under will of Hannah M Mackey agt Katie Herold et al; Fretrecht, S & S, att'ys; Francis P Lowrey, ref. (Amt due \$6,271.)

118th st, s s, 160 e 5th av, 50x100.11. Chas M Rosenthal agt Isaac Stone et al; Erdman, L & U, att'ys; Augustus Van Wyck, ref. (Amt due, \$9,518.)

St Anns av, w s, 505 n 156th st, 88.3x100. Ernst-Marx-Nathan Co agt Jennie Lipsky et al; Lewis S Marx, att'y; Edward G Whitaker, ref. (Amt due \$8,978.)

Oct. 18.

160th st, present line, n s, 217 e Courtlandt av, 25x101.4. John Yule agt Rudolph Newschaffer et al (No 1); Quackenbush & Wise, att'ys; Reginald H Williams, ref. (Amt due \$2,092.)

Lexington av, w s, 84.3 s 107th st, 16.8x75. Mary Pottebaum indiv and extrx of Herrmann Pottebaum agt Angelina Branns and ano; De Grove & Riker, att'ys; S L H Ward, ref. (Amt due \$7,354.)

51st st, s s, 100 w 10th av, 25x100.5. John C Boyle trustee will of Mary Boyle agt Stephen Schraml and ano; De Grove & Riker, att'ys; Wm J O'Sullivan, ref. (Amt due \$6,662.)

116th st, s s, 291 w 5th av, 21x100.11. The Trustees of the Leake & Waits Orphan House agt Joseph McFarland et al; John M Knox, att'y; Lansing W Walsh, ref. (Amt due \$20,388.)

Willis av, No 145, w s, 75 n 134th st, 25x81.6. Elizabeth Gifford agt William Kaufman et al; Ernest Hall, att'y; Rufus B Cowing, Jr, ref. (Amt due \$12,408.)

11th av, No 562, e s, 83.9 n 42d st, 16.8x82x16.8 x81.4. Elisha Sniffin agt Conda R and Louise F J Thorn; Wm H Stockwell, att'y; Geo H Hart, ref. (Amt due \$7,254.)

5th av, w s, 57 n 30th st, 17x125. Theo L Herrmann agt Chas E Runk et al; Guggenheimer, U & M, att'ys; Christian G Moritz, ref. (Amt due \$11,875.)

115th st, No 26, s s, 529 e Lenox av, 21x100.11. Abby S Marshall agt Cecillia Cassel et al; Marshall, M W & McV, att'ys; Wilber McBride, ref. (Amt due \$16,210.)

115th st, No 28, s s, 509 e Lenox av, 20x100.11. Same agt same; same att'ys and ref. (Amt due \$15,687.)

Oct. 19.

69th st, n s, 369 w Central Park West, 22x100.5. Hamilton Wallis exr, &c, of Wm A Pembroke agt Theo K Pembroke et al; Wilson & Wallis, att'ys; J Van Vechten Olcott, ref. (Amt due \$22,301.)

160th st, n s, 192 e Courtlandt av, 25x101.4. John Yule agt Rudolph Newschaffer et al (No 2); Quackenbush & Wise, att'ys; Reginald W Williams, ref. (Amt due \$2,092.)

111th st, No 101, n s, 16 e Park av, 13.11x100.11. Nathan Erlanger agt Emma F Bryant et al; A L & S F Jacobs, att'ys; Reginald H Williams, ref. (Amt due \$7,659.)

111th st, No 121, n s, 175.4 e Park av, 15.10x100.11. Flora Kaufman and ano exrs, &c, of Jacob Kaufman agt Emma F Bryant et al (No 1); same att'ys and ref. (Amt due \$7,659.)

111th st, No 127, n s, 223.1 e Park av, 15.11x100.11. Same agt same (No 2); same att'ys and ref. (Amt due \$7,659.)

Post road, from New York to Albany, n w s, being lots 64 and 65, on map of farm at Kingsbridge of Mary C P Macomb, contains 6 roads and 20 poles. Dwight S Herrick trustee will of John Simpson agt Benj H Seeley exr Wm A Varian et al; Lent & Herrick, att'ys; Daniel P Ingraham, ref. (Amt due \$12,668.)

LIS PENDENS.

Oct. 16.

St Anns av, n w cor 132d st, 100x100. Michael F Kerby agt John Cotter and John E Doyle; action to declare deed void, &c.; att'y, James Kearney.

Monroe st, No 250, s s, 295 w Jackson st, 20x97.11. Monroe st, No 252, s s, 275.11 w Jackson st, 20x97.3.

Abraham Levy and Frank Goldstein agt Louis Sehlsky and Hyman Bloch; action to reform lease; att'y, Goldfogle, C & L.

Pitt st, No 9, w s, 125 n Grand st, 25x100. Philip Horowitz agt James Fagan; action to enforce contract and for recovery; att'y, Alexander Finelite.

30th st, s w s, 525 e 11th av, 137.6x98.9. Frank G Du Bois agt James H Du Bois et al; partition; att'y, Wm V Simpson.

Oct. 17.

65th st, No 164, s s, 192 e Amsterdam av, 18x100.5.

97th st, n s, 166 w Columbus av, 15.6x100.11

117th st, Nos 35 to 41, n s, 385 e Lenox av, 100x100.11.

David Burton agt A Alonzo Teets; action to enforce contract; att'y, James Kearney.

Oct. 18.

Rutgers pl, No 1, n e cor Jefferson st, 26.6x110. Department of Buildings agt Jacob Finkelstein and ano; violation of building laws; att'y, E Otterbourg.

Cherry st, No 149, s s, 20x60.

Cherry st, No 153, s s, 91 w Market slip, 20x60.

Cherry st, No 155, s s, 20x60.

Cherry st, No 156, n s, 20.2x75.

Edward McArdle agt Selina G and John Dargon and Susan Smith; partition; amended notice; att'y, James A Donegan.

142d st, n s, 375 e 8th av, 25x99.11. Mary E McGovern et al agt Catharine McGovern et al; partition; amended notice; att'y, J E Kelly.

Dey st, No 62, n s, 58 w Greenwich st, 25.2x68x25.5x67.10.

122d st, No 117, n s, 215 w Lenox av, 19.11x100.11.

Spring st, No 331, n s, 20.1 e Washington st, 20.1x60.1.

Washington st, No 499, e s, 59.9 n Spring st, 20.5x78.6x20.3x78.10.

Alfred A Hevia agt Chas A and Ernest J Baco; action for breach of contract and attachment; att'y, P M Brown.

Oct. 19.

3d av, w s, 100 n 174th st, 215x— to Bathgate av, 1-12 part. Bernard Cohen and Woolf Endel agt Matthew Baird; action for specific performance of contract; att'y, E L Kalish.

Same property, 1/2 part of right of curtesy. Same agt James Baird; action for specific performance of contract; same att'y.

Same property, 1/2 part. Same agt Ida P Clark; similar action; same att'y.

Franklin av, at junction of 3d av, runs n along e s 3d av 56.6 x e 78 to n w s Franklin av, as widened, x s w 71 x w 31.2 to beginning.

3d av, n w s, 710 s w Kingsbridge road, 74.6 x100.

3d av, e s, being part lot 142 on map of village of Morrisania, runs e 78 to w s Franklin av, as widened, x n e about 30 x w 78 to e s 3d av, x s 25.6 to beginning.

Washington av, w s, 50 n Wetmore st, 50x101.

Fordham av, s e cor Bassford av, 34x142.4x10.7 x162.4.

Cordelia Freise agt Magda Stellwagen et al; action to admeasure dower; att'ys, Mandelbaum Bros.

29th st, s s, 200 e 10th av, 100x98.9. Mary A P Moran agt Mary E Posthauer et al; att'y, S H Weinberg.

Westchester av, n w s, present line, 182.1 n e Prospect av, present line 19.11x70.7x21.2x68.5. Eva C Stanton agt Geo E Fowler et al (No 1); att'ys, Field & H.

Westchester av, n w s present line 202 n e Prospect av, present line 19.10x77.8x21x70.7. Same agt same (No 2); same att'ys.

5th av, w s, 25 s 136th st, 24.11x85. Sarah Glass agt Katie White et al; att'y, H H Glass.

135th st, n s, 110 w 5th av, 18.4x99.11. Cornelia W Slade agt Wm J Devlin et al; att'y, S B Robinson.

94th st, n s, 275 e 3d av, runs n 98.8 x s e 10.6 x n 12 x e 39.6 x s 100.8 to st, x w 49.6 to begin. American Mortgage Co agt Michael M Keshin et al; att'ys, Bowers & S.

126th st, n s, 103 w Lenox av, 22x99.11. James B Horner agt Saml W B Smith et al; att'ys, Phillips & A.

124th st, s s, 325 w Columbus av, 50x100.11. Fredk G Potter agt Robt L Askey et al; att'ys, J A & A S Mapes.

Oct. 17.

119th st, s s, 193.3 w Pleasant av, runs w 107.3 x s 100.11 x n 114.3 x n 16.4 x w 7 x n 84.7 to begin. John J Sullivan agt The Church of the Holy Rosary et al; to foreclose mechanics lien; att'ys, Booraem, H & B.

Broome st, Nos 149 and 151, s s, 87.6 e Attorney st, 37.6x100. Leopold Schneider and Irving Bachrach agt Nathan Lieber et al; att'ys, M S & I S Isaacs.

Pleasant av, w s, 75.7 s 115th st, 13.1x74. Thos A Disbrow and ano as trustees for Mary B Hoyt agt John Cussen et al; att'y, James A Lynch.

46th st, n s, 275 w 10th av, 25x100.4. John Jordan agt Geo H Foster; to foreclose mechanics lien; att'y, F J Swift.

Lawrence st, s w s, 36.10 w Amsterdam av, 25x100. The Mutual Life Insurance Co of N Y agt Thos J Larkin et al; amended notice; att'y, G E Sherman.

134th st, s s, 275 e 7th av, 100x99.11. Louis Lese and Simon Adler agt Arthur G Muhlker et al; att'y, Isaac Rothschild.

92d st, s s, 125 w Central Park West, 45x100.8. William Buess agt Michael J Donnellson et al; to foreclose mechanics lien; att'ys, Pannes & E.

Prospect av, e s, as widened, 162 n e from n w s Westchester av, runs n 107.3 x e 85.4 x s w 2.2 x s e 8 x s w 106.2 x s w 5.3 to begin. Jared W Bell agt Geo E Fowler et al; att'y, Wm H Stockwell.

124th st, s s, 154.6 w 1st av, 18x100.11. Anna J Randell agt Hannah Kotlowsky et al; att'y, R K Brown.

Division st, s s, 166.3 e Catherine st, 12.6x70. Sarah and Lena Michelson agt Mary Powers; att'y, I Kugelman.

19th st, n s, 135 e Irving pl, 24x79. Martha E Eggert agt Annie T Morgan et al; att'y, W H Williams.

87th st, s s, 70 w Central Park West, 18x100.8. John S Lyle agt Oscar A Norman et al; att'ys, Philbin & B.

154th st, n s, 350 w Courtlandt av, 50x100. Charles Unangst agt George Keigel et al; att'ys, Baldwin & B.

133d st, s s, 235 e Lenox av, 25x100. John Madden agt Louis Lese and Albert Ruff; att'y, M P Doyle.

Greenwich av, w s, 86.5 n 10th st, runs w 40.3 x still w 53.4, x n 19.6 x e 49 x again e 40.3 to av, x s 21 to begin. Cath A F Casanova agt Meyer L Sire et al; att'y, A B Prentice.

Oct. 18.

104th st, No 60, s s, 155 w Park av, 25x100.11. George Gerlach agt Frederick Brandt; att'y, T Sattler.

168th st, n s, 145 e Audubon av, 25x95. Edward Kent and ano exrs, &c, of Mary J Havemeyer agt Margaretha Friedel et al; att'y, H H Whitman.

Union av, n w s, being part lot known as the Snider tract on map of building lots in Village of Morrisania, east of Morse av, by Andrew Findlay, Oct 3, '53, 125x100. Simon Danzig and Abraham H Feuchtwanger agt Saml L Kennedy, Jr, et al; att'ys, Platzek & S.

186th st, s s, 100 w Amsterdam av, 175x161x175 x161.6. Ernest Ehrmann agt Danl J Murphy et al; att'ys, Lachman & G; amended notice.

Union av, n e cor 156th st, 86.5x95.8x104.10x75. Simon Danzig and Abraham H Feuchtwanger agt James C Wood et al; att'ys, Platzek & S.

Brook av, s w cor Westchester av, 104x44.9x87.2x72.3. John A Philbrick agt Charles Naarden and ano; att'ys, Sackett & Lang.

Brook av, n e cor 162d st, runs n 66.5 x e 53.8 x still e 25 x s 50 to st, x w 23.6 to beginning. Eliz A Jenness agt Elizabeth Meyer et al; att'ys, Greene & S.

159th st, new s s, 250 w Elton av, 2 lots, each, 25x98.4. Eliz A Jenness agt Henry Muller, Sr, et al; 2 actions; att'ys, Greene & S.

Kelly st, n s, 110 e Wales av, 75x133.7x83.7x95.11. John Kelly agt Elizabeth Mackinley et al; to foreclose mechanic's lien; att'y, B J Kelly.

148th st, n s, 152 w Morris av, 48x106.6. Wm A Martin agt Vincent Bonagur et al; att'ys, Jeroloman & A.

Jane st, No 41, n s, 87.2 w 8th av, 26.6x87.6x26.5x87.2. Benj B Johnston agt Edgar Ketchum et al; att'ys, Thompson & K.

Union av, s w cor 150th st, 51x80. Frederic J Middlebrook agt Abraham Hirschman et al; att'ys, Bowers & Sands.

Oct. 19.

84th st, No 228, s s, 237.2 w 2d av, 17x102.2. Francis J Schnuag agt Charles Naarden et al (No 1); att'ys, Quackenbush & W.

84th st, No 230, s s, 220.4 w 2d av, 16.10x102.2. Same agt same (No 2); same att'ys.

Amsterdam av, n e cor 129th st, runs n 99.9 x e 64 to centre line of former Byrd st, x s e 40.9 x s 73.6 to centre line of former Phincas st, x s w 8.1 to n s 129th st, x w 96.3 to beginning.

Interior lot 65.4 e Amsterdam av and 99.9 n 129th st, runs e 34.7 x s 18.4 x n w 39.3 to beginning, all title.

120th st, n s, 96.1 e Amsterdam av, 3.11x7.5x8.4, gore.

Emanuel Heilner and Moses J Wolf agt Jas T Fitzpatrick; att'ys, Wolf, K & U.

FORECLOSURE SUITS.

Oct. 14.

46th st, No 613, n s, 200 w 11th av, 25x102.5x26x95.2. Herman and Albertina Blaesi agt Charles and Otille Franke; att'y, George Fielder.

83d st, No 121, n s, 198.8 w Columbus av, 16.4 x102.2. Allan Marquand admr, &c, of Mabel M Ward, agt Robt G Sharp et al; att'ys, Robinson, B & W.

Washington av, n e cor Findlay st, 50x100. Charles Unangst agt Geo A MacDonald et al; att'y, C Unangst.

123d st, n s, 90 w Manhattan av, 16.8x80. Josephine B Meeks agt Geo D Johnson; att'y, Wm J Leitch.

8th av, w s, 75.8 s 112th st, 25.1x100. Geo L Rives as guardian of Samuel W Pomeroy Jr, agt Emanuel Heilner et al; att'y, Luis J Phelps.

Oct. 16.

2d av, e s, 40.5 n 50th st, 20x70. American Mortgage Co agt Herman Rosenblum et al; att'ys, Bowers & S.

Part lot 16 on map of village of Morrisania, begins at point on s w boundary of said lot, 50 from s e cor of said lot, runs n e 200 x n w 25 x s w 200 x s e 25 to begin. John Lang agt Elizabeth Lang; att'ys, Langheim Bros & L.

Crotona av (Grove st), w s, 200 s Woodruff av, 18.6x100. Ida M Murphy agt Niels Toelberg et al; att'y, A B Carrington.

Union av, w s, 50 s 168th st, 100x100. Luigi Marino agt Mathew F Riley et al; to foreclos mechanic's lien; att'ys, Menken Bros.

West End av, e w cor 68th st, 100.5x100. Chas E Lowe agt George Van Orden and ano; to foreclos mechanic's lien; att'y, L J Morrison.

Green lane or av, s e cor of proposed 5th st, 20x100x28.5x100.1. Westchester. The N Y Bible and Common Prayer Book Society agt Edward Kochkeller et al; att'ys, Nash & Jones.

6th av, n e cor 16th st, runs e 141.10 n 92 x w 25 x s 43 x w 116.10 to av, x s 49 to beginning.

Wm A Spencer and ano agt Jacob D Butler et al; att'ys; Tracy & S.

Lawrence st, No 82, s w s, 11 w Amsterdam av, 25x100. Wolfgang and Margareta Haberdash agt Thos J Larkin et al; att'y, Chas G Stevenson.

98th st, n s, 200 e Madison av, 100x100.11. Salomon Marx agt Otto F Degener et al; att'ys, Guggenheimer, U & M.

1st av, Nos 2279 and 2281, w s, 25.2 n 117th st, 50.5x100. Oscar G Borkstrom agt George Jenkins et al; att'y, C B Mason.

64th st, n s, 130 w 2d av, 50x100.5. Leasehold. Felix Cohn agt Louis H Steinhart et al; att'ys, Guggenheimer, U & M.

Oct. 20.

Broadway, s e cor 89th st, runs s e 141.8 x s w 98.9 x n w 50 x n e 10.2 x n w 14.3 x w 54 to Broadway, x n 107 to beginning, "Casino." Leasehold. Anthony J Dittmar agt Henry B Sire and Geo W Lederer; to foreclos lien; att'ys, Guggenheimer, U & M.

West End av, w s, 84.5 s 71st st, 16x100. Geo F Vitor agt Chas A Beardsley et al (No 2); att'y, J A McCreary.

Forrest av, Nos 1064 to 1088, e s, 150 s 166th st, 75x135. Charles Rieger agt Joseph Marthaler; att'y, L B Ginsberg.

100th st, s s, 180 w 2d av, 25x100.7. Anne W Kellogg agt Louisa M Sander et al; att'y, J Rosenzweig.

CONVEYANCES.

Whenever the letters Q. C., C. a. G. and B. & S. occur, preceded by the name of the grantee, they mean as follows:

1st.—Q. C. is an abbreviation for Quit Claim deed, i. e., a deed wherein all the right, title, and interest of the grantor is conveyed, omitting all covenants or warranty.

2d.—C. a. G. means a deed containing Covenant against Grantor only, in which he covenants that he hath not done any act whereby the estate conveyed can be impeached, charged or encumbered.

3d.—B. & S. is an abbreviation for Bargain and Sale deed, wherein, although the seller makes no express covenants, he really grants or conveys the property for a valuable consideration, and thus impliedly claims to be the owner of it. The street and avenue numbers given in these lists are, in all cases, taken from the Insurance maps when they are not mentioned in the deeds. The numbers it will occasionally be found, do not correspond with the existing ones, owing to there having been no official designation made of them by the Department of Public Works.

4th.—The first date is the date the deed was drawn. The second date is the date of filing same. When both dates are the same, only one is given.

5th.—The figures in each Conveyance, thus 2 : 482, denotes that the property is in section 2 block 482.

6th.—It should also be noted in section and block numbers, the instrument as filed is strictly followed.

7th.—The letters R S \$8.00, means Revenue Stamps \$8.00.

October 13, 14, 16, 17, 18, 19.

BOROUGH OF MANHATTAN.

Allen st, No 57, w s, abt 150 s Grand st, 25x87.6, 4-sty brk store and tenem't with 3-sty brk building on rear. Gesine Reinecke to Harris Goldberg. Morts \$12,465. Oct 16. Oct 19, '99. R S \$5.50. 1:307. See 13th st. nom

Bleecker st, No 146, s s, 50 w South 5th av, 25x125, 3-sty brk bldg. Geo C Guion EXR Eliz J Guion to Frances and Martha Guion. Oct 19, '99. R S \$30.50. 2:525. 30,200

Centre st, indef, lot 8 Tinton & Fisher estate.

Canal or Walker st, No 196, n s, 80.7 e Bowery, runs e 20.6 x n 5.6 should be 75.6 to No 69 Bowery, x w 19.6 x s 75.4 to beginning, except part taken for widening Walker now Canal st (error in this parcel).

Mabel E wife of and Albert E Tilton, Winsted, Conn, and Chas J, Fredk G, Louise E, Grace E, Malcolm P and Delford M Fisher and Florence I Phelps, Shrewsbury, N J, to Eliz M Fisher, Shrewsbury, N J. Dec 7, 1896. Oct 10, '99. R S, none. 1:161 and 303. nom

Delancey st, No 326, n s, 50.1 e Goerck st, 25x75, 5-sty brk tenem't with stores. Emma C Koster to Sophie C Koster. All liens. All title. April 6. Oct 18, '99. R S \$9.00. 2:323. 9,000

Hamilton st, No 16 1/2, s s, bet Catharine and Market sts, 17.4x103.6x 17.3x103.6, brk store and tenem't with 3-sty frame tenem't on rear. Isabelle L Dandridge, Bowen, Jefferson Co, West Va, to Robt H E Elliott, Flushing, N Y. Mort \$8,000. Oct 2. Oct 17, '99. R S \$8.00. 1:253. nom

Henry st, n s, 69 e Clinton st, runs e to centre wall bet 213 and 215 Henry st, x n 85 x w — x s 85: Isaac Goodstein to David N Zeman. B & S. Oct 13. Oct 17, '99. R S 50 cts. 1:286. 123

Houston st, No 226, n s, 71.9 w Av A, 18x— to 1st st x 17.11x—, 4-sty 1st st, No 121 | brk bldg. Valentine Bendinger et al children and HEIRS Barbara Bendinger to Frederick Voegelin. Q C. Oct 5. Oct 13, '99. R S none. 2:428. nom

Houston st, No 252, n e s, 194.3 e Av A, 24.9x106, 4-sty brk store and tenem't with 3-sty brk tenem't on rear. FORECLOS. John P Clarke referee to Leon and Jacob Pizer. Oct 10. Oct 13, '99. R S \$21.00. 2:397. 21,000

Madison st, No 284, s s, 92 w Montgomery st, 23x108, 6-sty brk tenem't with stores, except part taken to widen Madison st. Isaac R Horowitz to Charles Wolfson. Morts \$32,000. Oct 16. Oct 17, '99. R S \$6.50. 1:269. nom

Mercer st, No 141, n w cor Prince st, portion 6-sty brk store.

Pearl st, No 551, s s, abt 150 e Broadway, 3-sty brk bldg with 2-sty brk building on rear.

Broadway, No 645, w s, abt 30 n Bleecker st, 5-sty stone front store. Also 1/2 part of following:

Water st, Nos 212 and 214, n w s, abt 100 n e Fulton st, 5-sty stone front store.

Broadway, No 815, w s, abt 45 s 12th st, 2-sty brk store.

Cornelius V S Roosevelt to James I Roosevelt. All liens. Q C. Aug 30, '62. Oct 19, '99. R S none. 1:156-95-2:513-532-563. nom

Prince st, Nos 9 and 11, n s, 39.7 e Elizabeth st, runs n 53.10 x e 0.7 x n 27.3 x e 40.5 x s 87.9 to Prince st x w 40.11, 6-sty brk tenem't with stores. Marian Schramme to Isaac Marx. Correction deed. B & S. Oct 14. Oct 17, '99. R S none. 2:507. nom

Ridge st, e s, 80 s Broome st, 20x100, 3-sty frame (brk front) tenem't with 3-sty brk tenem't on rear. Jacob Hyman to Louis Hyman. 1/2 part morts \$10,000. 1/2 part. Oct 16. Oct 17, '99. R S \$3.00. 2:341. nom

Roosevelt st, No 92, e s, 120 n w Cherry st, 20x62x20x61.5, 4-sty frame brk front store and tenem't. Edwd A Morrison and ano TRUSTEES Samuel Phiilips, Frederic D Phiilips, James D Freeman, Anna K Freeman, Elizabeth P Freeman, last three being HEIRS Eliza J Freeman, Theodore L Van Norden, Warner De La M, Emma P, and Cora L Van Norden last four being HEIRS Martha P Van Norden, Edwd A, Jr, Mary L, John and Emily Morrison and Isabel Cobden last five being HEIRS S Louise Morrison to Bernard Golden. Aug 30. Oct 18, '99. R S \$7.50. 1:111. 7,500

Rutgers st, No 47, s e cor Monroe st, 17.4x53, 3-sty frame brk front store and tenem't. Cath F Ward to Rebecca Meryash. Mort \$9,000. Oct 11. Oct 18, '99. R S \$4.00. 1:256. nom

State st, No 4, n s, 83 w Whitehall st, runs n 60.1 x e 0.4 x n 56.3 x w 24.8 x s 16.2 x s 100 to State st x e 28, 5-sty brk building. Chas W Ogden to The Lutheran Emigrants House Association of N Y. Oct 9. Oct 13, '99. R S \$78.00. 1:9. nom

Suffolk st, No 148, e s, 100.2 s Stanton st, 25x100, 6-sty brk tenem't with stores. Charles and August Ruff to Bernard Galewski. Confirmation deed. Q C. Sept 19. Oct 17, '99. R S \$1.00. 2:349. nom

Sullivan st, No 147, s e s, 243.6 n e Prince, st, 24.8x100, 5-sty brk tenem't with stores. Christian Hammel to Tommaso Sileo. Morts \$16,000. Oct 16, '99. R S \$12.00. 2:517. nom

Thompson st, No 180, e s, 150 s Bleecker st, 25x100, 3-sty brk store. Anna Majewski to Frank Donnelly. Morts \$15,000. 1/2 part. Oct 6. Oct 13, '99. R S \$2.00. 2:525. 2,000

4th st, No 34, s s, 151.10 w Bowery, 25.4x94.11, 5-sty brk store and tenem't. FORECLOS. Geo R Carrington to Max Weiss. Morts \$29,000. Oct 17, '99. R S \$4.00. 2:531. 4,000

13th st, Nos 419 to 425, n s, 50 n e Washington st, 100x103.3, Nos 419 to 423, two 3-sty brk tenem'ts with stores; No 425, 1-sty frame and brk stores. CONTRACT to exchange for property in Bayonne. Chas W Cummings with David Mandeltort, Bayonne, N J. Aug 8. Oct 19, '99. nom

13th st, No 541, n s, 120.4 w Av B, runs w 24.8 x n 103.3 x e 25 x s 61.2 x s 42.1, 6-sty brk tenem't with stores. Harris Goldberg to Gesine Reinecke. Morts \$25,000. Oct 16. Oct 19, '99. R S \$10.00. 2:407. See Allen st. nom

17th st, No 327, n s, 300.4 w 8th av, 24.8x92, 2 and 1-sty frame buildings. Chas A E Krafft to Benedict A Klein. 1/2 part. Oct 17. Oct 19, '99. R S \$5.50. 3:741. 5,467

Same property. Caroline M, Fredk E, Edwd A and Marie E Kirchert by Maria Kirchert guardian to Benedict A Klein. 1/2 part. Oct 17. Oct 19, '99. R S \$5.50. 5,467

19th st, No 124, s s, 328.8 w 6th av, 25x100, 6-sty brk store. Edward Jansen to Benjamin Altman. Morts \$25,000. Sept 1. Oct 16, '99. R S \$40.00. 3:794. 65,000

20th st, No 438, s w s, abt 283.4 e 10th av, 16.8x91.11, 4-sty brk dwell'g. FORECLOS. Jacob F Miller referee to Sarah L Hayes. July 28. Oct 17, '99. R S \$9.00. 3:717. 8,900

22d st, No 159, n s, 143.9 e 7th av, 21.10x98.9, 3-sty brk dwell'g. James E North to Fredk W Marks. Morts \$12,000. Sept 22. Oct 19, '99. R S \$7.50. 3:798. nom

24th st, No 235, n s, 350 e 8th av, 25x98.9, 6-sty brk tenem't. Mary Breithaupt to Geo J Humphreys. Morts \$25,000. Oct 13. Oct 17, '99. R S \$1.00. 3:774. exch

27th st, No 236, s s, 140 w 2d av, 20x98.9, 3-sty brk dwell'g. Kate E Baylton and Rowlinda J Jones to Chas H Duffy. Morts \$4,000. Oct 19, '99. R S \$12.00. 3:907. nom

29th st, No 209, n s, 140.6 e 3d av, 15x98.9, 4-sty brk tenem't. Moritz Stern to Henry Hackman. Oct 16, '99. R S \$8.50. 3:910. 8,500

34th st, No 476, s s, 20 e 10th av, 19.4x88, 4-sty stone front dwell'g. Wm S Morgan to James M Hanley. Morts \$10,000. Oct 11. Oct 18, '99. R S \$2.00. 3:731. nom

36th st, No 344, s s, 100 w 1st av, 25x98.9, 5-sty brk tenem't. FORECLOS. George Haas ref to Mary Dunn. Oct 17. R S \$10.00. Oct 18, '99. 3:941. 10,000

37th st, No 327, n s, 325 w 8th av, 25x98.9, 3-sty frame tenem't. John Stich to Lesser S Meyer. 1/2 part. Mort \$10,000. Oct 17. R S \$3.50. Oct 18, '99. 3:761. nom

Same property. Same to Minnie Morris. 2-3 part. Mort \$10,000. Oct 17. R S \$7.00. Oct 18, '99. nom

37th st, No 263, n s, 100 e 8th av, 16.8x98.9, 4-sty brk dwell'g. Marie C Smith to Chas F Myers. Morts \$1,000. Oct 1. Oct 16, '99. R S \$11.50. 3:787. nom

40th st, No 234, s s, 215.2 w 2d av, 20.1x72.3, 4-sty brk tenem't. FORECLOS. Warren W Foster to Andrew Mills. Morts \$10,000. Oct 16. Oct 17, '99. R S \$3.00. 3:920. 2,275

44th st, No 124, s s, 281.3 w 6th av, 18.9x100.4, 4-sty brk dwell'g. Henry L Herbert to Florence V Ryder and Wm M Garden. Morts \$14,000. Jan 20. Oct 19, '99. R S \$8.00. 4:996. nom

Same property. Florence V Ryder widow and Wm M Garden to Teresa Herterich. Mort \$14,000. B & S. C a G. Oct 19, '99. R S \$12.00. 4:996. nom

45th st, No 156, s s, 194.9 e Broadway, as widened, and 205 e 7th av, old line, 20x100.5, 5-sty stone front dwell'g. Mary A Steward widow and Mary B Sarah Steward, Eliz S Burrill and Anna S Lincoln children and HEIRS Daniel J Steward to John Addison. R S none. Sept 25. Oct 18, '99. 4:997. nom

Same property. John Addison to Annie R Neeler. Morts \$21,000. Sept 26. Oct 18, '99. R S \$11.00. nom

46th st, s s, 225 e 2d av, 100x100.5, vacant. FORECLOS. Francis P Lowrey to Samuel Weil. Oct 17. Oct 18, '99. R S \$20.00. 5:1338. 20,000

48th st, No 327, n s, 350 e 2d av, 25x100.5, 4-sty brk tenem't with stores. FORECLOS. Francis C Cantine to Alexander and Robt L Maitland trustees Eliza L Dwight. Oct 11. Oct 13, '99. R S \$12.00. 5:1341. 12,000

49th st, No 8, s s, 161.6 w 5th av, 22x100, 4-sty stone front dwell'g. Saml A Carlton to Harriet A wife of Thos M Dillingham. Dec 9, '97. Oct 18, '99. R S none. 5:1264. nom

52d st, No 344, s s, 400 w 8th av, 20x100.5, 4-sty brk building. Jas A Striker to Robert Hill. Mort \$14,500. Oct 16. Oct 17, '99. R S \$3.50. 4:1042. 17,000

56th st, No 30, s s, 434 w 5th av, 16x100.5, 4-sty stone front dwell'g. Maud B wife of James L Banks to Henry Seligman. Oct 16. Oct 17, '99. R S \$54.00. 5:1271. 53,700

56th st, No 32, s s, 450 w 5th av, 25x110.10, 4-sty brk dwell'g. Sarah E wife of Sheppard Knapp to Henry Seligman. Morts \$50,000. Oct 16. Oct 17, '99. R S \$25.00. 5:1271. 100

57th st, No 39, n s, 116 w Park av, 19x100.5, 4-sty stone front dwell'g. David Frankenberg to Emily De S wife Chas W Clinton. Oct 16. Oct 17, '99. R S \$55.00. 5:1293. 55,000

61st st, No 118, s s, 310 w Columbus av, 30x100.5, 4-sty stone front flat. FORECLOS. John E Duffy referee to John H Hudson TRUSTEE will Stephen Philbin. Oct 11. Oct 13, '99. R S \$20.00. 4:1132. 20,000

61st st, No 120, s s, 340 w Columbus av, 30x100.5, 4-sty stone front flat. FORECLOS. Same to John H Hudson TRUSTEE will Stephen Philbin. Oct 11. Oct 13, '99. R S \$20.00. 4:1132. 20,000

61st st, No 122, s s, 370 w Columbus av, 30x100.5, 4-sty stone front flat. FORECLOS. Same to John H Hudson TRUSTEE will Stephen Philbin. Oct 11. Oct 13, '99. R S \$20.00. 4:1132. 20,000

61st st, No 122, s s, 370 w Columbus av, 30x100.5, 4-sty stone front flat. FORECLOS. Same to John H Hudson TRUSTEE will Stephen Philbin. Oct 11. Oct 13, '99. R S \$21.00. 4:1132. 20,600

63d st, No 128, s s, 300 e 4th av, 25x100.5, 4-sty brk dwell'g.
 113th st, No 16, s s, 243.9 e 5th av, 18.9x100.11, 5-sty brk flat.
 Mathilde Eidlitz et al TRUSTEES Marc Eidlitz to Robert Sherwood.
 Sept 28. Oct 17, '99. R S \$37.00. 6:1618-5:1397. 37,000
 Same property. Robert Sherwood to Mathilde, Otto M and Robt J
 Eidlitz TRUSTEES Marc Eidlitz. Q C. Sept 28. Oct 17, '99. R
 S \$37.00. 37,000
 65th st, No 340, s s, 225 w 1st av, 18.9x100, 2-sty brk dwell'g. Flora
 Pohalski to Henry Pohalski. Morts \$5,000. Oct 13, '99. R S
 \$1.00. 5:1439. nom
 69th st, No 413, n s, 213 e 1st av, 25x100.4, 1-sty frame dwell'g.
 Dennis O'Connell to John E Gerlach. Oct 16, '99. R S \$7.00. 5:1464
 val consid and 100
 69th st, No 306, s s, 150 w West End av, 25x100.5, 5-sty brk flat.
 Wm R Bronk to Julia W Porges. Mts \$15,000. Sept 19. Oct 18, '99.
 R S \$5.00. 4:1180. nom
 70th st, No 7, n s, 125 w 8th av, 25x100.5, 3-sty stone front building.
 Amelia N Dunlap to John H Hull. Morts \$20,000. April 12. Oct
 19, '99. R S none. 4:1123. 30,000
 76th st, No 205, n s, 77 e 3d av, 28x102.2, 4-sty brk store. Louis P
 Gravel to James R Keane. Morts \$16,900 and all liens. Oct 16.
 Oct 17, '99. R S \$18.00. 5:1431. nom
 77th st, No 337, n s, 375 e 2d av, 25x102.2; also
 85th st, n s, 119 e 1st av, 25x102.2.
 Revocation of trust deed. Robert Loeb with Josep Loeb. Oct 18.
 Oct 19, '99. 5:1565-1452. nom
 78th st, No 164, s s, 225 w 3d av, 25x102.2, 5-sty brk flat. Esther
 Brown to Wolf Aaron. Morts \$20,500. 1/2 part. Oct 12. Oct 14.
 '99. R S \$11.00. 5:1412. nom
 79th st, No 23, n s, 282 e 5th av, 18x102.2, 4-sty stone front dwell-
 ing. Emily De S wife and Chas W Clinton to John E Schermer-
 horn. Oct 11. Oct 16, '99. R S \$75.00. 5:1491. 75,000
 81st st, No 235, n s, 175 w 2d av, 25x102.
 82d st, No 236, s s, 175.10 w 2d av, 25.5x102.2.
 Release and quit claim to all right, claim, privilege or easement.
 Frederick and Maria Kolbe to William Wessell. Oct 13. Oct 14,
 '99. 5:1527. nom
 81st st, No 243, n s, 80 w 2d av, 20x102.2, 4-sty brk tenem't. Thos
 B Carey DEVISEE Denis Flanigan to Mary Flanigan widow. Sub
 to life estate Mary Flanigan. All liens. 1-3 part. Oct 11. Oct 17.
 '99. R S 50 cts. 5:1527. 500
 86th st, No 445, n s, 125 w Av A, 25x100.8, 5-sty stone front flat.
 Marinus E Sepp to George Wolf and Michael J Horan. Morts \$21.-
 000. Oct 16, '99. R S \$5.00. 5:1566. val consid and 100
 87th st, No 350, s s, 120 e Riverside Drive, 20x100.8, 4-sty brk dwell-
 ing. Andrew S Fraser to Alicia V La Bau. Mar 1, '98. Oct 19,
 '99. R S none. 4:1248. nom
 88th st, No 233, n s, 125 w 2d av, 25x100.8, 5-sty stone front tenem't.
 William Lenzner to Joseph Herrmann and Josephine his wife.
 Mort \$10,000. Oct 16, '99. R S \$9.00. 5:1534. nom
 88th st, No 315, n s, 195 w West End av, 20x100.8, 4-sty stone front
 dwell'g. Leopold Schmid to Whitney Lyon. Morts \$24,000. Oct
 11. Oct 16, '99. R S \$14.00. 4:1250. 37,750
 90th st, No 145, n e cor Lexington av, 20x100.4, 4-sty brk flat with
 stores on av. Lucas George to Geo W Godward. Morts \$25,000.
 Oct 17. Oct 18, '99. R S \$5.00. 5:1519. See 128th st. nom
 91st st, No 16, s s, 225 e 5th av, 25x100, 5-sty brk flat. John F Dev-
 lin to Andrew Carnegie and Louise W his wife. All liens. B & S.
 May 26. Oct 13, '99. R S \$23.50. 5:1502. nom
 91st st, No 18, s s, 255.7 e 5th av, 30.7x100.8, 5-sty brk flat. Wm H
 Fain to Andrew Carnegie and Louise W his wife. B & S. Sub to
 liens. June 15. Oct 13, '99. R S \$55.00. nom
 91st st, No 20, s s, 286.2 e 5th av, 20.6x100.8, 5-sty brk flat. Grant
 Notman, Brooklyn, to Andrew Carnegie and Louise W his wife. B
 & S. Sub to liens. June 26. Oct 13, '99. R S \$17.50. 5:1502. nom
 Same property. Same to same. Re-recorded. All liens. B & S.
 June 26. Oct 19, '99. R S \$17.50. nom
 91st st, Nos 22 and 24, s s, 306.8 e 5th av, 51.1x100.8, 4-sty stone
 front school. John F Devlin to Andrew Carnegie and Louise W his
 wife. B & S. June 19. Oct 13, '99. R S \$60.00. 5:1502. nom
 Same property. Same to same. B & S. Re-recorded. June 19. Oct
 18, '99. R S \$60.00. nom
 91st st, No 328, s s, 225 w 1st av, 25x100.8, 5-sty stone front tene-
 ment. Henry Gundlach and Henry Koch to Lorenz and Margaretha
 Fleischmann. Morts \$17,500. Oct 7. Oct 17, '99. R S \$6.00.
 5:1553. val consid and 100
 92d st, No 126, s s, 265 e Park av, 15x100.8, 3-sty brk dwell'g. FORE-
 CLOS. Abner C Thomas to Leonard T Gaffney. Oct 16, '99. R S
 \$13.50. 13,500
 92d st, s s, 100 w West End av, 50x100.8. Agreement as to re-
 strictions. Helen M del Garcia, formerly Graham, Julia Graham
 and Richard S Chisolm with Geo R Schieffelin. May 5. Oct 19,
 '99. 4:1251. nom
 92d st, s s, 175 w West End av, 75x110.5 to old lane x76x114.5; also
 all title to said lane, vacant. George R Schieffelin to The River-
 side Building Co. C a G. Oct 17. Oct 19, '99. R S \$60.00. 4:1251. nom
 92d st, s s, 250 w West End av, 25x109.1 to old lane x25x110.5,
 with all title to old lane, vacant. Geo R Schieffelin to The River-
 side Building Co. 1/2 part. Morts \$10,000. Oct 17. Oct 19, '99.
 R S \$10.00. 4:1251. See Riverside Drive. nom
 Same property Helen M del Garcia, Julia G Walker, by Alex R
 Chisolm, atty, and Richd S Chisolm children and DEVISEES Helen
 M Chisolm to The Riverside Building Co. Morts \$10,000. 1/2 part.
 Oct 17. Oct 19, '99. R S \$10.00. 4:1251. nom
 92d st, s s, 125 w West End av, 50x114.5 to old lane x50.1x117.1,
 all title to said lane. Same to The Riverside Building Co. Morts
 \$35,000. Oct 17. Oct 19, '99. R S \$40.00. 4:1251. nom
 93d st, No 173, n s, 280.4 w 3d av, 19.8x100.8, 4-sty stone front flat.
 Harris Mandelbaum and Fisher Lewine to Simon Stern. Morts \$12.-
 000. Sept 1. Oct 16, '99. R S \$8.00. 5:1522. nom
 93d st, No 169, n s, 134 e Amsterdam av, 17x107.7 to Aphorps lane
 x17x108.3, 3-sty stone front dwell'g. Daniel B Freedman to Louise
 V Weber. Morts \$15,000. Oct 18, '99. R S \$7.00. 4:1224. nom
 94th st, No 132, s s, 270 e 4th av, 20.1x100.8, 4-sty stone front flat.
 Magdalena Ruter to Mary Barry. Oct 16. Oct 17, '99. R S \$17.50.
 5:1522. 17,500
 94th st, No 126, s s, 321.2 w Columbus av, 33.6x87.11 to Aphorps
 lane x33.6x89.2, 5-sty brk flat. All title to said lane. Catherine
 Linde to James M Bingham. Morts \$40,000. Oct 12. Oct 17, '99.
 R S \$20.00. 4:1224. nom
 97th st, No 169, n s, 182 e Amsterdam av, 14x100.11, 3-sty stone front
 dwell'g. James G Wright to Philip Kling. Sept 23. Oct 17, '99.
 R S \$10.00. 7:1852. 10,000
 Same property. Assignment of all title in contract. Philip Kling to
 Theresa Lynch. June 15. Oct 17, '99. 7:1852. nom
 100th st, Nos 187 to 193, n s, 195 e Lexington av, 100x100, 11 four
 5-sty brk flats. Release mort. The Equitable Life Assurance
 Society to John D Mennie. Oct 13, '99. 6:1628. 7,500
 101st st, Nos 329 and 331, n s, 250 w West End av, 50x100.11, 7-sty
 brk flat. Samuel Oulney to David E Oppenheimer and Joseph Ham-
 ershlag. Morts \$67,000. Aug 31. Oct 16, '99. R S none. 7:1889. nom

101st st, Nos 329 and 331, n s, 250 w West End av, 50x100.11, bldg
 partly finished, 6-sty brk flat. David E Oppenheimer and Joseph
 Hammerslag to T Judson Kilpatrick. Oct 16. Oct 17, '99. R S
 \$65.00. 7:1889. nom
 104th st, No 220, s s, 226.8 e 3d av, 16.8x100.11, 3-sty stone front
 dwell'g. FORECLOS. Edwd B La Fetra referee to John H Ives and
 Andres M Companioni EXRS and TRUSTEES Emilio Del Pino.
 Oct 17. Oct 19, '99. R S \$7.00. 6:1653. 6,650
 105th st, Nos 221 to 225, n s, 200 w Amsterdam av, 75x100.11, three
 5-sty brk flats. Robert T Bellichambers to Rose H Bellichambers.
 Morts \$66,000. Oct 14. Oct 19, '99. R S \$12.00. 7:1877. nom
 106th st, No 69, n s, 100 w Park av, 25x100.11, 5-sty brk flat. Cath-
 erine Ewest to George Schaefer. Morts \$17,100. Oct 12. Oct 19,
 '99. R S \$4.00. 6:1612. nom
 108th st, No 316, s s, 255.10 e Riverside Drive, 19.1x100.11, 5-sty brk
 dwell'g. Joseph A Farley to J Aspinwall Hodge, Jr. Morts \$25.-
 000. Oct 10. Oct 13, '99. R S \$10.00. 7:1892. nom
 112th st, No 215, n e s, 200 e 3d av, 16.8x100.2, 2-sty frame dwell'g.
 FORECLOS. Louis Hanneman to Benjamin Salinsky. Oct 18, '99.
 R S \$5.00. 6:1662. 4,625
 112th st, No 133, n s, 175 e 7th av, 30x100.11, 5-sty brk flat. Melissa
 R Holmes to John C Schawe. Morts \$34,500. Oct 18. Oct 19, '99.
 R S \$2.00. 7:1822. nom
 113th st, Nos 68 to 74, s s, 125 e Lenox av, 105x100.11, four 5-sty brk
 flats. Release mort. Milton E Oppenheimer to Henry Acker. Oct
 16, '99. R S none. 6:1596. 19,500
 Same property. Release mort. Same to same. Oct 16, '99. 19,218
 113th st, s s, 200 w 7th av. Party wall agreement. Charles Brogan
 and Emil Meyer with Geo T Arnoux. Oct 16, '99. 7:1828. nom
 114th st, No 19, n s, 220 e 5th av, 25x100.11, 5-sty brk flat. Henry
 Dale to Martin A Dewey. Morts \$17,000. June 24. Oct 16, '99.
 R S \$11.00. 6:1620. nom
 116th st, No 104, s s, 25 e Park av, 37.3x100.11, 6-sty brk flat. Ed-
 ward Kochkeller to Dora Levy. Morts \$50,000 and all liens. Sept
 25. Oct 16, '99. R S \$2.00. 6:1643. nom
 117th st, No 434, s s, 257.2 w Pleasant av, 18.5x100.11, 3-sty frame
 dwell'g.
 125th st, No 334, s s, 228.7 w 1st av, 20.11x100.11, 3-sty brk dwell'g.
 125th st, No 338, s s, 187.6 w 1st av, 20.6x100.11, 3-sty brk dwell'g.
 Frances Kelly widow HEIR Margaret or Maud Murphy to Mary A
 and Katherine Murphy. 1/4 part. Oct 16, '99. R S \$6.50. 6,125
 Same property. Release of all claim in estate Margaret Murphy.
 Frances Kelly widow to Mary A and Katherine Murphy. Oct 16,
 '99. 6:1801. nom
 Same property. Theo M Hill TRUSTEE to Frances Kelly. All title.
 Aug 23. Oct 16, '99. R S \$5.50. nom
 Same property. Certificate of performance of agreement and confir-
 mation of deed. Lewis J Morrison to whom it may concern. Oct 9.
 Oct 16, '99. 6:1801. nom
 117th st, Nos 38 and 40, s s, 375 e Lenox av, 50x100.11, two 5-sty brk
 flats. J Allen Townsend to Isidor Kaufman. Morts \$42,000. Oct
 12. Oct 16, '99. R S \$7.50. 6:1600. nom
 117th st, No 338, s s, 150 w 1st av, 25x100.11, 5-sty brk tenem't.
 Nathan Mayer to Maria R Dellaglio. Morts \$10,000. Oct 19, '99.
 R S \$5.50. 6:1688. 15,400
 118th st, No 583, n s, 416.3 e Pleasant av, 20.5x100.11, 5-sty brk store
 and tenem't. Louis B Hasbrouck to Emma Sroncezer. Morts \$8.-
 250. Oct 18. Oct 19, '99. R S \$12.50. 6:1815. nom
 119th st, n s, 200 e 5th av, 2x102.6x19x100.10. All right, title, &c.
 Oscar Smith and Henry S and Mary R Pack by Samuel Cohn guard
 to Charles Riley. Oct 19, '99. R S 50 cts. 6:1746. 164
 Same property. 17-18 parts. Owen Smith, San Francisco, Cal, et al
 to same. C a G. Sept 30. Oct 19, '99. R S \$3.00. 2,786
 120th st, Nos 114 and 116, s s, 173.4 e Park av, 41.8x100.10, two
 4-sty stone front flats. Augusta Siebold to Henry Weiss. Morts
 \$17,000. Oct 16. Oct 17, '99. R S \$8.00. 6:1768. exch
 121st st, Nos 313 and 315, n s, 95 e Manhattan av, 50x100.11, two
 5-sty stone front flats. Mary wife and Francis A Thomas and Hor-
 ace wife and Neva Clark and Loretta Clark widow to James H
 O'Neill, Jersey City, N J. June 23. Oct 14, '99. R S \$40.00.
 7:1948. nom
 122d st, No 14, s s, 170 e Lenox av, 21x100.11, 3-sty brk dwell'g.
 Mary K Taylor to Emily E Purdy. Morts \$16,000. Oct 2. Oct 17,
 '99. R S \$9.00. 6:1720. 24,750
 123d st, Nos 137 and 139, n w cor Lexington av, 40x100.11, two 3-sty
 frame dwell'gs. Annie McKeon to Elizabeth wife of John H Nagle.
 1/2 part. Mort \$15,000. Oct 5. Oct 13, '99. R S \$10.00. nom
 124th st, No 352, s s, 143.2 e Columbus av, 27.8x100.11, 5-sty brk
 flat. FORECLOS. Wm G Davies referee to Edmund E Murphy exr
 Elsie S Murphy. Oct 19, '99. R S \$20.00. 7:1950. 20,000
 125th st, |n s, at s s Manhattan st, runs w 210.6 x n e 97.10 to
 Manhattan st | Manhattan st x s e 176.7, vacant. Wm H Scott to
 Thomas Berkeley. Oct 17. Oct 19, '99. R S \$40.00. 7:1966. nom
 125th st, No 155 |n s, 135 e Lexington av, runs n 99.11 x
 126th st, Nos 150 to 154 | w 25 x n 99.11 to 126th st x e 50 x s 199.10
 to 125th st x w 25, 4-sty brk building on 125th st with two 3-sty
 frame dwell'gs on 126th st. Release mort. City Real Estate Co to
 Charles Weisbecker. Oct 16, '99. 6:1774. 50,000
 125th st, No 155, n s, 135 e Lexington av, 25x99.11. Charles Weis-
 becker to George Merle. Sub to any encroachment. Oct 16, '99.
 R S \$50.00. 6:1774. 50,000
 127th st, No 258, s s, 300 e 8th av, 33.4x99.11, 3-sty stone front
 dwell'g. John K Sloane to Eliza T Wray. Q C. Confirmation and
 correction deed. Oct 14. Oct 17, '99. R S none. 7:1932. nom
 128th st, No 133, n s, 287 e 7th av, 29x99.11, 4-sty stone front flat.
 Geo W Godward to Lucas George. Mort \$14,000. Oct 16. R S \$5.00.
 Oct 18, '99. 7:1913. See 90th st. nom
 131st st, No 334, n s, 397.6 w 5th av, 12.6x99.11, 3-sty stone front
 dwell'g. Marlan A Dale to Walter J Madill. Morts \$6,000. Oct
 11. Oct 13, '99. R S \$4.00. 6:1729. 10,000
 133d st, No 542, s s, 432.6 w Amsterdam av, 17.6x99.11, 4-sty brk
 flat. Luther Shafer to Marcus B Bookstaver EXR and TRUSTEE
 John C Barkley. C a G. Sept 26. Oct 16, '99. R S \$1.50.
 7:1986. nom
 133d st, No 155, n s, 275 e 7th av, 25x99.11, 5-sty stone front flat.
 FORECLOS. John T Little, Jr, referee to Mary J Oliver. Mort
 \$20,000. Oct 10. Oct 17, '99. R S \$1.50. 7:1918. 1,500
 134th st, No 51, n s, 265 w Park av, 25x99.11, 5-sty brk flat. Thos J
 Dunn Sheriff to Wm M Kingsland. Sheriffs deed on foreclosure.
 Oct 13, '99. R S \$13.00. 6:1759. 13,000
 137th st, s s, 453 w 7th av. Party wall agreement. William Picken
 with Chas E Picken. Oct 11. Oct 14, '99. R S none. 7:1942. nom
 142d st, No 512, s s, 423.1 e Broadway, 15x99.11, 3-sty brk dwell'g.
 Patrick H Lynch to William Frahm. Morts \$12,750. Oct 3. Oct
 13, '99. R S \$2.50. 7:2073. nom
 142d st, s w cor Hamilton pl, 53.4x89.11x15 2x97.8
 H Lynch to Nelson Ferris. Morts \$24,000. Oct 11, '99. R S none.
 R S \$66.00. 7:2073. nom
 143d st, Nos 237 and 259, n s, 200 e 8th av, 50x99.11, No 237, two
 1-sty frame buildings; No 259, 3-sty frame dwell'g with 1-sty frame

dwelling on rear. Leonard McClancey to Cath O Sheedy. Morts \$11,500. June 6. Oct 18, '99. R S \$1.50. 7:2029. val consid and 100

144th st, Nos 238 and 240, s s, 450 e 8th av, 50x99.11, two 5-sty brk flats. Simon Wilkins to John A Johnson. Morts \$32,000. Mar 30. Oct 16, '99. R S \$3.50. 7:2029. nom

144th st, s s, 474.9 e 8th av, 24.8x99.11. John A Johnson to Henry D Bullwinkel. Morts \$16,000. Oct 14. Oct 16, '99. R S \$3.50. 7:2029. nom

145th st, No 493, n s, 100 e Amsterdam av, 25x99.11, 3-sty brk dwelling. Alexander Schwab to Gustavus L Lawrence. Mort \$18,000. Oct 14. Oct 16, '99. R S \$12.00. 7:2060. 100

Same property. Gustavus L Lawrence to Alexander Schwab. Mort \$16,000. Oct 10. Oct 16, '99. R S \$12.00. 100

145th st, n s, 450 w Boulevard, 50x99.11, two 1-sty frame shanties and vacant. Andrew A Bibby to Ralph O Ives. Morts \$3,600. Oct 12. Oct 13, '99. R S \$7.50. 7:2095. nom

150th st, n w cor 8th av, 86.6x100, vacant. Nelson J Ferris to Myer Hellman. Morts \$30,000. Oct 9. Oct 13, '99. R S \$2.50. 7:2046. nom

Same property. Same to same. Re-recorded. Morts \$30,000. Oct 9. Oct 18, '99. R S \$2.50. nom

151st st, n s, 200 w Amsterdam av, 100x99.11, vacant. Patrick H Lynch to August C Filloet. Morts \$25,500. Oct 12. Oct 13, '99. R S \$10.50. 7:2083. val consid and 100

161st st, No 569, on map No 571, n s, 172.11 e Boulevard, 18x99.11, 4-sty brk dwell'g. Lena Grinberger to Robert Aaron. Sub to liens. Mar 9. Oct 13, '99. R S \$1.00. 8:2120. exch

Same property. Robert Aaron to Rosa Franklin. Sub to all liens. Aug 2. Oct 13, '99. R S \$3.00. 3,600

173d st, No 507, n s, 72 w Amsterdam av, 19x100, 3-sty brk dwell'g. Ernst-Marx-Nathan Co, a corporation, to Magdalena M D Schar-smith. Mort \$9,000 and taxes. Oct 13. R S \$5.50. Oct 18, '99. 8:2130. 14,500

184th st, n s, 475 w 11th av and abt 95 w Wadsworth av, 50x99.11, vacant. Release judgment. Wm B Rogers to Cordelia M Hutchin-son. Oct 17. Oct 18, '99. 8:2167. nom

185th st, s s, 175 e 11th av, 25x79.11, vacant. Lizzie T Yorán Individ and ano EXRS and TRUSTEES Frank Yorán to The Deane Realty Co. Sept 12. Oct 13, '99. R S \$3.50. 8:2157. 3,042

Same property. The Deane Realty Co to Peter C Eckhardt. Oct 13, '99. R S \$3.50. nom

187th st, No 533, on map No 531, n s, 57 e Audubon av, 19x94.10, 3-sty brk dwell'g. Andrew J Kerwin, Jr, to Franz J G Bischof, As-toria, L I. Mort \$7,500. Aug 23. R S \$10.00. Oct 18, '99. 8:2159. nom

Amsterdam av, e s, 78.2 n 103d st, runs e 87.11 x n e 73 x s 47.1 to s e s old lane x s w — x n w — x w 91.8 to av x n 10.8. Struyve-sant Le Roy ADMR Herman Le Roy to Sarah, Albert and Geo M Welch. Oct 10. Oct 14, '99. R S \$5.00. 7:1857. 100

Amsterdam av, Nos 1668 to 1674 s w cor 143d st, 99.11x71.2 to Ham-ilton pl 108.6 to 143d st x 28.9, 143d st 6-sty brk store. Isaac Stiebel to Nelson J Ferris. Morts \$45,000. June 23. Oct 13, '99. R S \$16.00. 7:2074. 61,000

Same property. Nelson J Ferris to Martha A wife Patrick H Lynch. Morts \$56,000. Oct 13, '99. R S \$5.00. nom

Audubon av, No 398, w s, 161.10 n 184th st and being s w cor 185th st, 18x50. Thos J Larkin to Marcus Nathan. Q C. C a G. Oct 10. Oct 19, '99. R S \$1.00. 8:2157. val consid and 100

Boulevard Lafayette n e s, at centre line 12th av, runs n along av, 12th av 196.5 to centre line 160th st, x w — to w s 160th st 12th av, x s 151.6 to Boulevard Lafayette, x s e 67.5, vacant. Zimri West to David B Luckey. Oct 17. Oct 18, '99. R S \$10.50. 8:2136. nom

Broadway, No 1936 begins Columbus av, s e cor 65th st, runs e 100 x s Columbus av 25.5 x w 86.11 to Broadway x n w 26.2 to Co-lumbus av x n 2.10, 5-sty brk store and flat. Anna M wife and Fredk W Fischer to John Gerken. Morts \$50,000. May 11, '97. Oct 19, '99. R S none. 4:1117. nom

Broadway n e cor 112th st, 100.11x125, vacant. Samuel Steinmetz 112th st to Thomas Frazier. All liens. June 26. Oct 19, '99. R S \$15.00. 7:1884. nom

Central Park West, Nos 382 and 383, w s, 25.2 n 98th st, 96x100, two 7-sty brk flats. William Rankin and John K McAfee to James J Hall. Morts \$6,000 and taxes. Oct 18, '99. R S \$160.00. 7:1834. nom

Same property. James J Hall to William Rankin. Mort \$150,000. Oct 18, '99. R S \$1.00. 7:1834. nom

Columbus av, No 843, e s, 25.11 n 101st st, 25x80, 5-sty brk tenem't with stores. Mary B Ward widow, Walter R, Gilbert, John B H and Mabel M Oakley and Gilbert Oakley and Wm W Buckley to Geo A McDowell. Morts \$18,000. Oct 14. Oct 18, '99. R S \$13.00. 7:1837. 31,000

Lenox av, No 420, n e cor 131st st, 17x85, 3-sty stone front dwell'g. Marie Lasperges to Minnie Schmidt and Rosie Schwartz. Morts \$17,000 and all liens. Sept 15. Oct 18, '99. R S 50 cts. 6:1729. nom

Lexington av, No 1570, n w cor 100th st, 26x100, 5-sty brk flat with stores. Release mort. German-American Real Estate Title Guar-antee Co to Geo W Arthur. Oct 17. Oct 18, '99. 6:1628. 26,000

Lexington av, No 1492, w s, 50.11 n 96th st, 25x80, 5-sty brk flat. John G Westfall to Minnie C Runge and Dora Westfall. Mts \$13,000. Oct 9. Oct 14, '99. R S \$18.00. 6:1624. nom

Lexington av, No 1650, n w cor 104th st, 17.7x55, 4-sty brk flat with stores.

Lexington av, No 1652, w s, 17.7 n 104th st, 16.8x55, 3-sty brk dwell'g.

Lexington av, No 1654, w s, 34.3 n 104th st, 16.8x55, 3-sty brk dwell'g.

Flora Pohalski to Henry Pohalski. Morts \$20,000. Oct 13, '99. R S \$7.00. 6:1632. nom

Lexington av, No 1048, w s, 51.2 s 75th st, 17x80, 4-sty stone front dwell'g. Jacobina Kaufman to Charles Simon and Israel Kauf-man. Morts \$12,000. Oct 14. Oct 16, '99. R S none. 5:1409. nom

Madison av, No 1511, n e cor 103d st, 26.11x70, 5-sty brk flat with stores. Flora Pohalski to Henry Pohalski. 1/2 part. Morts \$25,000. Oct 13, '99. R S \$3.50. 6:1609. nom

Madison av, No 1624, w s, 75.11 n 108th st, 25x87.6, 5-sty brk flat with stores. John Zellweger to Hannah Zellweger his wife. Mort \$15,500. Oct 13. Oct 14, '99. R S 50 cts. 6:1614. gift

Madison av, No 645, e s, 75.5 s 60th st, 25x90, 4-sty stone front dwell'g. Richard and Minturn P Collins to John J Buckley. Morts \$35,000. Oct 14. Oct 19, '99. R S \$29.50. 5:1374. nom

Riverside Drive, No 82, e s, 66 n 80th st, 20.3x94.6x20x97.9, 5-sty brk dwell'g. The Riverside Building Co to Geo R Schieffelin. Oct 18. Oct 19, '99. R S \$15.00. 4:1244. See 92d st. nom

Riverside Drive e cor 92d st, 61.7x203.11x55.7x200, vacant. Helen 92d st M del Garcia et al children and DEVISEES Helen M Chisolm and Alex M Chisolm to The Riverside Building Co. Morts \$30,000. Oct 17. Oct 19, '99. R S \$70.00. 4:1252. nom

Schieffelin to same. Morts \$70,000. 1/2 part. R S \$70.00. nom

Riverside Drive, n e cor 81st st, 62.11x112.7x62.2x103. Agreement cancelling easement along easterly side. Frank L Smith with The Metropolitan Improvement Co. Oct 11. Oct 13, '99. 4:1244. nom

St Nicholas av, n w cor 113th st, 118.5x63.5x100.11x125.5, frame buildings and vacant. Sylvester L Mitchell to Frank A Seltz. Morts \$135,000. Oct 17. R S \$1.50. 7:1828. val consid and 100

Same property. Release agreement dated May 15, '99, to sell and make building loan. Same to same. Q C. Oct 17. Oct 18, '99. nom

St Nicholas av, Nos 266 to 270 e s, 29.6 s 124th st, runs s 118.6 x e 124th st, Nos 306 and 308 110.8 x n 25.8 x w 25 x n 100 to 124th st x w 50 x s 25.2 x w 97.8, 2 and 1-sty brk bldg, "National Sporting Club." James Rozell to Levi C Weir, Henry Sanford and Charles Steele trustees Adams Express Co. Morts \$30,000. Oct 19, '99. R S \$60.00. 7:1950. 90,000

West End av s w cor 92d st, 123.9 to Old Lane x125.2x117.1x125, va-92d st cant. All title to said lane. Helen M del Garcia et al children and DEVISEES Helen M Chisolm and Alex R Chisolm to The Riverside Building Co. Morts \$90,000. Oct 17. Oct 19, '99. R S \$130.00. 4:1251. nom

West End av, n w cor 92d st, 75.8x100, vacant. Geo R Schieffelin to The Riverside Building Co. Morts \$50,000. C a G. Oct 17. Oct 19, '99. R S \$65.00. 4:1252. nom

West End av, No 231, w s, 68.5 s 71st st, 16x82.10, 5-sty brk dwell'g. Chas A Beardsley, Brooklyn, to Edwd A Maher. B & S. Oct 14. R S none. Oct 18, '99. 4:1182. nom

West End av, No 702, e s, 138.8 s 95th st, 20.6x—x21.3x100, 5-sty brk flat. John Addison to Samuel K Higgins. Mort \$26,000. Oct 13. Oct 17, '99. R S \$5.50. 4:1242. nom

1st av, No 949, w s, 40 n 52d st, 20x64, 5-sty brk store and tenem't. Abraham Silverson to Isaac, Jacob, German and Emanuel S Kahn. Morts \$11,000. Oct 17. Oct 18, '99. R S \$2.00. 5:1345. nom

3d av, No 1917, e s, 59.11 s 106th st, 17x110, 3-sty frame store and tenem't.

3d av, No 1915, e s, 75.11 s 106th st, 24x110, 3-sty frame and brk store and tenem't.

Benj F Tuthill to Jeremiah Pangburn. Morts \$22,000. 1/4 part. Oct 17. Oct 19, '99. R S \$5.00. 6:1655. 4,585

4th av, No 431, e s, 66.2 n 29th st, 32.4x100, 3-sty brk dwell'g, 7-sty bachelor apartment hotel to be erected. Emanuel Heilner, Moses J Wolf and Adolph M Bendheim to Thos H Bell. Morts \$33,000. Oct 16, '99. R S \$22.00. 3:885. val consid and 100

5th av, n e cor 119th st, runs n 1 to n s Manhattan lane or road x along said road — to 119th st x w 12 to beginning. Anna E White child and HEIR Margt E Adrienoe to William Wetterer. B & S. Mar 27. Oct 13, '99. R S none. 6:1746. 25

Same property. Alexander and Charles Mackenzie to same. B & S. Mar 13. Oct 13, '99. R S none. 25

Same property. Willemene B Townsend to same. B & S. Aug 17. Oct 13, '99. R S none. 75

Same property. Lauriston and William Wiley to same. B & S. Apr 5. Oct 13, '99. R S none. 25

Same property. Anna C Eldred, formerly Poillon, to same. B & S. April 11. Oct 13, '99. R S none. 25

Same property. Ada E Dye and Effie G Towson to same. B & S. April 15. Oct 13, '99. R S none. 25

Same property. Abel C Poillon son James Poillon to same. B & S. Mar 24. Oct 13, '99. R S none. 25

Same property. Susan Holdsworth widow and Jacob D Poillon chil-dren James Poillon to same. B & S. Mar 27. Oct 13, '99. R S none. 50

Same property. Samuel T W Connor to same. B & S. May 31. Oct 13, '99. R S none. 50

Same property. Winthrop G Connor to same. B & S. April 7. Oct 13, '99. R S none. 25

Same property. Frances J O'Connor daughter Mary O'Connor to same. B & S. Mar 27. Oct 13, '99. R S none. 25

Same property. Margaret Holdsworth, Margaret Smith, Francis F wife Samuel Finlay and Robert Smith to same. B & S. April 27. Oct 13, '99. R S none. 25

Same property. Eugene V Daly to same. All title. B & S. Nov 28, '98. Oct 17, '99. R S 50 cts. nom

Same property. Mary E, Fannie A, Ann M, John J and Joseph L Poillon to Eugene V Daly. B & S. Nov 26, '98. Oct 17, '99. R S 50 cts. nom

5th av, No 1443, e s, 25.9 n 117th st, 25x85, 5-sty brk flat with stores. Louis Lese to Emma E, Addie A and Carrie E Church. Morts \$18,000. Oct 16. Oct 17, '99. R S \$7.50. 6:1623. nom

5th av, s e cor 119th st, 50x110. Release and satisfaction building loan agreement. Francis J Schnugg and O I Metzger EXR Martin Metzger with Thos J Jenkins. Oct 16. Oct 17, '99. 6:1745. nom

5th av, No 1473, e s, 25 s 119th st, 25x85, 5-sty brk flat with stores. Francis J Schnugg to Peter Otten. Morts \$18,000. Oct 17. -RS. \$9.00. Oct 18, '99. 6:1745. nom

BOROUGH OF BRONX.

Under this head the * denotes that the property is located in the new An-nexed District (Act of 1895).

Alden pl, s s, 75 e Webster av, runs s 58.6 x w 9 x s 22.6 x e 34 x n 81 to pl x w 25 to beginning. Arthur C Searles to Sophia Zim-mermann. All liens. Oct 13. Oct 16, '99. R S 50 cts. 11:3028. nom

Baretto st, w s, at s e s Intervale av, runs s 95.4 x w 34.11 x n w 27 to av, x e 97.11, vacant. James Monahan to Jacob Weil. Oct 16. Oct 19, '99. R S \$2.50. 11:2974. 2,100

*Bronx River pl, n w s, lot 386 map Washingtonville, 26.2x190 to Bronx River, x—x193.6.

Bronx River pl, n w s, lots 396, 397, and gores lettered "ak" and "al" same map.

Chas H Archer to Benj De F Curtiss. B & S. C a G. March 2. Oct 19, '99. R S \$1.00. nom

*Bronx Terrace, being part gore lot 105 map Village Wakefield. Mary G Maloy to John H Maloy. Oct 17. Oct 19, '99. R S 25 cents. nom

*Hancock st, e s, abt 330 n Columbus av, 25x100. Stanley D Cornell to Edwd J Sandy. Feb 25, '98. Oct 14, '99. R S 50 cts. 500

Loring pl, w s, at intersection with n line of H E D Jacksons land, runs w 119.7 to land of Merrill x n 35 x e — to Loring pl x s 35 to beginning. Wm S Phillips to Tessie M Phillips his wife. Mort \$5,500. Sept —, '99. Oct 18, '99. R S \$1.50. 11:3225. nom

*Main st, w s, 481.4 n Fordham av, runs w 70 x n 6.6 x w 29 x n 36 to s s private lane x e — to Main st x s 49.8 to beginning. City Island. Mary E Leake to Johanna A McConnell. Morts \$900. Oct 3. Oct 13, '99. R S \$1.50. 1,200

*Marian st, s e s, 100 s w De Milt av, 100x100, South Mt Vernon. Warren E Sammis to Emma Reyerson. Morts \$1,500. Oct 11. Oct 17, '99. R S 50 cts. exch

Rogers pl, w s, 317.2 n Westchester av, 16.9x72.4x16.9x72.6, 2-sty frame dwell'g. George Hooks to Caroline de P Coelho. Morts \$3,000. Oct 14. Oct 16, '99. R S 50 cts. 10:2698. nom

*Rose st, w s, 150 n Columbus av, 25x100. Frank L Kelly to John Heckett and Emma his wife. Oct 10. Oct 18, '99. R S \$3.50. 3,200

Samuel st, s s, 125 w Jefferson av, 25x100, portion frame dwell'gs. Bridget Connell or O'Connell to Patrick O'Connell or Connell her husband. Sub to life estate. Oct 16, '99. R S \$1.50. 11:3069. nom

Washington st, e s 150 n Columbus av, 50x55. Michael Cook to Annie Powers. Oct 16, '99. R S \$1.50. 1,450

*5th st, proposed, n s, 298.11 e Green lane or av, 25x100.

5th st, proposed, n s, 342.11 e Green lane or av, 25x100. Isaac Hessberg to Thos C Arnow. Morts \$5,000. Oct 13. Oct 19, '99. R S \$3.00. exch

*12th st, n s, 155 w Prospect terrace, 50x114, Williamsbridge. Marie Lasperges to Jennie S Freund. Morts \$7,400 and taxes. Sept 4, '99. Oct 16, '99. R S \$1.00. exch

*Same property. Jennie S Freund to Paula Daiber. Morts \$7,400 and taxes, &c. Oct 12. Oct 16, '99. R S \$7.00. exch

138th st, No 736, s s, 71.10 w Brown pl, runs s 85 x w 10.9 x s 15 x w 8.10 x n 100 to st x e 19.7, 4-sty brk flat; also all title to all estate which Caroline Townsend died seized. Margaret Townsend child John D Townsend and DEVISEE Caroline Townsend to Caroline T Plum. 1-12 part. Sept 1. Oct 18, '99. 9:2282. 1,000

151st st, No 667, n s, abt 116 w 3d av, 25x114.2, 5-sty brk flat. Release mort. Wm R Bronk to Frances H Graham. May 19. Oct 17, '99. R S none. 9:2374. 2,000

155th st, No 609, n s, 100 e Courtlandt av, 50x100, vacant. Herman Schmuck and Michael Montag to Robt H Bergman. Morts \$26,000. Oct 17. Oct 18, '99. R S \$3.00. 9:2402. val consid and 100

156th st, No 1026, s s, 90 e Prospect av, 20x100, 2-sty brk dwell'g. Annie G or Annette G Crawford to Samuel and Annie Nelson. All liens. Oct 9. Oct 16, '99. R S 50 cts. 10:2687. nom

169th st, No 1008, s s, 81.5 e Union av, new line, 18.11x99.5x18.5x105.6, 2-sty frame dwell'g. Joseph Liebertz to Annie Harnischfeger. Morts \$2,500. Oct 17, '99. R S \$4.50. 10:2682. See Penfold av. 7,000

169th st, No 1169, s w s, 85.6 e Fox st, now Barretto st, 22.9x58.4, 3-sty frame flat and store. Frank R Houghton to Eliz L M Van Dolson. Morts \$3,800. Oct 9. Oct 14, '99. R S \$3.00. 10:2718. nom

Av B, w s, 450 s 161st st, 50x100, vacant. Helene Tremberger to Howard Menn. Morts \$—-. All title. C a G. Oct 16. Oct 17, '99. R S \$1.00. 10:2626. See Union av. 500

Bathgate av, Nos 2283 and 2285, s w cor 183d st, 32.4x100, two 3-sty frame dwell'gs. Raphael Constantian to Florence M Constantian. Sub to morts \$—-. Sept 14. Oct 16, '99. R S \$5.50. 11:3050. nom

Beach av, No 102, e s, 160 s 151st or Beck st, 20x100, 2-sty frame dwell'g. Release mort. Paul M Herzog to Chas and Louise P Schneider. Oct 12. Oct 16, '99. 10:2664. 1,000

Same property. Charles Schneider to Rebecca Levy, Elizabethport, N J. Morts \$4,000. Oct 12. Oct 16, '99. R S \$1.00. nom

Boston av, s e s, 417.6 n e Perot st, 24.6x79.11x25.7x87.5, 2-sty frame dwell'g. The Teachers Co-operative Building and Loan Association to Mary A Kiernan. Q C. Oct 3. Oct 13, '99. R S 50 cts. 12:3254. 100

*Briggs av, n s, part lot 43 map Briggs estate, Williamsbridge, 25x210 x25x211.5. John R Peterson to Arthur H and Tillie E Sigler. Mt \$3,475. Oct 17. Oct 18, '99. R S none. 100

Central av, w s, 100 n Evelyn pl, 25x100, vacant. George Scherrer to Mary Scherrer. Mort \$1,000. Oct 17. Oct 19, '99. R S \$2.00. 11:3197. 1,825

Creston av, e s, 124 n 184th st, new line, 150x100, six 2-sty frame dwell'gs.

Creston av, e s, 274 n 184th st, new line, 125x100, four 2-sty frame dwell'gs.

Ryer av, w s, 344 n 184th st, new line, 30x100, portion frame dwell'g.

Ida Maxson to Percival J H Whittaker. All liens. Oct 17. Oct 19, '99. R S 50 cents. 11:3165. val consid and 100

Same property. Louis Cohen to same. All liens. Oct 18. Oct 19, '99. R S 50 cents. val consid and 100

Same property; also,

3d av, e s, 176.11 s 174th st, 75x90.

Wendover av, s s, 100 e 3d av, 75x131x75x132.5.

Simon Rose and Samuel and Isaac Landsberg to Percival J H Whittaker. Q C. C a G. Oct 19, '99. R S 50 cents. 11:2928-2930-3165. nom

Creston av, e s, 274 n 184th st, new line, 125x100, four 2-sty frame dwell'gs.

Creston av, e s, 124 n 184th st, new line, 150x100, six 2-sty frame dwell'gs.

Ryer av, w s, 344 n 184th st, new line, 30x100, except part taken to widen Ridge av and Grand Boulevard, 2-sty frame dwell'g.

Louis Cohen to Ida Maxson. All liens. 1-3 part. Mar 8. Oct 13, '99. R S 50 cts. 11:3165. nom

Crotona av, widened, e s, 25 n 180th st, old line, 50x102, vacant. C Adelbert Becker to Friedrich Pirk. Sept 23. Oct 13, '99. R S \$1.50. 11:3096. 2,800

Decatur av, No 2630, e s, new line, 45 n Cole or 194th st, widened, 25x80, 2-sty frame dwell'g. Geo W Flagg to Minnie E Flagg. Morts \$6,000. Oct 9. Oct 14, '99. R S \$7.00. 12:3277. 100

Fordham av, w s, 108.2 n Fitch st, 50x104, vacant. Henry S Dederick, Jr, to Elizabeth Stoken. All liens. Oct 13. Oct 16, '99. R S 25 cts. 11:2923. var consid and 100

Fordham av, lot 215 map Central Morrisania, part Bathgate farm, 50x130.6x50x128.8. Gustave S Boehm to Borough Realty Co. Morts \$7,000 and all liens. Oct 10, '99. R S \$10.00. 11:2921. 17,000

Franklin av, old line, w s, 93.5 s 170th st, 20x5. Release mort. Marie L Fowler guardian Lavina and Louise Fowler to City of New York. Aug 21. Oct 18, '99. 11:2931. nom

Grand Boulevard and Concourse e s, 150 n 182d st, runs n 100 x e Ryer av | 178.6 to w s Ryer av, intended to be opened, x s 150 x w 90 x n 50 x w — to beginning. Frank B French to The Twelfth Ward Bank. B & S. Mar 23, '98. Oct 18, '99. R S none. 11:3158. nom

Hull av, w s, 250 s Scott st, 50x110, vacant. George Donnelly to Henry L Meise. Oct 19, '99. R S \$1.50. 12:3333. nom

Intervale av, e s, 122.11 s Freeman st, 38.3x101.4x17.3x82, vacant. Eugene J Busher to Harry I and Louise E Hunchberger. Morts \$1,600. Oct 17, '99. R S \$3.00. 11:2974. 3,000

Jackson av, No 693, w s, 290 s 156th st, new line, 25x77.9, 2-sty frame dwell'g. John Schwalbenberg, Frank G Corvell to Bridget Gilbride. Morts \$4,000. Oct 12. Oct 18, '99. R S \$5.50. 10:2635. nom

La Fontaine av, s e cor 180th st, new lines, 182.8x100x147.10x101.1, vacant. Chas A Foss to Meradith J Murray. Morts \$30,350. Oct 16, '99. R S \$15.00. 11:3069. 45,000

Lafontaine av, No 2058, new line, e s, 100.4 s 180th st, 16x100.

Lafontaine av, No 2056, new line, e s, 116.4 s 180th st, 15.11x100.

Release mort. Montrose R Richard to Meradith J Murray. Oct 17. Oct 19, '99. 11:3069. 500

Lafontaine av, s e s, 100.4 s w 180th st, 31.11x100, vacant. Release mort. Eliz W White to Chas A Foss. Sept 23. Oct 19, '99. 11:3069. 4,500

*Maple av, w s, 50 s Randall av, 50x100, Williamsbridge. FORECLOS. Isaac F Russell referee to Wm C Arnold and Joseph F Dean and Mary B Dean. Oct 19, '99. R S 50 cents. 500

*Milford av, w s, 270 n Alice st, runs w 100 x n 78 x s 100. Aloizia wife and Francis Krajcek to Gustav Gluckauf, Willets Point, N Y. Mort \$400. Oct 13, '99. R S \$1.00. nom

*Minneford av, e s, 100 n Beach st, 150x288 to Long Island Sound | x150x320.

Minneford av, e s, 50 n Beach st, 50x100.

Annie C, Edith and Gertrude King to Geo H Winter and John Franklin. Oct 16. Oct 18, '99. R S \$7.50. 7,425

Mott av, e s, 742.2 s 144th st, new line, 25x147.4 to land N Y & Harlem R R, x25.6x142.2. Mary E wife of Frederick Robinson to Missouria B and Harry S Houpt, firm M B Houpt & Son. Confirmation deed. Q C. Oct 16. Oct 19, '99. R S \$1.00. 9:2341. nom

*New Haven R R av, s e s, 150 s w Union av, 50x100, Westchester. All right, title, &c. John O'Neill son of Barney O'Neill dec'd to Mary O'Neill widow O'Neil or Neil. Oct 18. Oct 19, '99. R S, none. 200

*North Chestnut Drive, s s, lot 106 amended map Bronxwood Park, Williamsbridge, 40x100. Joseph Damiano to James A Glover. Morts \$4,392. Oct 12. Oct 19, '99. R S \$2.00. nom

*Old Boston road, w s, 250.8 n Julianna st, 50x100.8x50x105. Mary E wife of Herman Knewitz to Herman Knewitz. Jan 18. Oct 17, '99. R S \$2.00. nom

Penfold av s s, 154 e Suburban pl, 22x101.10x27x108, vacant. Annie Harnischfeger wife of and Philip to Joseph Liebertz. Oct 17, '99. R S \$2.00. 11:2939. See 169th st. 2,000

*Pilgrim av, w s, 116.6 s Liberty st, 25x100. Fred Bischoff to Leon-tine Burness. Q C. Oct 18, '99. R S none. nom

Prospect av, e s, 105.6 n Freeman st, runs e 97.6 x n e 121 x w 152.2 to av x s 5.11 x 95 to beginning, vacant. Fredk A Strang to Chas H Thornton. Oct 14. Oct 16, '99. R S 9.50. 11:2971. val consid and 100

River av, w s, 50 n 167th st, 50x100, vacant. Abraham Siegel to Geo W McAdam, Jr. Oct 3. Oct 14, '99. 9:2489. 5,000

St Ann's av, No 354, e s, 275.4 n 141st st, 25x90, 4-sty brk flat. Chas J Wacker to Jacob and Juliana Alsenz. Morts \$9,500. Oct 17. Oct 18, '99. R S \$6.50. 10:2556. 15,600

Southern Boulevard, s w cor 187th st, new line, 126.6x115.1x125x95.9, vacant. Alexander Kuh to Marie Eichler. Oct 16, '99. R S \$13.50. 11:3114. 13,500

Tinton av, w s, 344 n 165th st, 24x110, vacant. Hibbert B Roach to Annie E Grady. Morts \$4,500. Oct 18, '99. R S \$8.50. 10:2660. val consid and 100

Townsend av, w s, 25 n 175th st, new line, 165x100, vacant.

Jerome av | s, being part plot bounded on w by Jerome av on north Oxford pl | by n s 175th st, new line, on e by Townsend av and s by centre line Oxford pl, vacant.

Fannie E Lawrence to Annie E Brown. Morts \$11,200. C a G. Oct 12. Oct 13, '99. R S 50 cts. 11:2850. nom

Union av, w s, 80 s 165th st, 25x75x20x75, 3-sty frame flat. Howard Menn to Helene Tremberger. Morts \$4,000. Oct 16. Oct 17, '99. R S \$5.00. 10:2669. See Av B. 4,000

Union av, w s, 50 s of old s line of George or 166th st, runs s 100 x w 100 x n 50 x e 10 x n 50 x e 90, vacant. Mathew F Riley to John F O'Leary. Morts \$15,380. Oct 18. Oct 17, '99. R S \$2.50. 10:2670. nom

Union av, e s, 191.6 s 169th st, 20x168.3, vacant. Eugene H Hammond to Betty Levy. Morts \$4,500. Oct 16. Oct 17, '99. R S \$2.00. 10:2682. nom

*Union av, being s e 1/2 of lot No 4 map Jacob V Hutschler made by Andrew Findlay, dated May 1, 1851, runs s w 321 x s w 45.6 x n w 57.6 x n e 377.6 to av x s e 55 to beginning. 1/2 part. Mary E Brown to Ellen Dougherty. Q C. Oct 16. Oct 17, '99. R S \$2.00. nom

Union av, being n w 1/2 of same lot, runs s e along av 55 x s w 377.6 x n w 57.6 x n e 386 to beginning. 1/2 part. Ellen Dougherty to Mary E Brown. Q C. Oct 16. Oct 17, '99. R S \$2.00. nom

Washington av, No 1111, w s, widened, 218.10 n 166th st, 25x93, 4-sty brk flat. Release mort. Isaac and Max S Boehm to Vincent Bonagur. Oct 18. Oct 19, '99. 9:2388. nom

*Washington av, s s, 200 w Main st, 100x100. James A Dickle to Laura H Sanial. Oct 18. Oct 19, '99. R S \$4.50. 4,500

Wendover av, s s, 100 e 3d av, 75x131x75x132.5, vacant. Betsy Albert to Percival J H Whittaker. All liens. Oct 17. Oct 19, '99. R S 50 cents. 11:2928. val consid and 100

Same property. Solomon Rose to same. All liens. Oct 18. Oct 19, '99. R S 50 cents. val consid and 100

Wendover av, s s, 100 from 3d av, runs s 131 x e 75 x n 131 x w 75, vacant. Solomon Rose to Betsy Albert. 1-6 part. All liens. Mar 8. Oct 13, '99. R S 50 cts. 11:2928. nom

Westchester av, e s, at w s Wales av, runs s 88.7 x s e 83.5 x n e 53.6 to Wales av, x w 112.7, vacant. Simon Danzig and Abraham H Feuchtanger to Michael Davis. Morts \$3,900. Sept 1. Oct 19, '99. R S \$10.00. 10:2644. nom

Willard av, n s, 121.1 w Bronx River road, 25x100, 2-sty frame dwell'g.

Willard av, n s, 96.1 w Bronx River road, 25x100, 2-sty frame dwell'g.

Mary Clark to Ellen Archer, Mt Vernon, N Y. Oct 17. Oct 19, '99. R S \$1.00. 12:3397. nom

Willis av, No 463, s w cor 146th st, 25x107.7, 4-sty brk flat and store. Benjamin and Constance D Mordecai to Louis Vogel and Nathan Lemlein. Sub to encroachment. Oct 16, '99. R S \$18.50. 9:2307. nom

3d av, e s, abt 54.7 n 172d st, 150x100, vacant. George Bonavia to Augusta Siebold. Morts \$14,500 and taxes. Sept 1. Oct 17, '99. R S \$10.00. 11:2929. nom

3d av, Nos 4000 to 4004, e s, 176.11 s 174th st, 75x90, three 4-sty brk flats with stores. Isaac Landsberg to Katie Levine. All liens. 1-3 part. Mar 8. Oct 13, '99. R S 50 cts. 11:2930. nom

3d av, at junction Franklin av, runs n along 3d av 56.6 x e 78 to n w s Franklin av, widened, x s w 71 x w 31.2. FORECLOS. M Clelland Milnor referee to William Rankin. Oct 19, '99. R S \$14.50. 10:2608. 14,200

3d av, Nos 4000 to 4004, e s, 176.11 s 174th st, 75x90, three 4-sty brk flats and store. Katie Levine to Percival J H Whittaker. All liens. Oct 17. Oct 19, '99. R S 50 cents. 11:2930. val consid and 100

Same property. Isaac Landsberg to same. All liens. Oct 18. Oct 19, '99. R S 50 cents. val consid and 100

*6th av, s s, 405 w White Plains road, 50x114, Wakefield, frame church. The Emanuel Baptist Church of Olinville to Geo W Springer. Oct 16. Oct 19, '99. R S \$1.50. 1,200

*6th av, n s, 205 from 4th st, runs n 114 x w 50 x s 114 x e 50, Wakefield. Liberato Gianfrancesco to James A Glover. Morts \$3,200. Oct 12. Oct 19, '99. R S \$2.00. nom

*6th av, n e s, 305 w 5th st, 50x114, Wakefield, 3-sty frame dwell-ing. Generosa Ceburro to James A Glover. Morts \$4,500. Sept 30. Oct 19, '99. R S \$5.00. nom

*7th av, n s, 115 e 4th st, 100x114. Charity Tompkins to Ruth Barker. Oct 12, '99. R S \$150.
 *14th av, n s, 80 w Prospect Terrace, 25x114, 3-sty frame dwell'g, Wakefield. Jacob Brand to James A Glover. Morts \$500. Oct 18, Oct 19, '99.
 Fractional gore, being part of plot in rear of lots 22 and 23 map in possession of Lewis G Morris and made by E C Morrison, dated Jan 14, 1881, near Morris Heights, in 24th Ward, begins at point on w line of lot 22 at a point 100 w Sedgwick av and 6 inches s of n w cor of lot 22, runs — 25.6 to n w cor lot 23 x w 10.11 to lands of N Y & Northern R R Co x s to point 0.6 s of lot 23 x e to beginning. Philip Rodenbach to Henry H Cargill 2d. Oct 12, Oct 13, '99. R S 50 cts. 11-2882.
 Lot 66 block 474 map subdivison property Henry D Tiffany part Fox estate. Patrick F O'Rourke to Louisa H O'Rourke. Oct 10, Oct 16, '99. R S 50 cts. 10-2692.
 Plot begins at n w cor land James Sloane, runs n e 52 to land Danl Mapes x s e 215 to Bronx River x s w 52 x n w 215, except strip 40 ft wide running across said premises and called Bronx st. Mary S Willets widow et al HEIRS Stephen T Willets to Louis A Lenz. Oct 18, '99. R S \$5.00. 11-3140-3141.
 Property situated in Section 12 Block 3278, also property in Mt Vernon. Declaration of trust. J Homer Hildreth with John A Knox. Jan 22, '97. Oct 17, '99. 12-3278.

LEASES.

BOROUGH OF MANHATTAN.

(Under this head all Leases recorded. Assignment of Leases and Leasehold Conveyances will be found. The expressed consideration following the term of years for which a lease is given means so much per year.)

Attorney st, Nos 155 and 157. Louise Hornberger to Antonio Cerillo; 5 years, from Aug 1, '99. Oct 14, '99. 2:350.....4,800
 Bleecker st, No 155.....
 Thompson st, No 205.....
 John Reeves to Jacob Feller; 5 years, from May 1, 1900. Oct 14, '99. 2:539.....3,800
 Same property. Assign lease. Jacob Feller to The Paterson Brewing & Malting Co. Oct 14, '99. 2:539.....nom
 Canal st, No 315, store, &c. Max Schlanger to Joseph Tettelbaum; 3 years, from Feb 1, '99. Oct 19, '99. 1:230.....1,500
 Carmine st, No 49. Assign lease. James Coyle to James Everards Breweries. Oct 19, '99. 2:527.....nom
 Cliff st, Nos 92 to 98. Joseph Hecht to American Hide & Leather Co; 10 years, from Sept 1, '99. Oct 13, '99. 1:105.....12,000
 Columbia st, No 83, store, &c. Max S Meyer to Solomon Juskowitz; 2 years, 7½ months, from Sept 15, '99. Oct 14, '99. 2:334.....480
 Grand st, No 412. Wm B Hobby TRUSTEE Benjamin Bailey to Saml Friedelholz; 5 8-12 years, from Sept 1, '99. Oct 16, '99. 2:346.....2,300
 Hester st, No 80. Pauline Simon to Morris Meyer; 5 years, from May 1, 1900. 1:280.....1,800
 Houston st, No 287 E. Assign lease. Isidor Ullman to Peter Green. Mar 25, '97. Oct 17, '99. 2:350.....nom
 Same property. Assign lease. Peter Green to Hannah Klein. Oct 14, '99. Oct 17, '99.....3,000
 Norfolk st, No 55, store and basement. Rosa Levin to Chaww Silbermann; 2 years, from May 1, '99. Oct 18, '99. 2:351.....420
 Stanton st, No 32, all. Ivan Prince to Frederick Miller; 2 years, from May 1, 1900. Oct 17, '99. 2:427.....1,800
 Suffolk st, No 14. Jacob Schall to Hyman Green; 3 years, from Nov 1, '99. 1:313.....2,650
 11th st, No 424 E, all. Morris Franklin and Michael Deniard to Frank Stier; 5 years, from Jan 1, '99. Oct 16, '99. 2:438.....1,632
 19th st, s s, 275 e 9th av, 25x92. Assign lease. Emily W Howell to Henry W Howell, Jr. Oct 14, '99. 3:742.....nom
 20th st, No 33 E, all. Emma L Pinkney EXTRX John M Pinkney and guard Cornelius S Pinkney and Townsend Pinkney to Georges A Glaenser & Co; 10 years, from May 1, 1900. Oct 16, '99. 3:849.....2,500
 22d st, No 61 W. Fred L Whritner to Lydia A Bickford; 4 11-12 yrs, from June 1, '99. Oct 16, '99. 3:824.....2,000
 23d st, No 318 West. Wilhelmina L Hoff to John J Sweeny; 5 years, from Oct 1, '99. Oct 19, '99. 3:746.....1,600
 40th st, Nos 223 to 229 W, all. Morris Weinstein to Nathan and Isidor H Kempner; 5 years, from Sept 1, '99, with renewals. Oct 17, '99. 4:1012.....6,100
 42d st, No 53 W, parlor floor. Annie D Smith to Solomon Kalvin; 6 7-12 years, from Oct 2, '99. Oct 13, '99. 5:125S.....900 to 1,200
 49th st, No 64, s s, 750 w 5th av. Consent to assign lease. TRUSTEES Columbia College to John D Wing. Oct 16, '99. 5:1264.....nom
 Same property. Consent to assign lease. Same to Albro Akin. Oct 16, '99.....nom
 88th st, No 140 W, all. Beverly C Sanders to Isaac L Barnett; 2 yrs, from Sept 1, '99, with renewals. Oct 17, '99. 4:1218.....1,600
 Amsterdam av, No 575, s e cor 88th st, store and ½ basement. Nathan E Goldberg to Louis Muller; 4 10-12 years, from April 1, '99. Oct 17, '99. 4:1216.....1,600 to 1,800
 Amsterdam av, No 1410, store floor and basement. Joseph Mostchnick to Frederick Wittlinger; 3½ years, from Nov 1, '99. Oct 13, '99. 7:1984.....660 to 780
 Amsterdam av, No 114, s w cor 65th st. Assign lease. Peter Brady to Peter J Egan. Oct 19, '99. 4:1156.....nom
 Broadway, No 2776, s e cor 107th st. Assign lease and bill of sale. Louis A Cuvillier to Steve W Floyd. Oct 19, '99. 7:1878.....nom
 Lexington av, No 41, n e cor 24th st, Hotel Lexington.....
 24th st, No 137 East, adj above on east.....
 Georgeanna Kropf to Wm H Rurode; 5 years, from May 1, '99. Oct 19, '99. 3:880.....5,500
 Lexington av, No 1733, s e cor 108th st. Assign lease. Jacob Pick to Sidney Bernstein. Oct 19, '99. 6:1635.....nom
 Lexington av, No 1733, s e cor 108th st, store, &c. Bridget Laughlin to Jacob Pick and Abraham Rackow; 1 year, from May 1, '98. Oct 16, '99. 6:1635.....780
 Lexington av, No 1813, s e cor 113th st, store. Charles Rosenberg and Adolph M Bendheim to Frank Spietaler; 3 years, from Sept 1, '99. Oct 14, '99. 6:1640.....900
 Park av, No 959, s e cor 82d st, store floor. Simon E and Max E Bernheimer to John H Patjens; 5 7-12 years, from Oct 1, '99. Oct 17, '99. 5:1510.....1,200 to 1,800
 St Nicholas av, No 220. Assign lease. Fredk A Augenmeyer to Fritz Koch. Oct 19, '99. 7:1927.....nom
 West End av, No 181, n w cor 68th st, 25x50. Michael Flick to Michl Merriman; 5 years, from Nov 1, '99. Oct 14, '99. 4:1180.....1,100
 1st av, No 1561, store and cellar. Sophie Hothan to Frank H Struck; 5 2-12 years, from Mar 1, '99. Oct 17, '99. 5:1544.....1,200
 1st av, No 1740, n e cor 90th st, store. Wm F Roden to Jeremiah J Foley; 5 yrs, from Oct 1, '99. Oct 16, '99. 5:1570.....1,000 to 1,200
 1st av, No 182, n e cor 11th st, store, &c. John M Muller to William Schapira; 5 years, from May 1, 1901. Oct 18, '99. 2:439.....900

2d av, s w cor 100th st, store, &c. Jonas Weil and Bernhard Mayer to Samuel Fieldman; 5 years, from May 1, '99. Oct 17, '99. 6:1649.....660 to 720
 2d av, No 1716. Assign lease. Patrick Fitzpatrick to The Henry Elias Brewing Co. Oct 19, '99. 5:1552.....3,000
 3d av, No 50, w s, bet 9th and 10th sts. Ellen Earl to Sigmund Klein; 3 years, from May 1, '99. Oct 16, '99. R S 50 cts. 2:555.....1,500
 3d av, No 1128, s w cor 66th st, all. Conrad Hubert to Harry Graham; 10 years, from Nov 1, '99. Oct 17, '99. 5:1400.....2,500
 3d av, Nos 2195½ to 2199, s e cor 120th st. Henderson Wilson to Edward Rafter; 10 years, from May 1, '99. Oct 13, '99. 6:1784.....4,000
 6th av, No 348, all. Louisa Hirschfeld, Paris, France, to Henry M Smith; 5 years, from May 1, 1900. Oct 17, '99. 3:823.....4,800 to 5,000
 7th av, No 177. Andrew Moll to Frank Scherer; 5 years, from May 1, 1900. Oct 16, '99. 3:796.....1,320
 7th av, No 391, top floor, &c. Elizabeth Hafner to William Joas; 5 years, from Nov 1, '99. Oct 18, '99. 3:807.....816
 8th av, No 352, 3 upper floors. Louise Simon EXTRX and TRUSTEE William Simon to Wm J Ryan and Angelino Sartirana, firm Sartirano & Co; 10 years, from May 1, '99. Oct 19, '99. 3:777.....2,000

BOROUGH OF BRONX.

Brook av, No 250, cor 138th st. Assign lease. Michl O'Connell to Edmund P O'Connell. Oct 16, '99. 9:2266.....nom
 Park av, No 3426, n e cor Gouverneur pl. Assign lease. John Brennan to Arthur B Fulton. Oct 14, '99. 9:2388.....nom
 Same property. Assign lease. Arthur B Fulton to John J McGovern.....nom
 Union av, s w cor 166th st. Howard Menn to Herman Bors; 5 years, from Oct 1, '99. Oct 13, '99. 10:2670.....1,500 to 1,650
 Same property. Assign lease. Herman Bors to H Koehler & Co. Oct 13, '99.....nom

MORTGAGES.

NOTE.—The arrangement of this list is as follows: The first name is that of the mortgagor, the next that of the mortgagee. The description of the property then follows, then the date of the mortgage, the time for which it was given and the amount. The general dates used as headings are the dates when the mortgage was handed into the Register's office to be recorded. When the letters "P. M." occur, preceded by the name of a street, in these lists of mortgages, they mean that it is a Purchase Money mortgage, and for fuller particulars see the list of transfers under the corresponding date. The first date is the date the Mort is drawn, the second the date of filing; when both dates are the same only one is given. Subscribers will find Mortgages in this list with the wrong block number attached. The block No. we give is taken from the instrument as filed. Mortgages against 23d and 24th Ward property will be found altogether at the foot of this list.

October 13, 14, 16, 17, 18, 19.

BOROUGH OF MANHATTAN.

Abelmann, Abram and Kate Rosenbaum to Wm R Bell. Columbus av, s e cor 108th st, 100.11x100. Sub to morts \$50,000. Oct 12, in-stalls, 6%. Oct 13, '99. 7:1843. Collateral. \$2,300
 Acker, Henry to Mary J Kingsland. 113th st, s s, 125 e Lenox av, 26.3x100.11. Oct 13, 3 years, 5%. 6:1596. 25,000
 Same to Peter Donald. 113th st, s s, 151.3 e Lenox av, 26.3x100.11. Oct 13, 3 years, 5%. Oct 16, '99. 25,000
 Same to Kate M Ladd. 113th st, s s, 177.6 e Lenox av, 26.3x100.11. Oct 13, 3 years, 5%. Oct 16, '99. 25,000
 Same to Wm H Macy, Jr, trustee Albert B Strange. 113th st, s s, 203.9 e Lenox av, 26.3x100.11. Oct 13, 3 years, 5%. Oct 16, '99. 25,000
 Altman, Benjamin to THE GREENWICH SAVINGS BANK. 19th st, No 124, s s, 32S.S w 6th av, 25x100. Oct 17, '99, 5 years, 4%. 3:794. 10,000
 Arthur, Geo W, Brooklyn, to Edw C and Geo G Schaefer and Geo H Chatillon trustees of Frederick Schaefer for Albert Schaefer. Lexington av, n w cor 100th st, 26x99.9. Oct 17, 5 years, 4½%. Oct 18, '99. 6:1628. 30,000
 Axelrod, Rachel wife of and Jacob to Abraham C Quackenbush. 99th st, n s, 375 e Columbus av, 25x100.11. Oct 12, due Jan 15, 1900, 6%. Oct 13, '99. 7:1835. 2,000
 Austen, Anton to Daniel Schneider and Caroline his wife, Brooklyn. 4th st, s s, 263.10 e Av B, 24.9x96.2. Oct 13, 5 years, 4%. Oct 14, '99. 2:386. 2,500
 Aronowitz, Pauline to Chas E Murtagh and John A McCarthy, firm Murtagh & McCarthy. Goerck st, Nos 23 and 25, w s, 25 n Broome st, 50x75. Sub to morts \$38,000. Oct 18, due April 18, 1900, 6%. Oct 19, '99. 2:327. 2,325
 Berkeley, Thomas to EQUITABLE LIFE ASSURANCE SOCIETY of the U. S. Manhattan st, s s, at intersection of n s 125th st, runs w along 125th st 210.6 x n 97.10 to Manhattan st x s e 176.7 to beginning. P M. Oct 17, due Jan 1, 1903, 5%. Oct 19, '99. 7:1966. gold, 25,000
 Bickard, Samuel H to George Ehret. Houston st, No 40 E. Saloon lease. Oct 19, '99, demand, 6%. 2:522. 4,250
 Brann, Ignatz to Lena E Brann. Stanton st, n s, 25 w Columbia st, 25x100. Jan 4, '98, 4 years, 6%. 2:335. 5,000
 Buckley, John J to Richd and Minturn P Collins, Harrison, N Y. Madison av, No 645, e s, 75.5 s 60th st, 25x90. Sub to morts \$35,000. Oct 14, due Oct 19, 1900, 5%. Oct 19, '99. 5:1374. 21,000
 Bang, Richard T to Richard T Bang guard of Eleanor R Bang. 11th st, n s, 332.2 e 7th av, 21.5x103.3. Oct 2, 6 years, 4%. Oct 16, '99. 2:607. gold, 6,000
 Beals, Morell B to Robt C Fulton. Boulevard Lafayette or Public Drive, w s, 151.1 on curved line from centre line of 159th st, if extended, 20.6x49.9x20.6x60; Boulevard Lafayette, w s, 171.7 n on curved line from centre line of 159th st, if extended, 6.1x46.7x6.1x 49.9. Oct 16, '99, 3 years, 4½%. 8:2135. 10,500
 Same to same. Boulevard Lafayette, w s, 130.7 n on curved line from centre line of 159th st, if extended, 20.6x60x20.6x70.3. Oct 16, '99, 3 years, 4½%. 9,500
 Bell, Thos H to Emanuel Heilner, Moses J Wolf and Adolph M Bendheim. 4th av, No 431, e s, 66.2 n 29th st, 32.4x100. P M. Oct 16, '99, due July 15, 1900, 6%. 3:885. 22,000
 Bell, Thos H to Emanuel Heilner, Moses J Wolf and Adolph M Bendheim. 4th av, e s, 66.2 n 29th st 32.4x100. Building loan. Oct 16, due July 15, 1900, 6%. Oct 17, '99. 3:885. 40,000
 Brogan, Charles and Emil Meyer to IRVING SAVINGS INSTITUTION. 113th st, s s, 150 w 7th av, 30x100.11. Oct 18, '99, 5 yrs, 4½%. 7:1828. 70,000
 Same to THE CITY MORTGAGE CO. Same property. Sub to mort \$70,000. Oct 16, '99, demand, 6%. 7:1828. 5,500
 Brown, Ann to Amelia B Lockwood, Stamford, Conn guard of Marguerite Grumbrecht and Florence L Grumbrecht. 3d av, e s, 104.11 s 33d st, 18.6x85. Oct 17, '99, 5 years, 4%. 3:913. 10,000
 Brown, Sarah J with Ernest Ehrmann trustee Abraham Schelle. 84th

st, n s, 240 e 1st av, 20x102.2. Extension mort. Oct 6. Oct 13, '99. 5:1364. nom

Bruggemann, August M, Hoboken, N J, to Leo Mayer. Catherine st, No 83, e s, 66.6 n Cherry st, 36.6x74x36.8x71.8. Sub to mort \$36,000. Oct 14, '99, 2 years, 6%. 1:250. 3,000

Barry, Mary to THE EMIGRANT INDUSTRIAL SAVINGS BANK. 94th st, No 130, s s, 250 e Park av, 20x100.8; 94th st, No 132, s s, 270 e Park av, 20x100.8. Oct 17, '99, 1 year, 4%. 5:1522. 10,000

Bingham, James M to Catherine Linde. 94th st, No 126, s s, 321.2 w Columbus av, 33.6x87.11 to Aphorpes lane x33.6x89.2, all title to said lane. Oct 14, due Oct 16, 1902, 5%. Oct 17, '99. 4:1224. 7,500

Baumann, Johann with Jos C Levi trustee Lenox av, No 434. Agreement that mortgage on above premises is collateral mortgage on 53d st property. Oct 18, '99.

Bloch, Arthur and Samuel to GREENWICH SAVINGS BANK. 90th st, s s, 80 e Amsterdam av, 20x108.8, error. Oct 18, '99, 3 years, 4 1/2%. 4:1220. 8,500

Brakmann, Ferdinand to THE EXCELSIOR SAVINGS BANK. 53d st, s s, 150 e 11th av, 25x100.5. Oct 18, '99, due Oct 1, 1902, 4 1/2%. 4:1081. gold, 12,000

Boltzenthal, Bertha and Bernard with Emma G wife Theo M Hass. 84th st, n s, 201.8 w 2d av, 20x102. Extension mortgage. Sept 28. Oct 19, '99. 5:1530. nom

Cohn, Elise wife of and Adolph to John H Burt. 35th st, No 313, n s; 181.3 e 2d av, 18.9x98.9. Oct 13, due Mar 29, 1900, 6%. Oct 14, '99. 3:941. 1,500

Costello, Ellen wife and Augustine E to GREENWICH SAVINGS BANK. 119th st, s s, 110 e 5th av, 16x100.11. Oct 13, '99, 5 yrs, 4 1/2%. 6:1745. 8,000

Campbell, Hugh J to Alex H Stecker. 43d st, n s, 150 w 9th av, 16.9x100.4. Oct 16, 3 years, 5%. 4:1053. 4,500

Candler, James R to THE BOWERY SAVINGS BANK. Av A, No 199, w s, 51.9 n 12th st, 25.9x100. Oct 14, 1 year, 4%. Oct 16, '99. 2:440. 9,000

Chappell, Walter F to Emmeline M Greenleaf. 55th st, n s, 150 e 5th av, 27x100.5. Oct 16, '99, due Nov 1, 1902, 4%. 5:1291. 13,000

Crusius, John N to Jacob Field. South st, No 75, west cor Maiden lane, runs w 35.4 x n w 27 x n e 10 x s e 6.6 x n e 26 to Maiden lane x s e 22. Oct 7, 2 years, 5%. Oct 16, '99. 1:37. 5,000

Clausen, Hans C and Anton W Hoffmeyer to THE METROPOLITAN SAVINGS BANK. 74th st, s s, 173 e Av A, 50x102.2. Oct 18, '99, 1 year, 5%. 5:1485. 4,000

Cohen, Rosalie wife of and Isaac to Bella Falk. 1st av, s w cor 86th st, 29.4x75; No 352 E 86th st. Oct 18, '99, 3 years, 6%. 5:1548. 1,500

Callaghan, Mary to Isidore Jackson. 17th st, n s, 150 e 10th av, 25x92. Oct 19, 1 year, 6%. 3:715. 9,000

Canavan, Mary M wife of and Patrick T to Frank B Colton, East Orange, N J. 10th av, e s, 25 n 18th st, 22.4x75. P M. Oct 18, 2 years, 5%. Oct 19, '99. 3:716. 1,000

Collins, Caroline and Julia F to William Kevan. 94th st, s s, 286.3 w Central Park West, 18.6x100.8. Oct 19, '99, 3 years, 5 1/2%. 4:1207. 2,000

Dellaglio, Maria R to Nathan Mayer. 117th st, No 338, s s, 150 w 1st av, 25x100.11. P M. Sub to mort \$10,000. Oct 19, '99, due Oct 20, 1901, 6%. 6:1688. 2,900

De Frece, Blooma with Ida M W Lentilhon trustee Herbert D Ward. Le Roy st, Nos 66 and 68. Extension of mort. Sept 22. Oct 13, '99. 2:582. nom

Dewhurst, Henry to Frederick C Goppoldt. 7th av, s e cor 49th st, 100.5x100. 1/4 part. Oct 14, '99, due April 14, 1900, 6%. 4:1001. 1,000

Doyle, Joseph F to Henry H, Adrian H and Stephen H Jackson exrs and trustees Peter A H Jackson. 35th st, Nos 418 and 420, s s, 200 w 9th av, 2 lots, each 25x98.9. 2 mort, each \$25,000. Oct 11, 3 years, 5%. Oct 13, '99. 3:732. 50,000

Same to John Davis. 35th st, s s, 200 w 9th av, 25x98.9. Sub to mort \$25,000. Oct 11, demand, 6%. Oct 13, '99. 3:250

Same to Adam Huston. 35th st, s s, 225 w 9th av, 25x98.9. Sub to mort \$26,250. Oct 13, 8 months, 6%. Oct 13, '99. 2:450

Same to John Davis. Same property. Sub to mort \$25,000. Oct 11, demand, 6%. Oct 13, '99. 1:250

Dewey, Martin A, Westfield, N J, to FARMERS LOAN AND TRUST CO. 114th st, No 19, n s, 220 e 5th av, 25x100.11. Oct 16, '99, 3 years, 4 1/2%. 6:1620. 17,000

Davis, Eliza widow to Calvin W Withey. 60th st, n s, 225 w 2d av, 20x100.5. Oct 16, installs, 6%. Oct 17, '99. 5:1415. 600

Ditmas, Stephen to Danl H and J Haseltine Carstairs, firm Carstairs, McCall & Co. Dutch st, No 14. Saloon lease. Oct 17, installs. Oct 18, '99. 1:78. 1,668

Eckhardt, Peter C to Herman H W Neslage. 185th st, s s, 175 e 11th av, 25x79.11. P M. Oct 13, '99, 3 years, 4 1/2%. 8:3157. 2,000

Elliott, Robt H E, Flushing, N Y, to Simon P Flannery. Hamilton st, No 16 1/2, 17.4x103.6x17.3x103.6. P M. Oct 2, 3 years, 6%. Oct 17, '99. 1:253. 4,500

Egan, Peter J to Bernheimer & Schmid. Amsterdam av, No 114, s w cor 65th st. Saloon lease. Oct 19, '99, demand, 6%. 4:1156. 3,900

Ferris, Nelson J to Isaac Stiebel. Amsterdam av, s w cor 143d st, 99.11x71.2 to e s Hamilton pl x108.6 to 143d st x28.9. P M. July 31, 2 years, 5%. Oct 13, '99. 7:2074. 11,000

Fellot, August C to Patk H Lynch. 151st st, n s, 200 w Amsterdam av, 100x99.11. P M. Sub to mort \$25,500. Oct 12, demand, 6%. Oct 13, '99. 7:2083. 10,500

Fischer, Barbara and Joseph N Serf to WEST SIDE SAVINGS BANK. 39th st, No 305, n s, 100 w 8th av, 25x98.9. Oct 11, due Nov 1, 1900, 5%. Oct 13, '99. 3:763. 2,000

Fleury, Charles to Charlotte M Tytus. 7th av, No 229, e s, 135.9 s 24th st, 18.6x80. Oct 13, '99, 3 years, 5%. 3:799. 11,000

Flory, Franz to EMIGRANT INDUSTRIAL SAVINGS BANK. 37th st, s s, 128 w 1st av, 48x98.9. Oct 12, 1 year, 4%. Oct 13, '99. 3:942. 15,000

Frahm, William to Patrick H Lynch. 142d st, No 512, s s, 423.1 e Broadway, 15x99.11. P M. Oct 3, 1 year, 6%. Oct 13, '99. 7:2073. 500

Foley, Jeremiah J to Jacob Ruppert. 1st av, No 1740, n e cor 90th st. Saloon lease. Oct 9, demand, 6%. Oct 16, '99. 5:1570. 3,369

Frankel, Solomon and Samuel Werner to UNITED STATES TRUST CO. Norfolk st, No 115, w s, 125 s Rivington st, 26.6x100. Oct 16, '99, due Nov 1, 1904, 4%. 2:353. 20,000

Ferris, Nelson J to IRVING SAVINGS INSTITUTION. 142d st, s w cor Hamilton pl, 53.4x89.11x15.2x97.8. Oct 19, '99, 1 year, 6%. 7:2073. 53,000

Floyd, Steve W to Bernheimer & Schmid. Broadway, No 2776, s e cor 107th st. Saloon lease. Oct 19, '99, demand, 6%. 7:1878. 2,700

Frothingham, Washington, Fonda, N Y, to THE BOWERY SAVINGS BANK. Cedar st, n s, 137.8 e West st, 20.7x56x12.9x55.3; Cedar st, n e s, 120.5 e West st, 17.3x55.3. Oct 18, '99, 5 years, 4%. 1:56. 25,000

Gerken, John to MANHATTAN LIFE INS CO. Boulevard, No 108; 65th st, No 68; begins Columbus av, s e cor 65th st, runs e 100 x s 25.5 x w 86.11 to Boulevard x n w 26.2 to e s Columbus av x n 2.10 to beginning. P M. Oct 18, 3 years, 5% and 4 1/2%. Oct 19, '99. 4:1117. 60,000

Goldberg, Harris to Simon Adler and Henry S Herrman. Allen st, No 57, w s, 25x87.6. Oct 18, due Nov 18, 1 year, 6%. Oct 19, '99. 1:307. 1,000

Goodman, Urry to Sarah and Maria S Heiser, Jr. Rutgers st, No 26, w s, 75 s Henry st, 25x84.7. Oct 19, '99, 5 years, 5%. 1:273. 28,000

Greacen, Robt F to Jane Reid. Amsterdam av, w s, 99.11 s 160th st, 25x100. May 25, due —, 4%. Oct 19, '99. 8:2118. 1,500

Green, Morris to Alfred Jaretski. Jefferson st, No 52, w s, 50 n Monroe st, 25x104.4. Sub to mort \$27,000. Oct 19, 3 years, 6%. 1:271. 3,000

Same to Georgiana C Stone, Morristown, N J. Same property. Oct 19, 5 years, 4 1/2%. 27,000

Guion, Frances and Martha to Geo C Guion exr Eliz J Guion. Bleecker st, No 146, s s, 50 w South 5th av, now West Broadway, 25x125. Oct 19, '99, due Oct 5, 1906, 5%. 2:525. 22,000

Goldstein, Joseph, Long Branch, N J, to Laura A Delano. Eastern Boulevard or Av A, No 1321, w s, 70.4 s 71st st, 25x100. Oct 18, due Nov 1, 1902, 4 1/2%. Oct 19, '99. 5:1465. 13,000

Guenther, Edwd P to Edward and Bertha Guenther, Tauris, West New York, N J. 36th st, s s, 400 e 11th av, 25x98.9. Sub to mort \$4,200. Oct 12, 5 years, 5%. Oct 13, '99. 3:707. 1,000

Gerlach, John E to Dennis O'Connell. 69th st, n s, 213 e 1st av, 25x 100.4. P M. Oct 16, '99, 1 year, 4%. 5:1464. 6,800

Gundlach, Henry and Henry Koch to Max M Stern. Park av, w s, 25.2 n 95th st, 50.4x100. Sub to mort \$12,000. Oct 13, due Oct 16, 1900, 6%. Oct 16, '99. 5:1507. 12,000

Galewski, Bernard to UNION DIME SAVINGS INST. Suffolk st, e s, 100.2 s Stanton st, 25x100. Oct 17, '99, due Nov 1, 1904, 4%. 2:349. 17,000

Goodstein, Isaac to Georgiana C Stone, Morriston, N J. Henry st, No 215, n s, 69.2 e Clinton st, 25.4x85. Oct 11, 5 years, 4 1/2%. Oct 17, '99. 1:286. 24,000

Graham, Frances H, Montreal, Can, and Sharon Graham, New York, to Wm H Siegman. 114th st, s s, 396.4 e Lenox av, 17.8x100.11; 151st st, No 667, n s, 116.1 w 3d av, 25x114.2. Oct 16, demand, 6%. Oct 17, '99. 6:1597 and 9:2374. 1,000

Green, Samuel to METROPOLITAN SAVINGS BANK. 102d st, s w cor Madison av, 42.4x100.11. Oct 5, 1 year, 4 1/2%. Oct 5, '99. R S \$25.50. 6:1607. 52,000

Same to same. 102d st, s s, 42.4 w Madison av, 27.8x100.11. Oct 5, 1 year, 4 1/2%. Oct 16, '99. R S \$9.50. 6:1607. 20,000

Godward, Geo W to Lucas George. 90th st, n e cor Lexington av, 20x 100.4. P M. Sub to mort \$25,000. Oct 17, 1 year. Oct 18, '99. 5%. 5:1519. 3,000

Golden, Bernard to Frederic D Weekes trustee. Roosevelt st, No 92, e s, 120 n w Cherry st, 20x62x20x61.5. P M. Aug 30, due Nov 1, 1902, 5%. Oct 18, '99. 1:111. 4,000

Same to same individ. Same property. P M. Aug 30, due Nov 1, 1902, 6%. Oct 18, '99. 2,000

Hall, James J to GERMAN SAVINGS BANK. Central Park West, w s, 25.2 n 98th st, 2 plots, each 48x100. P M. 2 mort, each \$75,000. Oct 18, '99, 1 year, 6%. 7:1834. 150,000

Herterich, Teresa to MUTUAL LIFE INS CO. 44th st, s s, 300 w 6th av, 18.9x100.4. Oct 18, '99, 3 years, 4%. 4:996. 9,000

Hirsh, Edward and Henry and Edward Oppenheimer with Wm H Schwarz. 8th av, No 2107. Extension of mortgage. Oct 16. Oct 18, '99. 7:1847. nom

Hertz, Rosa wife and Jacob to George Ringler & Co. 5th st, s s, 150 w 1st av, 25x96.2. Oct 12, demand, with interest. Oct 14, '99. 2:446. 5,000

Hetrick, Matthew to Edwd P Shields. 8th av, s w cor 38th st, 24.8x100. Sub to mort \$30,000. Oct 13, '99, 3 years, 4 1/2%. 3:761. 5,000

Hogan, Thos H to Calvin W Withey. Henry st, No 313, n s, 165 w Grand st, 23.6x70.8x23.6x70. Oct 10, installs, 6%. Oct 14, '99. 1:288. 1,000

Hackman, Henry to Moritz Stern. 29th st, n s, 140.6 e 3d av, 15x 98.9. P M. Oct 16, '99, installs, 5%. 3:910. 7,350

Heller, Bertha wife and Jacob to Heney and Joseph Hirschmann, firm Hirschmann Bros. Suffolk st, Nos 143 and 145, w s, 40 s Stanton st, 40x75. Oct 14, due Feb 14, 1900, 6%. Oct 16, '99. 2:354. 550

Hammel, Christian to TITLE GUARANTEE AND TRUST CO. 81st st, No 152, s s, 269.9 w 3d av, 19.3x104.4. Oct 17, '99, 5 years, 4%. 5:1509. 8,500

Hayes, Sarah L to Mary J Mondorf. 20th st, No 438 W, s w s, 16.8x 91.11. P M. Oct 17, '99, 1 year, 5%. 3:717. 5,000

Higgins, Samuel K to Wm E Finn. West End av, e s, 138.8 s 95th st, 20.6x—x21.3x100. Oct 13, installs, 6%. Oct 17, '99. 4:1242. 3,000

Hill, Robert to James A Striker. 52d st, s s, 400 w 8th av, 20x100.5. P M. Oct 16, 1 year, 6%. Oct 17, '99. 4:1042. 1,000

Hirlimann, Aimee, Ida Burdett and Julius D Dubois heirs of Julius M Dubois with Ludwine Bertrand. Thompson st, No 218, e s, 225 n Bleecker st, 25x85. Extension of mort. Aug 29. Oct 17, '99. 2:537. nom

Holy Trinity Roman Catholic Church to THE MUTUAL LIFE INS CO. 82d st, n s, 200 w Amsterdam av, runs n 102.2 x e 75 x n 20.8 x e 25.1 x s 120.10 to st x w 100 to beginning. Oct 13, due Oct 17, 1900, 4%. Oct 17, '99. 4:1230. 80,000

Hausmann, Kate widow to THE EQUITABLE LIFE ASSURANCE SOCIETY of U S. 9th av, No 238, e s, 74.1 s 25th st, 24.8x100. Oct 18, '99, due Jan 1, 1902, 4 1/2%. R S \$3.75. 3:748. 8,500

Hirsh, Sophie with Caroline Opper. 133d st, n s, 268.4 e 6th av, 16.8x99.11. Extension of mort. Oct 18. Oct 19, '99. 6:1731. nom

Jaeger, Frances S mortgagee with Eva G Sauter. Columbus (9th) av, e s, 25.8 s 95th st, 25x80. Extension of mort. Oct 17, '99. 4:1208. nom

Jenkins, George to Geo F Fauell. 1st av, Nos 2279 and 2281, w s, 25.2 n 117th st, 50.5x100. Oct 17, '99, 1 year, 6%. 6:1689. 2,500

Juskowitz, Salomon to Bernheimer & Schmid. Columbia st, No 83. Saloon lease. Oct 13, demand, 6%. Oct 14, '99. 2:334. 600

Karpas, Gottlieb M to Frederic N Goddard. Bedford st, s e cor Commerce st, 44.8x50.5x15x50. Oct 12, 1 year, 6%. Oct 13, '99. 2:587. 30,000

Same to Henri Strasbourger. Same property. Oct 12, due April 18, 1900, 6%. Oct 13, '99. 2:587. 3,500

Kennedy, Frank to Edwd W Fox. 91st st, No 164, s s, 175 w 3d av, 16.8x100.8. Oct 14, '99, 1 year, 6%. 5:1519. 2,000

Kilian, Theodore, Frederick and William to TITLE GUARANTEE & TRUST CO. 40th st, No 443, n s, 225 e 10th av, 25x98.9. Oct 11, 3 years, 5%. Oct 14, '99. 4:1050. 8,000

Kitching, George to Clara Gerdaud, Stamford, Conn. 71st st, No 338, s s, 365 w West End av, 18x100.5. Error in mort. Oct 16, '99, 3 years, 5%. 4:1182. gold, 17,500

Klein, Hannah to Peter Green. Houston st, s s, 50 w Clinton st, 25x 100. Leasehold. Oct 14, installs, 5%. Oct 16, '99. 2:350. 1,000

Koch, Henry to Elizabetha Schwarzwalder. 48th st, No 446, s s, 175 e 10th av, 25x100. Oct 16, '99, 3 years, 4 1/2%. 4:1057. 15,000
 Kempler, Samuel and Yeti to Max Eisen and Henry First. Allen st, No 131, w s, 25x87.6. Oct 14, 5 years. Oct 17, '99. 2:415. 4,000
 Kilpatrick, T Juson to David E Oppenheimer and Joseph Hamerslag. 101st st, n s, 250 w West End av, 50x100.11. Sub to mortg \$65,000. Oct 16, due Mar 1, 1900, 6%. Oct 17, '99. 7:1889. 20,000
 Same to same. Same property. P M. Oct 16, due Mar 1, 1900, 5%. 40,000
 Same to same. Same property. Sub to mortg \$40,000. Oct 16, due Mar 1, 1900, 6%. Oct 17, '99. 25,000
 Kling, Philip to Drayton Burrill exr Anna Morris. 97th st, No 169, n s, 182 e Amsterdam av, 14x100.11. Sub to encroachment on rear. Oct 17, '99, 3 years, 5%. 7:1852. gold, 9,500
 Kapelansky, Samuel and Eva and Herman and Bertha Kronenberg to Callman Rouse. 101st st, s s, 155 w 4th av, 75x100.2. Oct 12, demand with interest. Oct 18, '99. 6:1606. 6,000
 Karp, Davis to Nathan and Wm J Peck, firm N & W J Peck. 113th st, s s, 55.6 w Park av, runs w 74.6 x s 100.11 x e 69.6 x n — x e 5 x n 17.11 to beginning, with right to 5-foot strip adj. Oct 13, demand, 6%. Oct 18, '99. 6:1618. 2,435
 Klingler, Elizabetha wife of and Simon to Louisa M Aukamp. Chrystie st, No 230, e s, 74.3 s Houston st, 25x75. Oct 19, '99, 5 years, 5%. 2:422. 20,000
 Koch, Fritz to George Ehret. St Nicholas av, No 220. Saloon lease. Oct 19, '99, demand, 6%. 7:1927. 5,000
 Lilliendahl, John G R to Anna S Finck. 131st st, n s, 125 w Amsterdam av, 25x99.11. Oct 17, 1 year, 6%. Oct 19, '99. 1:1986. 2,000
 Levensohn, Isidor and Joseph Spector to Solomon Denzer and Caroline Hornstein admsr Henry Hornstein. Grand st, No 374 1/2, n s, 17.11 e Norfolk st, 17x80. Oct 18, '99, 5 years, 4 1/2%. 2:351. 14,000
 Same to Isaac Cohen. Same property. Sub to mortg \$14,000. Oct 18, '99, 1 year, 6%. 1,000
 Lyons, Jeremiah C to Eliz L Dixon. 74th st, n w cor Park av, 27x 102.2. Oct 12, due Oct 13, 1901, 5%. Oct 13, '99. 5:1389. 20,000
 Levy, Dora to Edward Kochkeller. 116th st s s 25 e Park av, 37.3x 100.11. P M. Sept 25, 1 month, 6%. Oct 16, '99. 1,500
 Levy, Lazarus to Clara S Neumann. Catharine st, No 60, w s, 99.11 n Oak st, 24.11x103x24.9x103. Oct 16, installs, 6%. Oct 17, '99. 1:278. 5,000
 Livingston, James to Joseph Hamerslag. 100th st, n s, 100 w West End av, 225x100.11. Sub to mortg \$166,500. Oct 6, due Nov 1, 1900, 6%. Oct 16, '99. 7:1889. 100,000
 Livingston, Julius I to NEW YORK SECURITY AND TRUST CO. Av D, n w cor 9th st, runs w 93 x n 46.6 x e 23 x s 20.6 x e 70 to av x s 26 to beginning. Oct 4, due Oct 6, 1902, 4 1/2%. Oct 16, '99. 2:379. 42,000
 Leonhardt, C L Gustave to Sylvester Pope et al trustees Josephine L Peyton. Av A, No 1652, e s, 16.8 s 87th st, 16.1x81. Oct 3, 3 years, 4%. Oct 4, '99. 5:1583. (Corrects error as to av in issue Oct 7.) 6,000
 Lion, David to David Hirsch. 76th st, No 361, n s, 150 w 1st av, 25x102.2. Oct 17, '99, 5 years, 4 1/2%. 5:1451. 9,500
 Mendes, Henry P to Amy S Wheeler, East Orange, N J. Lenox av, s e cor 121st st, 21x80. Oct 11, 1 year, 4 1/2%. Oct 13, '99. 6:1720. 20,000
 Mennie, John D to EAST RIVER SAVINGS INSTITUTION. 100th st, n s, 195 e Lexington av, 4 lots, each 25x100.11. 4 mortg, each \$15,000. Oct 11, 1 year, 4 1/2%. Oct 13, '99. 6:1628. 60,000
 Merriman, Michael to Bernheimer & Schmid. West End av, No 181, n w cor 68th st. Saloon lease. Oct 12, demand, 6%. Oct 14, '99. 4:1180. 3,000
 Moore, Elizabeth wife of Chas E to Hugh J Lawler. 116th st, n s, 100 e Morningside av, 100x100.10. Sub to mortg \$70,000. Oct 13, 1 year, 6%. Oct 14, '99. 7:1943. 4,000
 Mundorf, George to Alex B Coxe, Philadelphia, Pa. 29th st, No 237 East. Extension of mort. Sept 21, '99. Oct 13, '99. 3:910. nom
 Murray, John to Margt A Murray. Columbia st, e s, 100 n Rivington st, 25x188. Oct 13, '99. 2:334. \$20.00 per month to be paid for life to party of 2d part. —
 Merle, George to NEW YORK SECURITY AND TRUST CO. 125th st, n s, 135 e Lexington av, 25x99.11. P M. Oct 16, '99, 3 years, 5%. 35,000
 Same to Charles Weisbecker. Same property. P M. Sub to mortg \$35,000. Oct 16, '99, 3 years, 5%. 6:1774. 5,000
 Metzger, Julius C to Joseph Blumenthal. Central Park West, w s, 75.8 s 94th st, 2 lots, each 25x100. 2 mortg, each \$5,000. Oct 13, due Feb 28, 1901, 6%. Oct 16, '99. 4:1207. 10,000
 Myers, Chas F to Marie C Smith. 37th st, n s, 100 e 8th av, 16.8x 98.9. Oct 16, '99, installs, 5%. 3:787. 2,000
 Murphy, Mary A and Katherine to THE MUTUAL LIFE INS CO. 125th st, s s, 187.6 w 1st av, 20.6x100.11; 125th st, s s, 228.7 w 1st av, 20.11x100.11. Oct 16, '99, 1 year, 4%. 6:1801. 5,000
 Manchester, Harriet to Elijah R Craft, Bayonne, N J. 126th st, n s, 290 w 5th av, 20x99.11. Oct 16, 1 year, 6%. Oct 17, '99. 6:1724. 2,500
 Marx, Isaac to MUTUAL LIFE INS CO. Prince st, n s, 39.7 e Elizabeth st, runs n 53.10 x e 0.7 x n 27.3 x e 35.8 x s — to Prince st x w 36. Oct 17, '99, 5 years, 4%. 2:507. 35,000
 Same to same. Prince st, No 7, n s, 75.7 e Elizabeth st, runs n — x e 25.2 x s 91.1 to Prince st x w 25.2. Oct 17, '99, 5 years, 4%. 25,000
 Mayer, Isaac to Wm M Kingsland. Madison av, e s, 25.11 s 98th st, 3 lots, each 25x95. 3 mortg, each \$18,000. Oct 17, '99, 3 years, 4 1/2%. 6:1603. 54,000
 Same to Chas F Ballard. Madison av, s e cor 98th st, 25.11x95; 98th st, s s, 95 e Madison av, 75x100.11. Oct 17, '99, 3 years, 4 1/2%. 36,000
 Muller, Clemens to GERMAN SAVINGS BANK. 2d av, No 1511, w s, 76.8 s 79th st, 25.7x105. Oct 16, 1 year, 6%. Oct 18, '99. 5:1433. 3,500
 Moloney, Thomas to THE CITY MORTGAGE CO. West End av, n w cor 96th st, 25.2x100. Oct 18, 1 year, 6%. Oct 19, '99. 7:1887. 2,000
 Moore, Elizabeth wife Chas E to Edwin Shuttleworth. 116th st, n s, 100 e Morningside av, 100x100.10. Sub to mortg \$85,000. Oct 13, due April 13, 1900, 6%. Oct 19, '99. 7:1943. 4,000
 Morrissey, John and Morris Cohen to Eliz B Vanderpoel, Washington, D C. Madison st, s s, abt 135.4 e Catherine st, 25x100. Oct 18, 6 years, 4 1/2%. 1:276. 25,000
 McDowell, Geo A to Mary B, Ward, Walter R, Gilbert and John B H Oakley. Columbus av, e s, 25.11 n 101st st, 25x80. P M. Oct 14, 2 years, 5%. Oct 18, '99. 7:1837. 3,000
 McGranahan, Margaret and Rosemary to EMIGRANT INDUSTRIAL SAVINGS BANK. 94th st, s s, 425 e 2d av, 25x100.8. Oct 17, '99. 1 year, 4%. 5:1556. 9,000
 McGuire, Thos J to GERMAN SAVINGS BANK. 84th st, s s, 100 w West End av, 2 plots, each 50x102.2. 2 mortg, each \$78,000. Oct 17, '99, 1 year, 6%. 4:1245. 156,000
 MacKinstry, Everett to EQUITABLE LIFE ASSURANCE SOCIETY of the U S. 91st st, No 17, n s, 264.1 e 5th av, 17x100.8. Oct 16, '99, due Jan 1, 1901, 4 1/2%. 5:1563. 21,000
 Nagle, Elizabeth wife and John H to THE EQUITABLE LIFE ASSURANCE SOCIETY of the U S. 123d st, n w cor Lexington av, 40x100.11. Oct 11, due Jan 1, 1902, 4 1/2%. Oct 13, '99. 6:1772. 21,000
 Nagle, Elizabeth wife John H to Anne McKeon. Same property. Sub to mortg \$21,000. Oct 11, 3 years, 5%. Oct 13, '99. 6:1772. 65,000
 Neundorffer, Carl to Justus Bruno, Union Hill, N J. 147th st, s s, 40.6 w Boulevard 15x99.11. Sub to mortg \$8,000. Oct 16, due Dec 30, 1900, 6%. Oct 17, '99. 7:2098. 1,500
 Nolte, Chas H with Elizabeth Lauter. 1st av, w s, 22 s 121st st, 41x 66.8. Extension mort. April 1. Oct 17, '99. 6:1797. nom
 Neeler, Annie R to William Rau. 45th st, No 156, s s, 194.9 e Broadway as widened, 20x100.5. See Cons. Sub to mortg \$21,000. Oct 16, installs, 6%. Oct 18, '99. 4:997. 7,000
 Patjens, John H to Bernheimer & Schmid. Park av, No 959, s e cor 82d st. Saloon lease. Oct 17, '99, demand, 6%. 5:1510. 3,500
 Pettit, Le Grand K, Brooklyn, to John W Cochrane. Broadway, e s, 28.1 n 105th st, 27.1x16.6x25x6. Oct 18, '99, 3 years, 5%. 7:1877. 4,500
 Pizer, Leon and Jacob to Winston H Hagen exr John S Tuttle. Houston st, n e s, 194.3 e Av A, 24.9x106. P M. Oct 10, 1 year, 5%. Oct 13, '99. 2:397. 20,000
 Quinn, Sarah C to CENTRAL TRUST CO. 11th av, n e cor 51st st, 25.1x100. Oct 10, 3 years, 5%. Oct 13, '99. 4:1080. 23,000
 Rothenburger, Gottlieb with Isabella Stewart. 26th st, s s, 235.9 w 6th av, 21.5x98.9. Extension of mort. Oct 14, '99. 3:801. nom
 Same with same. Same property. Extension of mort. Oct 14, '99. nom
 Robertson, James to EMIGRANT INDUSTRIAL SAVINGS BANK. 161st st, n s, 150 w Amsterdam av, 25x99.11. Oct 16, '99, 1 year, 4%. 8:2120. 2,000
 Romaine, Girard to THE SEAMANS BANK FOR SAVINGS. 83d st, n s, 225 e Columbus av, 16.8x102.2. Oct 17, '99, 3 years, 4%. 4:1197. 12,000
 Romaine, Louis T to same. 83d st, n s, 241.8 e Columbus av, 16.8x 102.2. Oct 17, '99, 3 years, 4%. 12,000
 Ratner, Lottie to Louis Manheim. Pike st, Nos 55 and 57, n e cor Monroe st, 34.8x50.6x34.10x50.6. Oct 12. Secures advances, 6%. Oct 18, '99. 1:272. 3,000
 Rosenberg, Yosta to MUTUAL LIFE INS CO. Lexington av, No 189, e s, 78.6 s 32d st, 21x100. Oct 19, '99, 3 years, 4%. 3:887. 6,000
 Smith, Pierre J to Charles Schipper. 74th st, n s, 380 w Columbus av, 20x102.2. Dec 28, '97, 1 year, 6%. Oct 19, '99. 4:1146. 10,000
 Stronczer, Emma wife of and Stephen to Louis B Hasbrouck. 118th st, n s, 416.3 e Pleasant av, 20.5x100.11. P M. Oct 18, 2 years, 6%. Oct 19, '99. 6:1815. 2,000
 Scharsmith, Magdalena M D to Ernst-Marx-Nathan Co. 173d st, No 507, n s, 72 w Amsterdam av, 19x100. See Cons. Sub to mortg \$9,000. Oct 13, 1 year, 6%. Oct 18, '99. 8:2130. 1,435
 Schworer, George to UNION TRUST CO. 117th st, No 339, n s, 150 w 1st av, 25x100.11. Oct 18, '99, 5 years, 4%. 6:1689. 7,000
 Same to same. 117th st, n s, 175 w 1st av, 25x100.11x—; Interior gore, begins at point on c l of block, bet 117th and 118th st and 175 w 1st av, runs n w — x s — x n e —, both parcels known as No 337 E 117th st. Oct 18, '99, 5 years, 4%. 6,500
 Stanton, Minnie E, St Paul, Minn, John F Pulling, Summit, N J, and Henry S Pulling to TITLE GUARANTEE AND TRUST CO. 81st st, No 157, n s, 272.6 e Amsterdam av, 17.6x102.2. Oct 10, due Oct 16, 1902, 4%. Oct 14, '99. 4:1212. 10,000
 Stoll, Joseph A to Jacob D Butler. Broadway, n e cor 107th st, runs e 99.1 x n 100.11 x w 25 x s 25.2 x w 103.3 to Broadway x s 81.2. Oct 13, due Sept 1, 1900, 6%. Oct 14, '99. 7:1879. 10,000
 Stone, Max to Geo R Smith. Canal st, Nos 195 and 197, 50x75. 1-8 part. Sept 12, 5 years, 6%. Oct 14, '99. Re-recorded. 1:205. 4,000
 Schermerhorn, John E to The Home for Incurables. 79th st, n s, 282 e 5th av, 18x102.2. P M. Oct 16, '99, 3 years, 4%. 5:1491. 35,000
 Schnugg, Francis J to Abraham C Quackenbush. 8th av, n e cor 154th st, runs e 125 x n 99.11 x w 25 x s 50 x w 100 to av x s 49.11. due Jan 1, 1900, 6%. Oct 13, '99. 7:2046. 5,000
 Schnugg, Francis J to Conrad Stein. 5th av, e s, 25 s 119th st, 25x 85. Oct 16, '99, 5 years, 4 1/2%. 6:1745. 18,000
 Schnugg, Francis J to Caroline C Lindsley and ano trustees Rosena Pease. 5th av, s e cor 119th st, 25x85x25x—. Oct 16, 3 years, 4 1/2%. Oct 17, '99. 6:1745. 35,000
 Same to Philip Teets et al exrs Louisa S Teets. 119th st, s s, 85 e 5th av, 25x50. Sept 30, due Oct 1, 1904, 4 1/2%. Oct 17, '99. 6:1745. 12,000
 Schwab, Alexander to The American Seamens Friend Society. 145th st, n s, 100 e Amsterdam av, 25x99.11. Oct 10, due Oct 16, 1902. 4 1/2%. Oct 16, '99. 7:2060. 18,000
 Sileo, Tommaso to Christian Hammel. Sullivan st, s e s, 243.6 n e Prince st, 24.8x100. P M. Oct 16, '99, installs, 6%. 2:517. 8,000
 Smith, John H to EMIGRANT INDUSTRIAL SAVINGS BANK. Lexington av, e s, 34.2 n 76th st, 17x70. Oct 14, 1 year, 4%. Oct 16, '99. 5:1411. 6,000
 Spiers, Mary L, formerly Pinckney, to St Marys Free Hospital for Children. 79th st, No 125, n s, 245 e Park av, 20x102.2. Oct 14, 5 years, 4%. Oct 16, '99. 5:1508. 12,000
 Spletaler, Frank to Bernheimer & Schmid. Lexington av, No 1813, s e cor 113th st. Saloon lease. Oct 14, demand, 6%. Oct 16, '99. 6:1640. 1,400
 Spingarn, Ellas to MUTUAL LIFE INS CO. 58th st, No 118, s s, 220 w Lexington av, 19x100.5. Oct 16, '99, 5 years, 4%. 5:1312. 10,000
 Senges, Wm E and Annie Fennel exrs, & John Fennel to AMERICAN MORTGAGE CO. 89th st, n s, 160 e 3d av, 2 lots, each 25x 100.8. 2 mortg, each \$14,000. Oct 16, 5 years, 4%. Oct 17, '99. 5:1535. 28,000
 The Erste Ungarische Congregation Brith Sholem mortgagors with Joseph Frey. Pitt st, Nos 54 and 56, e s, 129.7 n Delancey st, 48x 100.4. Extension of mort. Oct 17, '99. 2:338. nom
 THE U S LIFE INS CO with Catherine Rapelye. 129th st, n s, 481.3 w 7th av, 18.9x99.11. Extension of mort. Oct 17, '99. 7:1935. nom
 The Riverside Building Co to Harry S Shephard. 83d st, s s, 42 e Riverside Drive, runs s 31.8 x e 12.1 x s 7.4 x e 27.4 x n 39 to 83d st x w 39.5. Sub to mortg \$35,000. Riverside Drive, e s, 42.10 s 83d st, measured along Drive 26.4x77.9x24x88.8. Sub to mortg \$45,000. Riverside Drive, e s, 122 s 83d st, runs e 55.11 x s 23.4 x w 12 x s 15 x w 26.5 to Drive x n 42.1. Sub to mortg \$40,000. Oct 18, 1 year, 6%. Oct 19, '99. 4:1245. 6,000
 Same to same. West End av, s w cor 92d st, 123.9 to old lane x125.2 x117.1 to st x125, with title to old lane. Oct 17, due Nov 1, 1900, 5%. Oct 19, '99. 4:1252. 90,000
 Same to Helen M del Garcia, Julia G Walker and Richard S Chisolm. 92d st, s s, 125 w West End av, 50x114.5 to old lane x50.1x117.1, with all title to old lane. P M. Oct 17, due Nov 1, 1900, 5%. Oct 19, '99. 4:1251. 35,000
 Same to Geo R Schieffelin. 92d st, s s, 175 w West End av, 75x 110.5 to old lane x76x114.5, with title to old lane. Oct 17, due Nov 1, 1900, 5%. Oct 19, '99. 60,000
 Same to same. West End av, n w cor 92d st, 75.8x100. P M. Oct 17, due Nov 1, 1900, 5%. Oct 19, '99. 4:1252. 50,000

Same to same. 92d st, n s, 200 w West End av, 200 to Riverside Drive or av x61.7x203.11x55.7. P M. 1/2 part. Oct 17, due Nov 1, 1900, 5%. Oct 19, '99. 4:1252. 70,000

Same to Helen M del Garcla, Julia G Walker and Richard S Chisolm. Same property. 1/4 part. Oct 17, due Nov 1, 1900, 5%. Oct 19, '99. 70,000

Same to same. 92d st, s s, 250 w West End av, 25x109.1 to old lane x25x110.5, 1/2 part; also all title to so much of old lane as lies bet line parallel with w s West End av and 250 w therefrom and a line 275 w from same. Oct 17, due Nov 1, 1900, 5%. Oct 19, '99. 4:1251. 10,000

Same to Geo R Schieffelin, Southampton, L I. Same property. 1/2 part. P M. Oct 17, due Nov 1, 1900, 5%. Oct 19, '99. 10,000

The Trustees for the Corporation of the Methodist Episcopal Church in the City of New York to THE SEAMANS BANK FOR SAVINGS. 18th st, n s, 100 w 8th av, runs n 114.6 x w 57 x s .06 x w 23 x s 22 x w 23 x s 92 to st x e 103 to beginning. Oct 19, '99, 1 year, 4%. 3:742. 4,000

True, Clarence F and Marie to Harry S Shephard. Riverside Drive, s e cor 83d st, runs e 42 x s 31.8 x e 12.1 x s 7.4 x w 36.4 to Drive x n 42.10 to beginning; Riverside Drive, e s, 69.3 s 83d st, measured along Drive 26.4x66.10x24x77.9; Riverside Drive, e s, 95.7 s 83d st, 26.4x55.11x24x66.10. Sub to mortg \$110,000. Oct 18, due April 18, 1900, 6% Oct 19, '99. 4:1245. 6,000

Vigna, Emilio to The Armstrong & Bolton Co. 92d st, s s, 100 w Boulevard, —x—. Secures contract. Oct 12, installs. Oct 14, '99. 4:1239. 2,050

Voegelin, Frederick and Antoinette to BOWERY SAVINGS BANK. Houston st, n s, 71.9 w Av A, 54.2x51.10x53.10x—. Oct 4, 5 yrs. 4%. Oct 13, '99. 2:428. 25,000

Same to Mary D Ross. Same property. Oct 4, 1 year, 5%. Oct 13, '99. 2:428. 3,000

Vogel, Max to David R Heine. 112th st, Nos 233 and 235, n s, 203.9 w 2d av, 37.6x100.11. Oct 18, due Oct 20, 1900, 6%. Oct 19, '99. 6:1662. 4,000

Wagner, Adolph and Franz exrs Adam Wagner, Adolph Wagner indiv, William and Elizabeth Wagner widow to Betty Bader. Eldridge st, No 22, e s, 75 s Canal st, 25x87.10. Oct 16, due Jan 1, 1903, 4%. Oct 19, '99. 1:293. 12,000

Wolt, Betsie to NEW YORK LIFE INS CO. Clinton st, w s, 199.6 n Hester st, 25.6x100. Oct 19, '99, due Jan 1, 1905, 4 1/2%. 1:313. gold, 22,000

Welch, Sarah, Albert and Geo M to BOWERY SAVINGS BANK. Amsterdam av, s e cor 103d st, runs e 128.6 x s 100.11 x w 31.6 x n w — to centre line of old lane x w 94 to av x n 88.10. Oct 13, 5 years, 4%. Oct 14, '99. 7:1857. 40,000

Wiener, Henry with Abraham Harris. Madison av, No 193, n s, 108.5 w Rutgers st, 23.10x100. Extension mortgages. Oct 10. Oct 14, '99. 1:273. nom

Weeks, Caroline P wife of and Edw O, Leonia, N J, to Cath C Hill. 3d av, No 454, w s, 47.4 n 31st st, 22.8x80x23x80. All title, &c. Oct 14, 1 year, 6%. Oct 16, '99. 3:887. 125

Weisbecker, Charles to Francis K Pendleton and Wm C Bowers trustees Thos E Davis. 126th st, Nos 150 to 154, s s, 260 w 3d av, 50x 99.11. Oct 16, '99, 1 year, 5%. 6:1774. 15,000

Wise, Leo to Malvin Gutman. 74th st, s w cor Park av, 40x102.2. Sub to mortg \$126,000. Oct 13, due April 18, 1900, 6%. Oct 16, '99. 5:1388. 10,000

Wells, Henry to Mary Ehrmann. 120th st, Nos 114 and 116, s s, 173.4 e Park av, 41.8x100.10. P M. Oct 16, 1 year, 6%. Oct 17, '99. 6:1768. 3,000

Wertheim, Pepi to Simon Adler and Henry S Herrman. 1st av, s w cor 104th st, 100.9x125. Oct 17, '99, 1 year, 6%. 6:1675. 3,000

Wisendanger, Philippene C widow to Isabella Sander. 65th st, s s, 162.6 e 2d av, 18.9x—. Oct 16, 2 years, 5%. Oct 17, '99. 5:1439. 1,000

Wray, Eliza T wife John H to Eliza Lockwood. 127th st, s s, 300 e 8th av, 16.8x99.11. Oct 13, due Oct 16, 1902, 5%. Oct 17, '99. 10,000

Wray, John H to Matilda F Rhineland. 127th st, s s, 283.4 e 8th av, 16.8x99.11. Oct 13, due Oct 16, 1902, 5%. Oct 17, '99. 7:1932. 10,000

Weber, Peter with Wm W Wister, Jr. 2d av, No 1953. Extension mortgage. Oct 12. Oct 18, '99. 6:1650. nom

Wolf, Philip E to Joseph C Levi trustee. 53d st, Nos 209 to 213, n s, 100 e 3d av, 60x100.5. Oct 17. Secures advances. Oct 18, '99. 5:1327. 30,000

Wuerz, William to David Werdenschlag. 69th st, n e cor Columbus av, 70.8x100.5. Oct 18, '99, 1 year, 6%. 4:1122. 12,000

BOROUGH OF BRONX.

Mortgages under this head marked with * denote that the property is located in the new Annexed District (Act of 1895).

Archer, Wm J to Mary R Fitzpatrick. Ernescliff pl, s s, 62.11 w Lisbon pl, 25.3x102.11x25x106.6. July 1, 3 years, 5%. Oct 13, '99. 12:3311. 800

Biondi, Enrichetta and Maria to John and Mathias Haffen, firm J & M Haffen. 149th st, s s, 170.3 e Morris av, new line, 50x86.6. Oct 11, 1 year, 5%. Oct 14, '99. 9:2330. gold, 22,000

Briggs, Josiah to Josiah A Briggs. College av, e s, 17.8 s 144th st, 36.1x100. Oct 13, 1 year, 5%. Oct 16, '99. 9:2324. 2,000

Bonagur, Vincent to Isaac and Max S Boehm. Washington av, w s, widened, 218.10 n 166th st, 66x143. Sub to mortg \$—. Oct 19, '99, demand, 6%. 9:2388. 2,500

Same to Grace F Dundon guardian Herbert N Dundon. Washington av, w s, as widened, 218.10 n 166th st, 25x93. Oct 18, 3 years, 5%. Oct 19, '99. 9:2388. 13,000

Bofinger, Eugene A with Josiah A Briggs trustee Chas D Valentine. Norwood av, e s, 330.8 s Gun Hill road, 510x190 to Webster av. Extension of mort. Oct 17. Oct 19, '99. 12:3355. nom

Constantian, Raphael to Elizabeth Stancliffe. Bathgate av, No 2283, w s, widened, 16.2 s 183d st, new line, 16.2x100; Bathgate av, old line, s w cor 183d st, new line, 16.2x100. Sept 27, 6 months, 6%. Oct 19, '99. 11:3050. 1,100

Charles, Howard W to Anna R Fairchild. Crotona pl, w s, 109.9 s 171st st, 25x100. Sub to right of way, &c. Oct 16, 1 year, 5%. Oct 17, '99. 11:2927. 3,500

Curly, Patrick to the exrs of James C Bell. Riverdale av, s e cor Rock st, 85.4x130x87.3x130. Oct 9, 1 year, 6%. Oct 17, '99. 13:3423. 160

Casey, Mary wife of Patrick M to GERMANIA FIRE INS CO. 134th st, No 540, s s, 200 w Alexander av, 25x100. Oct 12, 5 years, 5%. Oct 18, '99. 9:2309. 12,000

Darcy, Bridget L, Margaret and Cath A to Anna Flithan, Brooklyn. Ernescliff pl, n s, 501.10 measured along the w and n s of Ernescliff pl in a s and w direction from the s w cor of Ernescliff pl and Granada pl, runs w 53.4 x n 107.2 x e 50 x s 25 x s 105.7 to beginning. Oct 12, 3 years, 6%. Oct 13, '99. 12:3312. 500

Dunne, Rose wife of and Michael to John J Brady. Arthur av, w s, lot 512 map S Cambreleng et al, Fordham. Oct 18, '99, 1 year, 6%. 11:3065. 250

Davis, Michl to Simon Danzig and Abraham H Feuchtwanger. West-

chester av, e s, at w s Wales av, runs s 88.7 x s e 83.5 x n e 53.6 to Wales av x w 112.7. P M. Sept 1, due Sept 18, 1901, 5%. Oct 19, '99. 10:2644. 18,000

Duvernoy, Louise C to Alice Maddock. Craven st, n e cor Dawson st, 25x100. Oct 19, '99, 1 year, 4 1/2%. 10:2701. 6,000

Embree, Eliz M to Wm H Payne. Fairmount pl, s s, 372.9 w Marmon av, 25x66x25x67.7. Oct 18, 3 years, 6%. Oct 19, '99. 11:2954. 2,000

Eberle, Geo P to Mary J Oliver. Morris av, w s, 50 s Gray st, 25x 100. Oct 14, 3 years, 6%. Oct 17, '99. 11:2797. 2,250

Gowdey, Sanford S, Queens Borough, N Y, to Lavinia McCord Stover. Clinton st, n s, 350 w Jerome av, 25x100. Oct 18, 3 years, 6%. Oct 16, '99. 11:3195. 750

Gifford, Edwin S with Gustav E Stamm. Denman pl, n s, abt 150 w old line Union av, 28x145.2. Extension of mortgage. Oct 11. Oct 18, '99. 10:2667. nom

Grady, Annie E to Hibbert B Roach. Tinton av, w s, 344 n 165th st, 24x110. P M. Oct 18, '99, 1 year, 5%. 10:2660. 1,750

Gaige, Mary D to UNITED STATES SAVINGS BANK. Jerome av, e s, at n e s Garfield st, 28.6x113.9x25x100. Oct 13, '99, 2 years, 6%. 12:3320. 1,000

*Gordon, Frank W and Mary E and John and Elvira H Gillingham to Malinda G Mace et al trustees. Louise st, e s, 250 n Columbus av, 25x100. Oct 1, demand, 6%. Oct 13, '99. 2,000

*Gianfrancesco, Liberato to Filomena Apolla. 6th st, n s, 205 w 4th av, 50x114. Mar 1, due Sept 1, 1900, 6%. Oct 19, '99. 1,000

Hillebert, James E to HARLEM SAVINGS BANK. Jerome av, s e s, 229.2 n e 177th st, 25x102.5x59.7x101. Oct 14, 1 year, 5%. Oct 16, '99. 11:2853. 5,000

Holmes, Wm H and Anna A and Patrick Smith to William Donaldson. Kelly st, n s, 185 e Robbins av, runs e 75 x n 143.6 x n w 28.10 and 55.10 x s 133 to beginning. Sub to mort \$—. Oct 16, '99, demand, 6%. 10:2644. 3,000

Same to Harry H Meeks. Kelly or 152d st, n s, 235 e Robbins av, 25 x143.7x28.10x157.10. Sub to mort \$12,000. Oct 16, '99, demand, 6%. 1,000

Same to John T Dooling. 152d (Kelly) st, n s, 185 e Robbins av, 50x 157.9x55.9x133, 2 lots. 2 mortg, each \$12,000. Oct 16, '99, 3 yrs, 5%. 10:2644. gold, 24,000

Holmes, Wm H and Patrick Smith to Bradley & Currier Co. Same property. Sub to mortg \$24,000. Oct 16, '99, due Mar 16, 1900, 6%. 10:2644. gold, 2,000

Horwitz, Antoine widow to Eliz Segelken. 157th (Prospect) st, n s, being east 1/2 lot 232 map Village Melrose, 25x100. Oct 6, due Sept 6, 1904, 4 1/2%. Oct 16, '99. 9:2404. 4,000

Same to Elise Weck. Same property. Sub to last mort. Oct 9, 5 years, 5%. Oct 16, '99. 2,500

Harnischfeger, Annie to Joseph Liebertz. 169th st, s s, 81.5 e Union av, 18.11x99.5x18.4x105.6. P M. Sub to mort \$2,500. Oct 17, '99, 3 years, 5%. 10:2682. 2,500

Hunchberger, Harry I and Louise E his wife to Eugene J Busher. Intervale av, e s, 122.11 s Freeman st, 38.4x101.4x17.4x82. Oct 16, 1 year, 5%. Oct 17, '99. 11:2974. 1,300

Hoffman, Hedwig wife of and John to John M Linck. Teller av, s w cor 162d st, 90x94. Sub to mortg \$17,000. Oct 17, 3 years, 6%. Oct 18, '99. 9:2421. 3,000

Johnson, Peter A to Ernest F Nordstrom. Summit st, s w cor Valentine av, 50x100. Aug 2, due July 1, 1904, 5%. Oct 16, '99. 12:3307. 1,500

Jones, Charlotte wife of and John W to THE MUTUAL LIFE INS CO. Washington av, original line, w s, abt 200 n 173d st, 100x150, except part taken to widen av. Oct 16, '99, 1 year, 5%. 11:2906. 5,000

Keegan, Annie to Tremont Building and Loan Assoc. Madison av, s e s, 108 n e Monroe st, 25x85, except part to open and widen Bathgate av. Oct 17, installs, 6%. Oct 18, '99. 11:3045. 3,200

*Koedding, Frederick to John Bussing, Jr, and Amanda his wife, Mt Vernon, N Y. Fulton st, n w s, 350 s Westchester av, 50x100. Oct 12, installs, 6%. Oct 13, '99. 2,500

Lenz, Louis A to Frederick Willets. Plot begins n w cor lot of land of James Sloane, runs n e 52 to land Danl Mapes, x s e 215 to Bronx River, x s w 52 x n w 215 except strip 40 ft wide running across premises and called "Bronx st." P M. West Farms. Oct 18, '99, 3 years, 5%. 11:3140-3141. 2,250

Morgan, Thomas to Konrad Kroemer. Burnside av, No 573, n s, 47.2 e Ryer av, 22.1x125.2x18.6x113.10. Oct 14, 1 year, 6%. Oct 16, '99. 11:3144. 1,800

Murray, Meradith J to Matilde R De Gonzalez. La Fontaine av, No 2060, e s, 84.6 s 180th st, 15.11x100. P M. Oct 16, '99, due Nov 1, 1902, 5%. 11:3069. 2,500

Same to same. La Fontaine av, No 2062, e s, 68.6 s 180th st, 16x 100. P M. Oct 16, '99, due Nov 1, 1902, 5%. 2,500

Moynihan, Daniel C with HARLEM SAVINGS BANK. Jerome av, e s, 229.2 n 177th st, 25x102.5x59.7x101. Agreement as to priority of mortgage. Oct 14. Oct 16, '99. 11:2853. nom

Morgan, Thomas to Nelson B Burr. 173d st, Nos 545 and 547, n e cor Topping av, 41x110.7x39.6x99.4. Oct 18, '99, 1 year, 6%. 11:2790. 2,000

Mallebre, Henry to EMPIRE CITY SAVINGS BANK. Clinton av, e s, 80 n Jefferson st, 20x89.11. July 28, due Aug 1, 1900, 5%. Oct 13, '99. 11:2935. 2,000

Same to same. Clinton av, e s, 100 n Jefferson st, 20x109.4. July 28, due Aug 1, 1900, 5%. Oct 13, '99. 2,000

McAdam, Geo W, Jr, to Abraham Siegel. River av, w s, 50 n 167th st, 50x100. P M. Oct 3, due Mar 1, 1900, 5%. Oct 14, '99. 9:2489. 4,000

*McDonald, Honora to Charles Askey. Main st, w s, 60 s Bay av, 40 x75, omission, City Island. Sept 28, demand, 6%. Oct 13, '99. 400

McGovern, John J to Bernheimer & Schmid. Park av, No 3426, n e cor Gouverneur pl. Oct 11, demand, 6%. Oct 14, '99. 9:2388. 1,978

Morrison, Wm J to Wm R Rose. Hoe av, e s, 75 s Cooke pl, 25x100. Oct 12, 3 years, 6%. Oct 13, '99. 11:2988. 500

Murray, Meradith J to Anna R De Blois extrx Hollis Holman. La Fontaine av, No 2058, e s, 100.4 s 180th st, 16x100. Oct 18, 3 yrs, 6%. Oct 19, '99. 11:3069. 3,000

Same to same. La Fontaine av, No 2056, e s, 116.4 s 180th st, 15.11x 100. Oct 18, 3 years, 6%. Oct 19, '99. 3,000

O'Connell, Edmund to Bernheimer & Schmid. Brook av, No 250, cor 138th st, Saloon lease. Oct 16, '99, demand, 6%. 9:2266. 3,000

O'Donnell, Joseph P to Eliza D Downes. Crotona av, now Crotona Park North, n s, 117.4 e Clinton av, 23x100. Oct 10, due Jan 10, 1900, 6%. Oct 13, '99. 11:2948. 3,000

O'Malley, John to Louise L Dudgeon and Fannie H Harding. Rogers pl, e s, 612.4 n Westchester av, 30x81.7x22.9x82.4. Oct 12, 5 yrs, 6%. Oct 13, '99. 10:2699. gold, 2,200

Perrin, Payson & Co, a corporation, to Randolph Hurry, Larchmont, N Y. 2d now Walnut av, w s, 139.5 n 1st now 141st st, 177.4x 242.8x212x275.3. Sub to mortg \$25,000. Oct 1, 1 year, 6%. Oct 13, '99. 10:2599. gold, 5,000

Same with same. Same property. Consent of stockholders to above mortgage. Oct 11. Oct 13, '99.

Phillips, Willis R to John J Bell. Jackson av, w s, 90 s 156th st,

200x73.6x200x75.3. Sub to mortg \$44,000. Oct 13, due Jan 13, 1900, 6%. Oct 14, '99. 10:2635. 1,072

Pirk, Friedrich, to C Adelbert Becker. Crotona av, e s, as widened, 25 n 180th st, original line, 50x102. Sept 23, 1 year, 6%. Oct 13, '99. 11:3096. 2,000

Prior, James C to Thos F Reid. 136th st, s s, 100 w 3d av, 125x100. Sub to mortg \$52,000. Oct 2, demand, 6%. Oct 13, '99. 9:2320. 2,000

Peterson, Charles to Louis and John Brandt. Cauldwell av, w s, 175 s 156th st, 150x115. Oct 16, due Dec 16, '99, 6%. Oct 17, '99. 10:2624. 5,000

*Perkins, Maria to William Miller. 6th av, n s, 80 w 5th st, 25x114. Wakefield. Oct 12, 1 year, 6%. Oct 18, '99. 500

Ragette, Anton and Henry F A Wolf to Mary A Masterton. 144th st, s s, 173.11 w 3d av, 25x99.7. Oct 12, due Oct 16, 1902, 5%. Oct 17, '99. 9:2324. 16,000

Ragette, Anton and Henry F A Wolf to Edwd C Cozzens, Croton Falls, N Y. 144th st, s s, 149.6 w 3d av, 24.6x99.7. Oct 12, 3 years, 5%. Oct 16, '99. 9:2324. 16,000

Same to Albert W J Petrie. 144th st, s s, 100 w 3d av, 25x99.7. Oct 12, 3 years, 5%. Oct 16, '99. 16,000

Same to Emma R C Floyd, Mastic, L I. 144th st, s s, 125 w 3d av, 24.6x99.7. Oct 12, 5 years, 5%. Oct 16, '99. 16,000

*Rafferty, Mary to Mary E O'Rourke. 2d st, n s, adj w line lot 29 map estate of Wm Adeo, runs n 100 x w 40 x s 100 to st x e 40. Mort \$2,000. Oct 11, due Dec 10, '99, 6%. Oct 13, '99. 267

Steele, Frank W to AMERICAN MORTGAGE CO. 163d st, s e cor Jackson av, 75x72. Sept 28, due Mar 1, 1900, 6%. Oct 13, '99. 24,000

Stuess, Henry to John Sloane exr and trustee Douglas Sloane. Gerard av, e s, 300 n e James or 167th st, 100x125. Oct 13, '99, due May 12, 1902, 5%. 9:2480. 2,000

Salomon, Louis A and Charles, firm L A Salomon & Bro, mortgages with Frederick Pirk and Charles Diamond. Samuel st, n s, lots 39 and 40 map Village of East Tremont. Extension of mort. Oct 12. Oct 17, '99. 11:3096. nom

Same with same. Same property. Extension of mort. Oct 12. Oct 17, '99. nom

Schneider, Charles and Louise P to Paul M Herzog. Beach av, No 102, e s, 160 s 151st or Beck st, proposed, 20x100. Oct 12, due May 1, 1902, 5%. Oct 17, '99. 10:2664. 1,000

*Stark, John C and Mary his wife to Chas H Zorn. White Plains av, s w cor 2d st, 50x132, Wakefield. Oct 14, 1 year, 6%. Oct 17, '99. 1,000

*Sandy, Edwd J to Thomas Shea. Hancock st, e s, 355 n Columbus av, 25x100. Oct 18, due Oct 17, 1900, 6%. Oct 19, '99. 200

*Sanial, Laura H wife of and Chas L to Mary L Horton, White Plains, N Y. Washington av, s s, 200 w Main st, 100x100, City Island. P M. Oct 18, 5 years, 5%. Oct 19, '99. 3,000

Tarbell, John J to Anna C Norton, Yonkers, N Y. 139th st, n s, 181.6 e Alexander av, 50x100. Oct 17, 3 years, 5%. Oct 18, '99. 9:2302. 1,500

Thornston, Chas H to Fredk A Strang. Prospect av, e s, 105.6 n Freeman st, runs e 97.6 x n e 121 x w 152.2 to av x s 5.11 x s 95 to beginning. P M. Oct 14, 1 year, 5%. Oct 16, '99. 11:2971. 7,400

Ueckermann, William to Sylvester Pope et al trustees Josephine L Peyton. Union av, w s, 186 s Boston road, 25x122.3x42x88.5, except part taken to widen and open st or av. Oct 16, 3 years, 5%. Oct 17, '99. 11:2961. 13,000

Same to same. Boston road, s e s, 212.6 n e 169th st, 27.6x97, except part taken to open and widen st or av. Oct 16, 3 years, 5%. Oct 17, '99. 16,500

Same to same. Boston road, s e s, 77.6 n e 169th st, 5 lots, each 27x 97. 5 mortg, each \$16,500. Oct 16, 3 years, 5%. Oct 17, '99. 82,500

Same to same. Boston road, s e s, 50 n e 169th st, 27.6x97, except part taken to widen st or av. Oct 16, 3 years, 5%. Oct 17, '99. 11:2961. 16,500

Same to same. Union av, w s, 211 s Boston road, runs w 124.3 x s e 30.11 x s 8.1 x e 142.3 to av x n 25 to beginning, except part taken to widen st or av. Oct 16, 3 years, 5%. Oct 17, '99. 11:2961. 13,000

Vogel, Louis and Nathan Lemlein to Amelia B Lockwood, Stamford, Conn, guard of Marguerite and Florence L Grumbrecht. Willis av, s w cor 146th st, 25x107.7. P M. Oct 16, '99, 5 years, 4%. 9:2307. 10,000

Weiber, Lorenz F J, Jr, to THE GERMAN SAVINGS BANK. Interior strip, 100 e Washington av, as widened, and 275 n 164th st, extends n 25 x e 5. Oct 12. Oct 16, '99. 9:2369. Additional security to mort recorded April 19, '99. —

Same to same. Interior strip, 100 e Washington av, as widened, and 200 n 164th st, extends n 25 x e 5. Oct 12. Oct 16, '99. Additional security to mort recorded April 19, '99. —

Same to same. Interior strip, 100 e Washington av, as widened, and 250 n 164th st, extends n 25 x e 5. Oct 12. Oct 16, '99. Additional security to mort recorded April 19, '99. —

Weiffenbach, Lillie to Edward P Lyon. Willis av, w s, 75 s 143d st, 25x106. 1/2 part. Oct 16, due Nov 1, 1902, 6%. Oct 17, '99. 9:2305. 2,500

*Winter, Geo H and John Franklin to Annie C, Edith and Gertrude King, Brooklyn. Minneford av, e s, 100 n Beach st, 150x288 to Long Island Sound, x150x320; Minneford av, e s, 50 n Beach st, 50x100, City Island. P M. Oct 18, '99, 5 years, 5%. 5,300

*Wagner, Mary to Malinda G Mace, Frank C Mayhew and Ralph Hickox as trustee, &c. Grace av, w s, abt 10.7 n Glebe av, 32.7x 106.11x25x127.11. Oct 1, demand, 6%. Oct 13, '99. 2,000

Washburn, John W to Railroad Co-operative Building and Loan Assoc. Loring pl, e s, 320.6 s Fordham road, 25x113.4x25x114.11. Oct 13, '99, installs, 5%. 11:3225. 3,500

Webb, formerly Koelle, Lisette widow, legatee and devisee of Louis Koelle to Gustav Berg. Briggs av, s s, 370.4 e Southern Boulevard, 25x100. Oct 9, 1 year, 4%. Oct 13, '99. 12:3298. 1,275

Same to Gustav Berg guardian of Arthur Haug. Same property. Oct 9, 1 year, 5%. Oct 13, '99. 12:3298. 500

Wright, Wm H to THE GERMANIA FIRE INS CO. Tinton av, Nos 1216 to 1220, e s, 147.7 n 168th st, 3 lots, each 22x100. 3 mortg, each \$4,500. Oct 13, 5 years, 5%. Oct 14, '99. 10:2673. 13,500

Same to Emma F Staekel. Tinton av, No 1222, e s, 213.7 n 168th st, 22x100. May 15, 5 years, 5%. Oct 14, '99. 5,000

Weill, Jacob to James Monahan. Fox or Barretto st, w s, at intersection with s e s Intervale av, runs s along Fox st 95.4 x w 34.11 x n w 27 x av x n w 97.11 to beginning. Oct 16, due April 16, 1900, 5%. 11:2974. 600

Wiener Henry and Eugenia W Chapin with Benjamin and Jennie Korminsky. 136th st, No 661, n s, 75 e Willis av, 25x100. Extension mortgage. July 1. Oct 19, '99. 9:2281. nom

MORTGAGES—ASSIGNMENTS.

(The dates following the description of the property given in this list indicate when the original mortgage was recorded. The mortgages without any specified date were recorded during the current year.)

October 13, 14, 16, 17, 18, 19.

BOROUGH OF MANHATTAN.

American Mortgage Co to Francis K Pendleton and Wm C Bowers trustees Thomas E Davis. 106th st, s s, 175 e 2d av, 50x100.11. Oct 14, '99. 10,061

Same to same. 119th st, s s, 175 w Park av, 75x100.11. Oct 14, '99. 18,110

Same to same. 112th st, n s, 100 w 1st av, 100x100.9. Oct 14, '99. 16,295

Same to Henry A Himmelmann trustee for Emeline R Sterling will of Geo W Sterling. Eldridge st, No 176. Oct 13, '99. 13,018

American Mortgage Co to Mary L McCreedy trustee. Cherry st, No 304. Oct 17, '99. 15,000

American Mortgage Co to Leopold Gusthal and Edwd A Ridley trustees Edward Ridley. 106th st, s s, 225 e 2d av, 50x100.11. Oct 16, '99. 10,097

Bach, Aaron J to Carrie Jaeger. Central Park West, w s, 50.11 s 98th st, 50x100. Oct 16, '99. 9,050

Bach, Aaron J exr Jacob E Bach to Frances S Jaeger. Attorney st, No 159. Oct 16, '99. 15,191

Burden, Henry trustee Henry Burden to Cecilia L De Nottberk. 11th av, w s, 45 n 75th st, 20x75. Oct 16, '99. 10,000

Burridge, Lee S to Chas S Longstreth, Philadelphia, Pa. 135th st, Nos 207 to 215, n s, 150 w 7th av, as widened, 125x99.11. Oct 16, '99. 7,500

Burggraf John B and Eliza Honeywell exrs Oscar T Marshall to Jos L R Wood. Orchard st, e s, 100 s Rivington st, 25x87.6. Oct 17, '99. 20,000

Barbour, Wm D, Thos J and Norman trustees to Fredk W Loew. 170th st, s s, 150 e 11th av, 50x95. Oct 13, '99. 9,500

Bader, Betty to Minnie Junemann. 1-12 part. Eldridge st, No 22. Oct 19, '99. 1,000

Churchill, Lily W et al exrs Louis C Hamersley to Lily W Churchill, Geo G Williams and Jacob K Lockman trustees Louis C Hamersley. Madison st, s s, 135.4 e Catharine st, 25x100. Oct 19, '99. nom

Coffin, Herbert L admr Martha Green to Caroline A Middlebrook. 3d av, s w cor 93d st, 25.4x69. Oct 19, '99. 18,000

Corn Exchange Bank to American Mortgage Co. 124th st, n s, 300 w Amsterdam av, 50x100.11. Oct 19, '99. 11,054

Same to same. 124th st, n s, 350 w Amsterdam av, 50x100.11. Oct 19, '99. 11,054

Curtis, Chas B et al exrs Peter C Cornell to Sarah C Douglass. 54th st, No 106 E. Oct 19, '99. 13,000

Cromwell, Sarah L and Anna G Sheldon to Frederic N Goddard, Roslyn, L I. Bedford st, s e cor Commerce st, 44.8x50.5x51x50. Filed and discharged Oct 13, '99. 15,123

Clark, W Irving trustee Thos L Clark to Edwin Boardman Clark, Franklin Park, N J. 1st av, No 1665, w s, 23.2 s 87th st, 26x 73. Oct 18, '99. 8,142

Clark, Wm I exr Danl L Clark to Wm I Clark trustee Thos L Clark. Same property. Oct 18, '99. 8,142

Coffin, Herbert L admr Martha Green to Herbert L Coffin. 55th st, n s, 200 e 8th av, 25x100.5. Oct 18, '99. 35,000

Same to Eliz L Thomasson. West End av, n w cor 74th st, 23x100. Oct 18, '99. 35,000

Same to The Washington Trust Co as committee of Samuel G Corlies. 3d av, w s, 75.8 s 95th st, 2 lots, each 25x100. Assigns 2 mortg, each \$12,000. Oct 18, '99. 24,000

De Blois, Anna R extrx Hollis Holman to Elizabeth B Vanderpoel. 83d st, n s, 228.9 e 3d av, 25.5x102.2. Oct 19, '99. 6,210

Dorsey, Ann E to The Irving Savings Institution. 26th st, s w s, 281.6 s e 6th av, 18.6x98.9. Oct 19, '99. 20,000

Dougherty, J Hampden and ano trustees will Wm D Thompson to Joseph C Levi trustee. Broome st, No 303. Oct 19, '99. 11,550

Fay, Michael and William Stacom to Hiram Rinaldo. Madison st, No 362, s s, 275 w Jackson st, 20x94.5x20x94.4. Oct 16, '99. 900

Feldman, David and David Klein to John Rottkamp. 72d st, Nos 323 and 325 E. Oct 14, '99. 3,012

Finck, Anna S wife Geo H to Helene Kudlich. 130th st, s s, 102 w Lenox av, 15x99.11. Oct 14, '99. 2,250

Gunn, Chas N to Charles Frazier. Broadway, n e cor 96th st, 100.11x 99.8 to Old Bloomingdale road x101.9x86.8. Oct 17, '99. 35,000

Gerard, Julian M to Jenny A Gerard. 84th st, s s, 100 w West End av, 50x102.2. Filed and discharged Oct 18, '99. 21,038

Hobson, Arthur E exr Susan Ogden to M J Downing. 98th st, s s, 99.6 w 1st av, runs s 25.5 x w 0.6 x s 75.5 x w 50 x n 100.11 to st x e 50.6. Oct 18, '99. 1,000

Hoppin, Hamilton L and Saml H trustees Louise H Hoppin to Hamilton L, Emily H and Samuel H Hoppin. Assigns 6 mortg. 9th av, w s, 43.3 n 26th st, 18.6x70; 8th av, n w s, 49.5 n e 37th st, 31.4x 100. Oct 18, '99. nom

Kudlich, Herman C to Anna S Finck. 130th st, s s, 102 w Lenox av, 15x99.11. Oct 14, '99. 2,250

Koch, Andrew to Peter Wynen and John C Heesters. 25th st, No 212 East. Oct 16, '99. 3,000

Lane, Caroline B to Eliz B Lane. 74th st, n s, 190 e West End av, 20x102.2. Filed and discharged Oct 16, '99. 1,000

Lowenfeld, Pincus and Wiliam Prager to Gussie Blumenthal. Madison st, s s, 104.6 e Rutgers st, 36.3x100. Oct 13, '99. nom

Same to same. Charles st, s s, 137.6 e Bleecker st, 37.6x95. Oct 13, '99. nom

Same to same. 3d av, Nos 1517 and 1519. Oct 13, '99. nom

Same to same. 74th st, No 224 East. Oct 13, '99. nom

Same to same. 100th st, s s, 223.3 w Park av, 40x100.11. Oct 13, '99. nom

Lynch, Patrick H to Andrew A Bibby. 151st st, n s, 200 w Amsterdam av, 100x99.11. Oct 13, '99. nom

Lukach, Marie to Benjamin Salinsky. 133d st, No 4 E. Oct 18, '99. nom

Marcus, George to Simeon E Cohn. 109th st, n s, 187.10 e 3d av, 19.4 x100.11. Oct 18, '99. 8,000

Manning, Wm D to Thos R A and Wm H Hall, firm William Halls Sons. Rutgers st, n e cor Henry st, 25x104.6, except passageway 4 ft wide off rear. Oct 13, '99. 1,700

Merk, John to Henry Uihlein. 38th st, s s, 168.6 e 10th av, 27x98.9. Oct 13, '99. 1,000

McCreedy, Mary L extrx and trustee Benj W McCreedy to Geo F Simpson trustee Thos Simpson. Sullivan st, Nos 121 and 123. Oct 16, '99. 35,000

Otten, Peter to Sigmund Cohn. 8th st, No 386, s s, 402.5 e Av C. 24.7x97.6. Oct 18, '99. 7,243

Pohalski, Flora to Henry Pohalski. 104th st, No 54 E. Oct 13, '99. nom

Potter, Fredk G to N Y Life Ins Co. 9th av, s e cor 106th st, 25.6x 75. Oct 17, '99. 23,000

Powell, Sarah H to Mary P Wright. Henry st, No 312. Oct 16, '99. 4,000
 Putzel, Gibson to Fredk W Saltzieder. Broadway, s e cor 78th st, runs s 51.7 x e 87.9 x n 51.1 x w 45.2. Oct 16, '99. 6,500
 Randell, Anna J extrx Anna M Belden to Anna J Randell 124th st, s s, 154.6 w 1st av, 18x100.11. Oct 17, '99. 7,000
 Roemer, Henry W to Elizabeth Roemer. 14th st, n e s, 169 n w Av A, 25x103.3. Oct 13, '99. 2,800
 Rose, Wm R to Geo W Godward. 12Stth st, No 153, n s, 287 e 7th av, 29x99.11. Filed and discharged Oct 18, '99. 5,250
 Rothschild, Pauline to Bernard Spier. 1st av, No 2044, e s, 75.11 s 106th st, 25x84. Oct 19, '99. nom
 Sattler, Theodore and ano extrs Johanne Kaiser to Johanne Reeder. 23d st, No 221 East. Oct 19, '99. 8,000
 Schwarzschild, Samuel to Equitable Life Assurance Society of U S. 52d st, s s, 100 w 1st av, 30x99.8. Oct 18, '99. 2,000
 Sloane, Chas W extr Eliza M Sloane to Chas W Sloane. Assigns 2 morts. 63d st, n s, 300 e 2d av, 25x100.5; Av A, n w cor 75th st, 51.1x75. Oct 18, '99. nom
 Schlafer, Peter to John Franz. 11th st, s s, 283 w Av C, 25x94.9. Oct 14, '99. 6,044
 Smith, Eliza J to Ella L Adams. Canal st, n e cor South 5th av, 23.11x75.6x36.9x69.1; also Fulton st, No 122, s s. Oct 14, '99. 2,500
 Schawe, John C to Catherine Linde. 94th st, No 126 West. Filed and discharged Oct 17, '99. 7,500
 Stein, Conrad to Lawrence Bogart. Suffolk st, w s, 40 s Stanton st, 20x75. Oct 17, '99. 12,000
 Toucey, Donald B trustee to Lewis S Davis. 119th st, s e cor Lexington av, 33.3x100.11. Oct 16, '99. 4,900
 The Trustees of the Sailors Snug Harbor to The Mutual Life Ins Co. 3d av, e s, 62.2 s 76th st, 20x67. Oct 18, '99. 9,000
 Title Guarantee and Trust Co to Hudson City Savings Institution. Greenwich st, No 466. Oct 18, '99. 10,000
 Title Guarantee and Trust Co to Eliz A Benham. Fulton st, No 235. Oct 13, '99. 5,520
 Treanor, Patrick to Eva Wiese. Hester st, No 167. Oct 19, '99. 5,000
 Wysong, John J trustee to Regina Weinberg. Av A, w s, 52.2 n 77th st, 25x94. Oct 19, '99. 16,000
 Wheeler, Schuyler S guardian Richard S Wheeler to Schuyler S Wheeler admr Richard S Wheeler. Lenox av, s e cor 121st st, 21x 80. Oct 13, '99. 20,000
 Same as admr Richard S Wheeler to Schuyler S Wheeler. Same property. Oct 13, '99. 20,000
 Wheeler, Schuyler S to Amy Suttin. Same property. Oct 13, '99. 20,000
 Williamson, Ella to George Membach. 64th st, s s, 19 e Lexington av, 17x80.5. Oct 13, '99. 1,500
 Weil, Max to Rosy wife Arnold Kohn. 149th st, n s, 181 e Boulevard, 19x99.11. Oct 17, '99. 1,500

BOROUGH OF BRONX.

*Askey, Charles to Dimock & Fink Co. Main st, w s, 60 s Bay av, 40x75. Oct 13, '99. nom
 Burton, James W to Louisa I Bailey. Arthur av, e s, part lot 55 map land in Upper Morrisania, West Farms, 16.8x118.4x116.9x116.9. Oct 13, '99. consid omitted
 Bradley & Currier Co to Joseph Bauer. Elton av, e s, 50 s 157th st, old line, 25x—x—x126.6. Oct 17, '99. 3,500
 Bryant, Julia S to Carrie E Chivvis. Crotona pl, w s, 109.11 s 171st st, 25x100. Filed and discharged Oct 17, '99. nom
 Bjorkegren, Charles to M S Barnard. Ryer av, No 2049. Oct 16, '99. nom
 Connor, Gerald C to Samuel Dodge. Vanderbilt or Park av, e s, 150 n 174th st, 48x150.3x52x151. Oct 18, '99. 750
 *de Bussy, Mary J, Matilda Waters, Josephine Waters and Frances C Waters to North River Savings Bank. 4-5 part. Sawmill lane, n s, at w s road leading from Isaac Corsas land to Village Westchester, contains abt 53 acres; also road leading from Eastchester Village to Village Westchester, n w s, 1.748 s w Boston road, contains 4 22-100 acres. Oct 16, '99. 1,000
 *Dekens, Joseph to Stephen S Marshall extr Adelia Marlow. Harrison av, w s, 100 s McGraw av, 25x90. Oct 14, '99. nom
 Hardy, Elizabeth to Isabella Cantwell. Mott av, e s, 108.9 n 165th st, runs n 26 x e 87.9 x s 25.9 x w 12.6 x s 0.3 x w 75.3. Oct 19, '99. 500
 Morris, Henry L trustee of Mary M Ostrander, formerly Edwards, to Laura C Strong. Alexander av, e s, 75 n 142d st, 40x106.6. Oct 17, '99. 12,078
 Same to Harriet I Cruger. Waverly st, s s, 350 w Monroe av, 50x125. Oct 17, '99. 3,049
 Murphy, Mary E to Charlotte Hastorf. Interior lot, begins 50.2 s e Mapes av and 59th n e Tremont av, as widened, runs s e 25 x n e 103 x n w 25 x s w 103 to beginning. Oct 17, '99. 70
 Oliver, T Mason extr Jane Oliver to Marie Eichler. St Anns av, w s, 231.6 n Westchester av, new line, 50.3x89.10x50x85. Oct 13, '99. 2,000
 Purdy, R Anna to Geo E Edwards. Retreat av, s e cor Henry st, 50x 100. Oct 19, '99. 2,500
 Robitzcek, William to Charlotte Hastorf. Prospect av, w s, 87.3 s 169th st, 25x151. Oct 19, '99. 2,000
 Same to same. Prospect av, No 1331, w s, 112.3 s 169th st, runs w 151 x s 10 x w 8.4 x s 15 x e 160 to av x n 25. Oct 19, '99. 2,000
 Ramsdell, Chas F admr Benjamin Disbrow to Francis M Carpenter as County Treasurer Westchester Co. Assigns 4 morts. Cottage pl, e s, 169 n 170th st, 57x127x56x127; 80th st, s s, 207.1 w 2d av, 25.4x63.8x—x48.2; also property Queens Co. Oct 17, '99. 4,850
 Taubert, Wm H to Wm R Rose. 137th st, n s, 450 e Willis av, 87.6x 100. Oct 17, '99. 14,500
 Weill, Jacob to Simon Uhlfelder and Ferdinand Hecht. Union av, w s, 50 s 166th st, old line, runs s 100 x w 160 x e 10 x n 50 x e 90. Oct 17, '99. 2,250
 Weiss, Henry to Mary Ehrmann. 3d av, e s, abt 55.7 n 172d st, 150 x160. Oct 13, '99. 2,500

SATISFIED MORTGAGES.

NOTE.—The first name is that of the mortgagée; the second name is the mortgagor.

October 13, 14, 16, 17, 18, 19.

BOROUGH OF MANHATTAN.

	Amt.	Sec.	Li.	Page
Aldrich, Spencer to Harrie Buckley	60,000	4	10	450
Adler & Herman to Harris Goldberg	14,000	2	85	325
Same to same	13,500	2	86	267
Adler, Simon to Harris Goldberg	5,485	2	102	61
Adrian, Chas L to Tina Kidansky	2,500	1	46	427
Beekman, Cath L to George Kitching	17,500	4	83	70
Bernheimer & Schmid to Anton Rosner	800	3	76	175
Bernheim, Chas to Wheeler Powell	2,000	7	81	311

Bloomindale Bros to Grace Watt	7	45	50
Braham, Catherine to Robt J Lawless	6,000	3	70 14
Breit, Geo K to Cath Levit	500	5	37 140
Brooklyn Trust Co trustees to Liebmann Spier	2,500	5	17 367
Beck, Frederick to Isaac Mayer	3,300	6	78 266
Bloom, Rachel to Celia Cahen	1	1	44 280
Cohen, William to Everett MacKinstry	1,500	5	72 402
Citizens Savings Bank to Geo Sauter	7,000	8	3 224
City Real Estate Co to Robt B Snowden	1,000	8	19 215
Carmody, Bartholomew to John J Woolson	4,200	8	9 76
Cohen, Isaac to Isidor Levensohn	3,000	2	53 87
Continental Trust Co to Chas Brogan and E Meyer	53,925	7	93 457
Cotte, John B trustee to Simon Wolf	4	20	135
Cromwell, George to Edmund Bird	6	24	318
Dodd, Eliz F to Frank M Todd	6	62	371
Dressler, Carlotta to Olga A Kranisch	8,000	4	60 250
Davis, Henry H to Harris Klein	4,300	1	2 266
Dale, Eugene L to Geraldine McDurrie	3	32	435
Davis, John to Joseph F Doyle	9,600	3	69 170
Dempsey, James S to Jos Kennedy	1,200	1	49 199
Same to same	16,000	1	38 58
Douglass, Wm P to Edward Welckens	10,000	2	83 326
de Jonge, Solomon to Edwd N Marks	20,000	4	74 376
Excelsior Brewing Co to Nicholas T Mottole	2	96	115
Exr Saml S Constant to Francis M Meeske	9,000	6	23 144
Ewald, Andrew to Lucy A Quinn	4,000	4	56 177
Fassett, Amelia A to Fredk A Strong	7,000	1	43 449
Fennell, Patrick J to Michael O'Brien	2,500	5	40 428
Fitzgerald, Annie to Jucundus Schneider	7,000	3	33 34
Goldstein, Morris to Isaac Goldstein	7,500	1	19 136
Goddard, Fredk W to John J Brown	15,000	2	59 454
Same to Gottlieb M Karpas	4,500	2	97 477
Guenther, Ed to Ed P Guenther	3	71	368
Gahren, Auguste to Thomas McGuire	50,000	4	91 369
Same to same	27,000	4	89 198
Gerard, Jenny A to Charles Gahren	21,000	4	86 211
Gross, Saml L to Mary L Speirs	5	62	354
Same to same	5	62	357
German-Amer R E T G Co to Geo W Arthur	13,000	6	72 110
Hamilton Bank to Patrick H Lynch	12,000	7	107 78
Herrschaft, Frank L to Eva M Clifford	3,500	7	69 10
Hamerslag, Jos and David Oppenheimer to Samuel Quincy	27,000	7	105 408
Same to same	20,000	7	104 483
Same to same	40,000	7	106 20
Hertz, Wm to Julius C Metzger	4,000	4	82 488
Same to same	4,000	4	84 220
Hill, Theo W to Frances Kelly	6	82	390
Hassey, Emile A to Edw F Hassey	12,000	4	93 118
Heilner & Wolf to Ed Guenther	4,500	3	30 305
Home for Incurables to Jacob Messmer	14,000	4	70 283
Huston, Adam to Joseph F Doyle	2,400	3	74 259
Hassey, Anna to Magdalena Rutter	1,500	5	75 490
Jaretzki, Alfred to Josephine F Wolf	2,000	7	59 347
Johnston, Andrew to Josephine R Dunbar	800	8	13 417
Johnson, Chas A to Alfred W Franke	1,000	6	79 21
Same to same	1,000	6	79 19
Jencks, Francis M to Le Grand K Pettit	2,250	7	102 170
Jones, Thos W to Louis W Jones	43,000	2	82 26
Same to same	43,000	2	82 30
Krais, William to Adam Wagner	10,000	1	26 289
Kurzman, Ferdinand to Sophie Hoebberman	6,000	2	78 447
King, Sarah to Annie McKeon	15,000	6	24 467
Kingsland, Wm M trustee to Conrad Schloss	25,000	6	25 483
Kohn, Rosy to John E Scharsmith	1,500	8	16 281
Kinkeldey, Carl to Emma Fish	4,000	8	12 24
Same to same	4,000	8	20 140
Kneeland, Adele to Simon P Flannery	12,500	2	60 347
Koster, Emma C admr to Emma C Koster	10,000	2	55 467
Lauden, Edwd H to Robt L McNamara	7,000	5	35 488
Lilienthal, Lillie B to Herman Metzger	15,000	5	43 73
Linde, Catharine to John C Schawe	7,500	4	92 409
Levi, Joseph C to John Davis	9,400	3	66 442
Same to Joseph F Doyle	22,000	3	68 293
Same to same	2,350	3	75 123
Lippmann, Wm to Diedrick Knickmann	12,000	4	78 277
Laue, Isabel A to Joanna Ritterband	2,000	7	79 41
Mohlman, Louise C to Christina Kocher	40,072	2	86 209
Macauley, John to Catharina Bormann	200	5	42 47
Maier, Andrew to Clemens Muller	5	59	48
Marcus, Joseph S to Raphael Hurewitz	1	12	151
Millward, Bertha to Wm Rankin	6,000	7	97 209
Middlebrook, Frederic J to Pincus Lowenfeld and Wm Prager	1,000	2	88 170
Murray, Margt A to John Murray	2	42	231
Mutual Life Ins Co to Fredk H Walker	35,000	7	71 323
Metzger, Isaac to Thos J Jenkins	24,000	6	72 450
Metzger, Otto J to Francis J Schnugg	30,000	6	78 340
Same to same	4,000	6	85 99
Metzger, Bertha to same	3,000	6	79 353
Metzger, Otto J to Walter Reid	38,000	6	76 328
Mendel, Herman to Rachel Schweitzer	7,000	2	90 13
Middlebrook, Frederic J to Pincus Lowenfeld	10,000	2	91 69
Mordecai, Albert L to Charles Gahren	20,000	4	86 243
Muller, Rosa to Conrad Eckstrom	750	5	79 359
Mackay, Donald to Jas A McMillen	15,000	2	77 320
Mandelbaum & Lewine to Julius J Livingston	5,750	2	90 209
N Y Security & Trust Co to Jos J Schreiner	15,000	5	42 281
Neustadter, Henry to Christopher J Sullivan	50,000	4	47 242
Orr, Emma C to Hannah H Crowley	3,000	6	86 223
Padziwill, Princes Dolores to Rosa Cohen	11,000	3	18 466
Poppi, Vincent J to John Davis	8,000	3	65 240
Post, Mary A to Joseph Cobb	3	34	348
Putnam, Tarrant and ano extrs to Jos Boylston	9,000	3	4 108
Same to same	1,000	3	9 74
Perry, Wm A to Isidor Levensohn	13,000	2	26 491
Petrie, Albert W J to Louis Schworer	8,000	6	40 110
Radley, John J to Anton W Hoffmeyer	2,000	5	82 314
Rankin, William to John K McAfee	6,000	7	91 279
Rowehl, J Theodore to William Winerz	10,000	4	79 426
Ringler, Geo, Co to Jacob Hertz	5,000	2	98 376
Rothschiller, Sophie to Louis Lese	3,000	6	81 295
Robinson, Fanny M to Frank Yoran	1,855	8	1 385
Remsen, Charles to Louis Mendelson	31,000	1	39 166
Sonn, Hyman to Anna M Fischer	10,000	4	77 13
Stich, Rachel to Adolph Jacobs	6,500	2	4 375
Stevens, Henry to Neary McWalters	4,000	7	71 138
Shafer, Luther to Louisa Heidt	750	7	81 9
Stillwell, Nelson D to C Brogan and E Meyer	8,623	7	93 459
Schuck, Fredk to Gustav Wittenberg and ano	5,000	6	7 181
Same to same	5,000	6	7 177

Table listing mortgages in Manhattan with columns for name, amount, date, and page number.

BOROUGH OF BRONX.

Table listing mortgages in the Borough of Bronx with columns for name, amount, date, and page number.

Table listing mortgages in Manhattan with columns for name, amount, date, and page number.

PROJECTED BUILDINGS.

Have you taken space in the new Illustrated Building Laws? Standard publication for Architects, Engineers, Builders, Contractors, Material Dealers, Real Estate Owners. An office tool, in constant and permanent use. A card in it will enable you to talk every day to your customers and to possible customers. Incomparably superior to circulars. The most efficient form of advertising. All the big, wide-awake firms are securing space. The biggest thing ever issued. Do you want to get in? Sent a postal card for particulars. An unusual opportunity.

The first name is that of the owner; ar't stands for architect; m'n for mason; c'r for carpenter, and b'r for builder. When character of roof is not mentioned, it is to be understood that the roof is to be of tin.

BOROUGH OF MANHATTAN.

SOUTH OF 14TH STREET.

1527-10th st, No 53 E, 6-sty brk store and lofts, 28.10x84; cost, \$20,000; Samuel Sachs, 35 E 10th st; ar'ts, Schickel & Ditmars, 111 5th av. 1536-11th st, No 232 E, 4-sty brk and stone dwell'g, 65x22.4; cost, \$15,000; St Marks Church, Stuyvesant sq; ar't, S B Colt, 287 4th av. 1538-Water st, n w cor Dover st, 1-sty frame shed, 103x33, 51; cost, \$2,500; N Y Telephone Co, 15 Dey st; ar't, C L W Eidlitz, 1123 B'way. 1567-East Broadway, s e cor Catharine st, 8-sty and basement brk stores and lofts, 97.6x48.1, 48.5; cost, \$75,000; Lazarus Levy, 30 East Broadway; ar't, Fred Ebeling, 354 Grand st. 1568-Orchard st, No 49, 6-sty brk stable, 25x83.3; cost, \$25,000; Leopold Kaufmann, 2487 2d av; ar'ts, Schneider & Herter, 46 Bible House.

BETWEEN 14TH AND 59TH STREETS.

1530-33d st, Nos 109 and 111 W | 1-sty brk music hall, 18x197.6; 34th st, No 112 W | cost, \$53,000; Timothy D Sullivan, 126 E 14th st; ar't, M Bernstein, 245 Broadway. 1535-20th st, No 132 W, 6-sty and basement brk flat, 25x92; cost, \$28,500; A E Figor, 1123 Park av; ar't, G F Pelham, 503 5th av. 1549-37th st, No 146 E, 1-sty frame shed, 12.2x12.2; cost, \$60; Lorrillard estate, 3 Mercer st; ar't, C W Smith, 32 Park pl. 1554-22d st, No 24 E, 8-sty brk stores, offices and lofts, 25x88; cost, \$85,000; W H Stearns, 156 5th av; ar't, Chas A Rich, 35 Nassau st. 1558-Lexington av, s w cor 31st st, 5-sty brk flat, 19.9x58.10, 64; cost, \$7,500; Isaac Davidson, 136 E 82d st; ar'ts, S B Ogden & Co, 954 Lexington av. 1569-1st av, e s block, bet 26th and 28th sts, two 1-sty brk coal and ash pockets, 28, 49x31, 55; total cost, \$10,000; City of N Y; ar'ts, Horgan & Slattery, 1 Madison av. 1570-41st st, Nos 107 to 117 W | 6-sty brk and stone lofts and stores, 42d st, Nos 112 and 114 W | 50x198.6; cost, \$300,000; Alexander J Halter, 42 E 41st st; ar'ts, Flemer & Koehler, 11 Broadway.

BETWEEN 59TH AND 125TH STREETS, EAST OF 5TH AVENUE.

1555-74th st, s s, 150 W Av A, two 6-sty brk flats and stores, 25x 90.6; total cost, \$75,000; Jos Weiss, 84 Bedford st; ar'ts, Moore & Landsiedel, 2861 3d av. 59TH & 125TH STS., WEST OF CENTRAL PARK WEST AND 8TH AVE. 1540-8th av, n w cor 118th st, two 5-sty brk flats and stores, 25, 25.5x84.2, 95; total cost, \$49,000; Daniel Hennesy, 799 Madison av; ar'ts, Neville & Bage, 217 W 125th st. 1551-West End av, n w cor 79th st, 7-sty brk flat, 102.2x95; cost, \$225,000; A D Hyde, 308 W 51st st; ar't, C Steinmetz, 60 Liberty st. 1560-Morningside av, n e cor 115th st, 6-sty brk flat, 118.9x75.8, 138.3; cost, \$170,000; A W Mott, 309 W 117th st; ar't, W O Tait, 1238 Madison av. 1562-Central Park West, n w cor 92d st, 7-sty brk flat, 75.5x120; cost, \$200,000; J V Signell, 250 W 116th st; ar'ts, Neville & Bage, 217 W 125th st.

NORTH OF 125TH STREET.

1534-138th st, n s, 178 e 7th av | twenty 5-sty brk flats, 26x85; total 139th st, s s, 178 e 7th av | cost, \$550,000; Dorethea Werbel, 605 e 142d st; ar't, Edw Wenz, 1491 3d av. 1559-Spuyten Duyvil Parkway, s w cor 230th st, 1 1/2-sty frame stable, 26x18; cost, \$800; J A Berrian, on premises; ar't and b'r, S L Berrian, Kingsbridge.

BOROUGH OF BRONX.

1528-Rosedale av, w s, 200 s Merrill st, 2-sty frame dwell'g, 18x28, 39; cost, \$3,500; Louise E Hunsburger, Mapes estate; ar't, B Ebeling, Mapes estate. 1529-Minniford av, w s, 131 n Bridge st, City Island, 2-sty frame hotel and dwell'g, 28, 35x34, 46.6; cost, \$4,800; J C Dickson, on premises; ar't, same as last.

The following satisfied mortgages refer to the old libers and pages, previous to January, 1891, when the lot block system went into force:

Table listing satisfied mortgages with columns for name, amount, liber, and page number.

1531—Schuyler pl, n w cor Marrin st, 3-sty frame flat and store, 25x48; cost, \$3,500; E E & R Doty, 215 E 81st st; ar't, S S Sugar, 189 Broadway.

1532—Same property. 1-sty frame shed, 27.9x12; cost, \$50; ow'r and ar't, same as last.

1533—Union av, e s, 76 s Home st, eight 3-sty frame tenem'ts, 18.9x57; cost, \$4,000 each; Chas Peterson, 871 Brook av; ar'ts, L & J Brandt, 250 W 116th st.

1537—1st st, e s, 300 n 20th av, Wakefield, 1-sty frame coal shed, 100x48; cost, \$1,000; John Schrader, on premises; ar't, T W Ringrose, 142d st and 3d av.

1539—Crotona av, e s, 25 s 180th st, two 3-sty frame flats and stores, 20x54; total cost, \$9,000; Pirk & Diamond, 55 Crotona Park North; ar't, L A Soule, 593 Ford st.

1541—Fulton av, w s, 84.9 s 170th st, two 3-sty frame flats, 20x70; total cost, \$16,000; E M Bowmen, 1044 E 169th st; ar'ts, Hunter & Murgatroyd, 1046 E 169th st.

1542—Itiner pl, n w cor Park av, four 3-sty frame flats, 20x64; total cost, \$24,000; C H Rogers, 711 Tremont av; ar't, F Jaeger, 778 Tremont av.

1543—Same property, 3-sty frame flat, 22x64, 85; cost, \$7,000; ow'r and ar't, same as last.

1544—Kelly st, e s, 400 n Craven st, two 3-sty brk flats, 21x57; total cost, \$16,000; G F Johnson & Son, 156th st and Dawson st; ar't, W C Dickerson, 149th st and 3d av.

1545—Kelly st, e s, 100 n Craven st, two 3-sty brk flats, 21x57; total cost, \$16,000; ow'r and ar't, same as last.

1546—Kelly st, e s, 350 n Craven st, two 2-sty brk dwell'gs, 20x57; total cost, \$12,000; ow'r and ar't, same as last.

1547—Kelly st, e s, 150 n Craven st, two 2-sty brk dwell'gs, 20x57; total cost, \$12,000; ow'r and ar't, same as last.

1548—Kelly st, e s, 200 n Craven st, six 2-sty and basement brk flats, 20x43; total cost, \$30,000; ow'r and ar't, same as last.

1550—168th st, s s, 89 e Union av, five 3-sty frame flats, 20.6x58; total cost, \$30,000; Wm Robitzek, 1333 Prospect av; ar't, Louis C Vanecek, 3269 3d av.

1552—Prospect av, e s, 105.6 n Freeman st, two 2-sty brk and frame dwell'gs, 21x42; total cost, \$10,000; C H Thornton, 571 E 180th st; ar't, W C Dickerson, 534 Willis av.

1553—Prospect av, e s, 156 n Freeman st, two 2-sty brk and frame dwell'gs, 21x56; total cost, \$10,000; ow'r and ar't, same as last.

1556—149th st, n s, 120.3 e Morris av, two 5-sty brk flats, 25x60.6; total cost, \$38,000; R Avolone, 457 E 151st st; ar'ts, Moore & Landstedel, 2861 3d av.

1557—Anthony av, w s, 190 s Garfield st, 2 1/2-sty frame dwell'g, 24.6x24; cost, \$1,200; Mrs A Margri, 748 Summit st; ar't, F D Miller, Bedford Park.

1561—142d st, s s, 100 e Alexander av, 1-sty frame shed, 16x50; cost, \$200; Central Union Gas Co, 350 Alexander av; ar't, H S Ihnen, 3 W 29th st.

1563—Valentine av, e s, 25 s 181st st, 2-sty frame dwell'g, 21.6x52; cost, \$4,000; H & A Ericson, 181st st and Valentine av; ar't, Wm H Hopkins, 1030 E 169th st.

1564—Cauldwell av, n e cor Cedar pl, three 3-sty frame flats, 18.4x62, 69; total cost, \$21,500; Wm Ebeling, Jr, on premises; ar't, S J Best, 816 Eagle av.

1565—Fox st, e s, 150 n Home st, 2-sty frame dwell'gs, 21x54; cost, \$4,000; T F O'Connor, 1156 Home st; ar't, Neils Toelberg, Home st and Southern Boulevard.

1566—Vyse st, w s, 191.4 n Home st, four 2-sty frame dwell'gs, 18.9x47; total cost, \$12,000; Cath T Hooks, 1204 Park av; ar't, same as last.

1571—Lind av, e s, 360.11 s Union pl, 2-sty frame stable, 34x21; cost, \$600; Thos Miller, 106 W 51st st; ar't, A V Porter, 621 Broadway.

1572—Prospect av, e s, 150 s Marcy pl, 2-sty frame dwell'g, 20x46; cost, \$3,000; ow'r and ar't, Anthony F A Schmitt, 606 Courtlandt av.

ALTERATIONS.

BOROUGH OF MANHATTAN.

2340—33d st, No 142 E, raise buildings; cost, \$400; Chas L Allen et al, 27 W 33d st; ar'ts, Farnsworth & Miller, 111 Nassau st.

2341—Division st, Nos 22 and 24, new show windows; cost, \$100; J S Barclay, 41 Liberty st; ar't, Wm Boyd, 561 Hudson st.

2342—West Broadway, Nos 468 to 472, general interior alterations; cost, \$2,000; Mrs L B Marvin, 39 W 49th st; ar't, F E Idell, 26 Cortlandt st.

2343—Broadway, Nos 408 and 410, new door; cost, \$1,000; Mrs Josephine Brooks, 1 E 45th st; ar'ts, Lienau & Nash, 64 Cedar st.

2344—3d av, s e cor 63d st, 1-sty extension, 14x19; cost, \$3,000; Peter Doelger, 407 E 55th st; ar't, Chas Stegmayer, 306 E 82d st.

2346—2d av, No 869, new vent shaft; cost, \$1,000; Philipp Koehler, 152d st and Melrose av; ar't, M J Garvin, 3307 3d av.

2347—Lexington av, n w cor 123d st, new store front; cost, \$265; Elizabeth Nagle, 137 E 123d st; ar't, J E Poole.

2349—12th av, 42d to 43d st, general alterations; cost, \$10,000; Metropolitan St Rwy Co, 621 Broadway; ar't, A V Porter, 621 Broadway.

2350—Front st, No 353, raise buildings; cost, \$2,500; John Simmons & Co, 106 Centre st; ar'ts, Dodge & Morrison, 41 Wall st.

JUDGMENTS.

In these lists of judgments the names alphabetically arranged and which are first on each line, are those of the judgment debtor. The letter (D) means judgment for deficiency. (*) means not summoned. (†) signifies that the first name is fictitious, real name being unknown. Judgments entered during the week and satisfied before day of publication, do not appear in this column, but in the list of Satisfied Judgments.

Oct.	
16 Alexander, Wm P—F E Burrows	358.98
16 Andress, Chas W—J Schreyer	957.35
16 the same—the same	556.52
16 the same—Phoenix Electric Telephone Co	53.11
16 Appellmann, Anton—People, &c, N Y.	200.00
17 Ames, Paul K—J A Freeland	974.51
17 Allen, Fredk H—G M Miller trustee.	(D) 1,284.78
19 Abrew, Forest G—Wm F Conklin.	122.20
20 Anderson, Gustave A—W McDonagh.	108.64
20 Aschenbrenner, Charlotte and William—C Samuels and ano.	223.46
14 Berkowitz, Abraham—D Lippmann.	379.32
14 Borden, Matthew S—J Addison	209.99
14 Bottjer, Chas A—F F Lowenfels	348.08
16 Bell, Mary E—Wm E D Stokes	769.14
16 Blauvelt, Harry R—E F Schiess	280.93
16 Balze, Paul—Jacob Niederer Benevolent Assoc	203.92

17 Blandin, Chas F, Wm J Burns and Clarence F Betts—J A Freeland	974.51
17 Bunyard, Harry A—I P Roosa	173.11
17 Bell, Mary E—Wm E D Stokes	769.14
17 Barashick, Abraham—The H B Claffin Co	284.77
17 Bottomley, Sophie D—A Goettmann trustee.	3,616.41
17 Berry, Oliver F—E L Conant (D)	1,264.78
17* Baier, John A—F E Russell	175.62
18 Bossange, George—Mary King	160.34
18 Benjamin, Wm H, Jr—F W Livermore	117.30
18 Behan, Fannie—Nannie Nelson by guard.	594.14
18 Bohlman, Herman J—H J Kumberger et al.	57.32
19 Berger, Meyer—I Weichselbaum	176.22
19 Booth, Daniel O—E D Dewep et al, exrs, &c.	77.00
19 Bliss, John N—C V Schoonmaker	122.92
19 Bright, Edward—Margaret Ryan, as extrx, &c.	138.46
19 Betram, Joseph—J F Betz.	Costs 12.72
19 Baumgart, Carl—The Bronx Co.	108.77
19 Bladworth, Geo H—Wm P Goodman	455.38
20 Buel, Walter F and Arthur—E S Campbell as receiver, &c.	3,106.98
20 Buel, Arthur—the same	2,046.97
14 Clark, Thos J—S A Silliman	269.35
14 Curtin, Anna M—J McMorrough and ano.	100.00
16 Cohen, Ralph—Eureka Silk Co	50.00

2351—3d av, No 922, new store front; cost, \$1,000; Ann E Reilly, 59 Sutton pl; ar't, Bruno W Berger, 121 Bible House.

2352—39th st, Nos 338 to 342 E, well hole cut; cost, \$100; J B Bloomingdale, 11 E 67th st; ar't, J Butler, 22 E 42d st.

2353—37th st, No 400 W, alter interior; cost, \$600; Sara J Keene, on premises.

2356—Madison av, No 154, remove partition; cost, \$100; F E Isham, 33 Wall st; ar't, Chas H Fox, 443 W 24th st.

2357—Front st, No 227, raise building; cost, \$1,000; estate Maria A Schermerhorn, 1286 Broadway; ar'ts, Haas & Fried, 21 Clinton pl.

2358—Broadway, n e cor Worth st, alter dumb waiter; cost, \$1,000; C H Bliss; ar't, W A Conover, 253 Broadway.

2359—28th st, No 7 W, new show window; cost, \$500; Christian Klackner, on premises; ar't, John H Verbach, 160 5th av; b'rs, Keneck & Healy, 1926 Fulton av.

2360—185th st, No 208 W, alter basement; cost, \$500; Julia E Stothers, 508 W 185th st; ar't, Ward Cunningham, 146th st and 3d av.

2361—Franklin st, Nos 195 and 197, floors straightened; cost, \$1,300; estate Holmes & Coultts, 15 Beekman st; ar't, G B White, 511 W 14th st; b'r, Hugh Getty, 274 9th av.

2362—Cliff st, Nos 92 to 98, new elevators; cost, \$3,000; Jos Hecht, 44 E 68th st; ar't, Geo W Walgrave, 42 E 23d st; b'r, J J O'Keefe, 33 Ferry st.

2363—Lexington av, No 140, alter interior; cost, \$8,000; Jos Oussani, 118 E 31st st; ar'ts, L Berger & Co, 141 Broadway.

2365—Willetts st, No 45, wall taken out; cost, \$350; L Y Ring, 21 W 88th st; ar't, Max Muller, 21 Centre st.

2366—5th av, No 246, new partitions; cost, \$4,500; Union Trust Co trustee M Stevens estate, 80 Broadway; ar't, Clarence True, 2291 Bway.

2367—Madison av, No 127, 1-sty brk extension, 14.8x12.8; cost, \$500; Woodbury Langdon, 108 Worth st; ar't, Wm H Birkmire, 396 Bway.

2369—6th av, No 102, new oven; cost, \$2,500; Chas Percival, 22 E 10th st; ar't, Chas A Blenus, 216 W 34th st.

2373—37th st, No 439 W, new store front; cost, \$150; John Egner, 209 W 64th st; ar't, Jas W Cole, 403 W 51st st.

2374—Orchard st, No 174, 1-sty and basement stone extension, 11x30; cost, \$2,000; Joe Kostenbaum, 245 E 104th st; ar't, Fred Ebling, 354 Grand st.

2375—St Nicholas av, e s, 25 s 124th st, alter door and new girder; cost, \$500; Manhattan Delivery Co, 59 Broadway; ar't, Gilbert Robinson, 215 W 125th st.

2376—2d av, No 2259, 2-sty extension, 21.6x28.6; cost, \$2,500; Jacob Meyer, 29 E 63d st; ar't, John B Brazier, 106 E 23d st.

2377—Washington st, n w cor Little West 12th st, engine pits; cost, \$500; Wm Waldorf Astor estate, 21 W 26th st; ar't, Frank A Rooke, 489 5th av.

2379—65th st, No 130 E, 1-sty extension, 20x12; cost, \$300; Ella J Breckenridge, 2 Teasdale pl; ar'ts, Sass & Smallheiser, 23 Park row.

2380—26th st, No 120 W, alter partition; cost, \$500; Geo Rothenberger, 120 W 26th st; ar't, same as last.

2381—Broadway, Nos 427 and 429, alter floors; cost, \$20,000; estate J N Hayward, 254 West 103d st; ar't, B L Gilbert, 50 Broadway.

2382—Madison av, No 1289, 2-sty extension, 10x13.2; cost, \$375; John Laimbeer, 239 W 50th st; ar't, L C Holden, 1133 Broadway; b'r, the owner.

2383—Park av, w s, 25.5 s 49th st, change partitions; cost, \$500; N Y C & H R R Co, Grand Central Depot; ar't, Geo A Nichols, same address.

2384—114th st, Nos 407 and 409 E, 1-sty extension, 15x10; cost, \$60; Henry Peach, 24 West 16th st; ar't, Oswald B Franz, 324 East 49th st.

2385—8th av, s e cor 50th st, general alterations; cost, \$6,000; Metropolitan St Ry Co, 621 Broadway; ar't, A V Porter, 621 Broadway.

BOROUGH OF BRONX.

2345—Crotona Park East, e s, 156.3 s Suburban pl, new window; cost, \$150; Mrs Auguste Vogel, on premises; ar't, Henry F Ehrhardt, Croton Park East.	
2348—Summit av, e s, 175 s 162d st, 1-sty brk extension, 18x14; cost, \$350; Annie E Thomas, on premises; ar't, Marshall R Grimes, 621 Broadway.	
2354—Bathgate av, No 1980, new partition; cost, \$800; Fred Schultz, on premises; ar't, J E Kerby, 722 Tremont av.	
2355—175th st, s s, 140 e Clinton av, raise building; cost, \$1,000; J P O'Donnell, 2003 Washington av; ar't, same as last.	
2364—Cauldwell av, n w cor Cedar pl, bay window; cost, \$500; Wm H Ebeling, Jr, on premises; ar't, Saml J Best, 816 Eagle av.	
2368—Bathgate av, No 1972, new windows; cost, \$275; Thos J Brewer, on premises; ar't, Arthur Boehmer, 751 Tremont av.	
2370—Robbins av, No 566, move building; cost, \$700; John Stelbuszeski, on premises; ar't, Chris F Lohse, 906 Westchester av.	
2371—Washington av, n e cor 163d st, 1-sty extension, 42.3x30.2; cost, \$8,000; Richard Wewer, 940 Washington av; ar't, F J Miller, 990 Brook av.	
2372—3d av, s w cor 174th st, 1-sty stone extension, 25x5; cost, \$500; Warren estate, on premises; ar't, Rudolf Werner, 3d and Wenderover avs.	
2378—134th st, No 457 E, buildings raised; cost, \$1,000; John H Scardfield, on premises; ar't, L Falk, 146th st and 3d av.	
16 Chaffee, Harry—M A Collieran	530.30
16 Coffin, Frederic R—Germania Life Ins Co	50.00
16 Colangelo, Luigi—J Dahlmeyer	427.98
17 Coe, Wm R—D Willis James	62.14
17 Clapp, John H—J N Stearns	212.84
17 Carr, Mamie—A Brucker	489.87
17 Chapman, Arthur C—C L Lutkins	61.79
17 Cummings, Chas W—Sullivan Bros	67.08
17 Clement, Theresa—Aspell & Co	85.75
17 Coleman, Patrick—N Y Breweries Co (Lim)	176.57
18 Cronson, Bertha—M I Bayer et al.	451.08
18 Chochoal, Thos K—H Jurkens	30 & Bor-
18 Cook, Geo H—T Donlon	117.17
18 Crandall, Dellmer—Wm B Ryan	50.75
18 Collucci, John and Nicoll Joseph Hollerith and Richard & Co	54.3x
18 Callan, Mary—T Morgan	60.79
19 Colton, John—E W Murgatroyd John F O'Leary and	166th st, 100x100. New-
19 Culbertson, John Hney	325.00
19 Cowan, Michael n w cor 117th st, 103.11x210. | and W A K	60x100
19 Carberry, J A Lower agt J C and Lawrence E	53.37
19 Clarke, Central Park West, No 293, w s, 75.8 n 89th	100x100. Wolf Lundin agt Marie Goss, 13.75
20 Burnside av, n e cor Ryer av, 113x103. Chris-	540.51
20 tian W Petersen agt Thomas Morgan, 540.51	13th st, Nos 65 and 67, n s, 260 e Lenox av,
20 Albert	50x100. David Saron agt Mary F Connors
20 Albert	84.70

- 16 Densmore, Emmet and Helen—G M Hard. costs 41.55
- 16 di Moise, Regolo—People, & C. N. Y. 200.00
- 17 Disselke, John N, Max Dryander and William Daynes—J A Freeland 974.51
- 17 De Baun, Wm S—A Quackenbush 114.32
- 18 Deutsch, Chas K—E P Wanner 257.58
- 18 De Feldon, Rudolph F—A Powell and ano. 1,045.68
- 18 Davis, Lena—R Kolb 599.85
- 18 Dunbar, Geo W—Merchants Nat Bank 102.08
- 19 Di Maria, Peter—M Neufeld and ano. 18.00
- 20 Dougherty, James—G T Krahnstover 138.09
- 20 the same—the same 137.03
- 20 D'Amico, Raphael—I C Reina 278.90
- 20 Donohue, *John and †Robert Davis—Aspell & Co. 225.14
- 20 Delancey, Wm H—T Lockitt, exr, & C. 2,662.47
- 20 Dillehner, Alphonse—M Thomasmeyer. 5,387.07
- 14 Edler, James M—J McAllister 321.17
- 20 Eisenstein, Julius D—H B Claffin Co. 1,334.27
- 17 Emmons, James G—J A Freeland 974.51
- 17 Eickhoff, Anthony—E L Patterson 281.23
- 17 the same—J & M Fischer 1,305.60
- 17 Eldert, Albert H—National Casket Co. 312.58
- 17 the same—the same 722.67
- 18 Evans, Morris—Eastern Hydraulic Press Brick Co 274.35
- 14 Fransoli, Augustus C—N Y Press Co. 52.14
- 16 Fishman, Morris—F Pfeiffer. costs 68.24
- 16 Fox, Walter—Twenty-third Ward Bank. 616.95
- 16 Frolick, Wilfred G—A A Vantine & Co. 142.76
- 16 Friedrich, William and Morris Fox—W H Schnitzer 304.68
- 16 Fleischman, Wm N—A H Kaffenburgh. 201.41
- 16 Ferrell, Frank J—City Trust, Safe Deposit and Surety Co of Philadelphia 629.01
- 17 Fenton, Edwin J, Frank J Finley and Curt C Felker—J A Freeland 974.51
- 17 Finley, Ernest H—N Y Printing Co 29.22
- 17 Fichter, Herman as Manager—T W Weisman 1,240.72
- 17 Finnegan, Helen M—J Alexander. 174.44
- 18 Fremont, Frank M—S G Patterson. 319.56
- 19 Fels, Louis—S Messer. costs 30.22
- 15 Fox, Walter—A Niewohner and ano. 485.46
- 20 Fontham, Chas F—American Boiler Co. 103.20
- 20 Fish, Simeon G—The People of the State of N Y 2,000.00
- 20 Friedeman, Theo E—Bulmer Stationery & Ptg Co. 85.28
- 16 Gatti, Carmine—G J Bryan 18.22
- 16 Gwynne, Thomas—J Rowland 217.34
- 17 Grundy, Arthur and Edwd J Gavegan—J A Freeland 974.51
- 17 Gildersleeve, George—First Nat Bank of Yonkers 180.71
- 17 Greenberg, Meyer—A E Lippman 30.59
- 17 Gregory, Mary and Margaret—The Gutta Percha and Rubber Mfg Co. 45.86
- 18 Goodson, Robert—N Y Times Co. 150.82
- 19 Gorman, Kate and Charles—Gansevoort Bank 413.46
- 20 Galligan, Thos P—J Burns. 125.06
- 20 Greenbaum, Samuel—Joseph Bleier 31.22
- 14 Hollenbeck, John W—W A Hulse 48.86
- 14 Heckley, Agnes K—J F Mooney 352.05
- 14 the same—J Edwards 502.03
- 16 Hesse, Lina—H Oberscheimer 1,765.42
- 16 Hamilton, Jane D—The Morning Journal Assoc 19.99
- 16 Hawks, Mary B—G Haseltine. costs 127.81
- 16 Hickok, Wm P—C D Wright 57.23
- 16 Hendler, Moritz—People, & C. N. Y. 4,000.00
- 17 Hall, Frank W and Fred A Hendrik—J A Freeland 974.51
- 17 Hayek, Francis, Jr, and Louis—J & M Fischer 1,305.60
- 17 the same—E L Patterson 281.23
- 17 Herold, Mark—J M Bleyer et al 26.72
- 17 Haffenden, Myles R—C Byers 1,175.81
- 17 Harbert, Margaret—Fidelity Insurance Trust and Safe Deposit Co. 309.32
- 17 Hoyt, Chas E—Steel Box Band Co (Lim) 182.13
- 17 Hennessy, Arthur—W C Ilsley 495.52
- 17 Herman, Maggie—Consolidated Gas Co. 55.23
- 17 Hill, Valentine J—F E Russell 160.34
- 18 Hart, John and Catherine—T Kelly 32.72
- 18 Hayward, Frederick—A J Givens. 175.62
- 18 Hassissian, Hovagiune—J Nazarian. 61.67
- 18 Hughes, Chas D—Wm H Mairs 304.06
- 18 Hooper, Wm A—R B Gray 88.44
- 18 Hellbach, Edward—Equitable General Providing Co 44.62
- 18 Hanks, Edmund—J L Obeig 92.22
- 18 Hume, Henry J—W L Morehouse 81.07
- 19 Honig, Wolf—I Weichselbaum 176.22
- 19 Hanz, Wm A—Sam Block 144.15
- 19 Henrich, Conrad—Flood & Conklin Co. 44.67
- 19 Henschel, Harris—A I & F Picker 233.16
- 19 Hatch, Sarah A—L Baumann 287.71
- 19 Hertzberg, Hugo—William Cabbie Excelsior Wire Mfg Co. and ano. costs 38.61
- 19 Hessemann, Martin—H Huckfeld. 108.39
- 19 Harrison, Louis—F A Messinger 478.42
- 20 Hettrick, Matthew—Kate Howel, as admrx, & C. 515.30
- 16 Ingersoll, James H—C L Weston 165.21
- 17 Indelli, Giacinto—M Bacci & Co 358.80
- 16 Johnson, Wm E—J Miller 515.22
- 16 Junge, William—A Bernheimer 69.15
- 17 Jacob, Belle M—Gutta Percha and Rubber Mfg Co. 45.86
- 19 Jordan, Kate—C A Spalding 95.73
- 19 Josefs, Bernard—C H Labouchere et al. 3,614.71
- 20 Jungheerchen, Henry and †Mary—Frederick A Clark and ano 1,792.83
- 14 Kasnowitz, Max—M H Beers et al exrs, & C. 146.79
- 14 Kellard, Mary J—Wm A Glover. costs 76.04
- 14 Kneeland, Sylvester H—F W Hunnewell and ano as trustees, & C. 663.96
- 16 Knopp, John E—R Frank & Co. 40.78
- 16 Kessler, Nicolaus—W H Schmoehl 874.03
- 16 Keller, Henry—Henry and Hyman Sonn. 248.88
- 16 Kelly, Robert—T W Morris et al. 186.90
- 17 Katz, Joseph—H Freedman 125.97
- 17 Kehlbeck, James J—J A Freeland 974.51
- 17 Kern, Mamie—J Schwab. costs 21.82
- 18 Krupp, Samuel—B Kapian 27.16
- 18 Keeler, David B, Jr—O Thrill 29.36
- 18 Kohring, Rebecca—United Electric Light & Power Co 189.91
- 18 Kane, Frank K—L Norman 130.97
- 19 Kattenstroth, Frank—N Y Life Ins Co. 183.45
- 20 Kilpatrick, Julia A S exr, & C—H & B Volkening. costs 137.95
- 20 Kornfeld, Frederick and Ignatz—H L Judd & Co. 152.29
- 20 Kendall, John E—S S Smith, as receiver, & C. 1,403.75
- 20 Kooperberg, Celia—W Schuster. costs 23.74
- 20 Kooperberg, Jacob—the same. costs 23.74
- 14 Lewis, Benjamin—M H Beers et al exrs, & C. 146.79
- 14 Liess, Charles—C Kaufmann 373.29
- 16 Lowenstein, Abraham—N A De Forest 86.22
- 16 Latano, Michael—J Dahlmeyer 62.14
- 16 Lachmund, Chas F—J T Lee 236.10
- 17 Lederman, Samuel—E P Paulding et al trustees, & C. 388.34
- 17 Lansing, Isaac W—J B Potter 189.72
- 17 La Veil, Mamie—A Brucker 61.79
- 17 Long, Emma W—W R Oglesby 186.23
- 17 Luger, Jacob J—L Lehman 172.17
- 17 Levin, Joseph—E Lowinson. (D) 5,958.39
- 18 Linter, Adolph—P Pinkert 145.00
- 18 Lowther, John R—P H Sheehy 105.29
- 18 Long, Helen M—H S Bartonyl 113.17
- 18 Linde, William—L E Kull 89.72
- 19 Lutjens, Louis—23d Ward Bank 305.30
- 19 Link, G Henry—B Voss 402.99
- 19 Long, Hiram H—H M Long 3,000.00
- 20 Levy, Louis—G A Brockway 394.20
- 20 Lane, James A—A Bleckner 54.17
- 20 Lawrence, Joseph B—W E Delaberre 34.20
- 14 Moore, Edward—I N Burdick 33.51
- 14 Malowisky, Max—D Lippmann 379.32
- 14 Mahoney, John—J T and J E Claffy 259.42
- 14 Mitchell, Hubbard D—W J Goodwin 87.54
- 16 Miller, Charles—J M Stoddard Co (Lim) 146.10
- 16 Mitchell, Chas R—J Schreyer 556.52
- 16 the same—the same 957.35
- 16 Muhliker, Arthur G—J A Philbrick 201.30
- 16 Miller, Wm H—L Kahner & Co 120.89
- 16 Morton, Geo N—F E Burrows 478.28
- 16 Muller, Peter as assignee, & C—P Coleman. costs 10.00
- 16 Macgowan, Denton E—C L Weston 165.21
- 16 Mela, Ferdinand H—J R Taber. 1,856.99
- 16 Mitchell, Chas R—Phoenix Electric Telephone Co 53.11
- 16 Manheim, Isidor—People, & C. N. Y. 5,000.00
- 17 Morgenthau, Otto J—United Electric Light and Power Co 13.50
- 17 Mathieu, Louis L, Wm I Martin and Geo C Moog—J A Freeland 974.51
- 17 Mattone, Agostino—M Bacci & Co 358.80
- 17 Moore, Wm J as Manager—T W Weisman. 1,240.72
- 17 Mason, John—M F Weigley 216.53
- 17 Morris, Peter H—A A Chatain exr, & C. 399.73
- 17 Moulds, Thomas—Consolidated Gas Co. 314.30
- 17 Muhlstun, Adolph—Consolidated Gas Co 144.95
- 17 Malloy, Richard J—the same 33.51
- 17 Milbury, Edwd G—K Clokey admr, & C. 1,241.10
- 17 Meade, Roma M—J J McBride 321.00
- 18 Meehan, John—A S Nichols 127.88
- 18 Merrill, Freeman—A J Givens 39.22
- 18 Miller, Nathaniel H—W R Fry 1,755.33
- 18 Mott, Albert W—H G Lohman 830.25
- 18 Miller, Jacob G and Mary J L—Wm V Morgan 280.41
- 18 Matousch, Joseph—L Barth 165.51
- 18 Moore, Rittenhouse—The International Contracting Co 271.62
- 18 Marks, Morris—L Helman 175.19
- 19 Marx, Moses—J & B Marshall 288.16
- 19 Minciarsky, Sulivsky F—T Janicke 33.00
- 19 Martin, Lawrence—V & C Nessel 532.05
- 19 Mason, John—W H Powell 62.70
- 19 Myers, David C—T Hayes et al 513.37
- 20 Martin, Smythe—C Danricourt 318.79
- 20 Mengis, Michael C—Aspell & Co. 464.14
- 20 Merritt, Frank W—The Edward P Allis Co. 1,457.88
- 16 McKibbin, John G—E A McClelland 373.92
- 16 McCormick, William—G E Bradshaw. 114.37
- 17 McCahill, Peter B—Manhattan Electric Light Co 1,873.20
- 17 McElvaney, James—N Y Breweries Co (Lim) 495.36
- 18 McIntosh, Mary A—C S Liebeskind 122.38
- 14 Newland, David J—F G Faxon. costs 280.03
- 17 Neville, Mathew F—J A Freeland 974.51
- 18 Nevins, Hugh C—L Norman 130.97
- 19 Newbold, Warren S—F C Goffe 3,700.84
- 18 Oberkirch, Frank—Edward Thompson Co. 112.16
- 18 O'Shea, James—M Rosenfeld et al 389.93
- 18 Oliver, John—J T Williams 212.22
- 19 O'Shea, Patrick—C Wolfe and ano. 233.24
- 20 Orcutt, Edwin B—G T Krahnstover 138.09
- 14 Puetz, William—M Edelblum 117.82
- 16 Peterson, Peter and Ernest Plath—People, & C. N. Y. 2,000.00
- 16 the same—the same 1,000.00
- 16 Port, George—the same 4,000.00
- 17 Paura, Raphael—M Bacci & Co. 358.80
- 17 Pettit, Chas G—S S Beard & Co 85.99
- 17 Pickhardt, Emile B—R W Cumming 1,545.63
- 17 Permansky, Max—B and L Nieberg 524.21
- 19 Praeger, Carl L—Cable & Lucas 607.35
- 19 Padula, Frank—C Nessel 522.05
- 19 Pickhardt, Emile B—T W Myers 2,141.30
- 19 the same—the same 703.93
- 19 Pohly, Chas S—T Hayes et al 513.37
- 19 Powell, Caroline E—F H Leggett & Co. 152.41
- 20 Pincus, Abraham—Metropolitan Bicycling Co. 55.14
- 20 Pagnod, Arthur—L D Angelo 33.49
- 20 Paige, David R—Commercial National Bank of Cleveland, O. 2,612.05
- 20 the same—the same 5,310.42
- 20 the same—the same 5,469.48
- 20 the same—the same 5,026.55
- 20 Pearsall, Wallace S—E S Campbell, receiver, & C. 310.35
- 14 Reimer, Harry and Barnet—†R Schnapman. 137.50
- 16 Rothschild, Theodore—J Bohm 259.24
- 16 Rosenfeld, Adolph—People, & C. N. Y. 1,000.00
- 16 Raynor, Julius—J O Lefler 86.20
- 16 Restel, Joseph—Jacob Niederer Benevolent Assoc 203.92
- 17 Ryan, John J—J A Freeland 974.51
- 17 Rogers, Ulysses G—E K Sumnerwell 293.73
- 17 Riemer, Harry L—H A Caeser 200.21
- 18 Riley, Michael J—A S Nichols 127.88
- 18 Rittweiler, Joseph—Excelsior Varnish Works 28.97
- 18 Riley, Matthew F—W T Hookey 162.25
- 18 Riley, Edwd F—W L Morehouse 81.07
- 18 Redpath, Olive—H Schatzel 38.07
- 19 Rae, Evanna—E Schaefer and ano, exr, & C. 130.61
- 19 Rasines, Antonio—Latham, Alexander & Co. 174.86
- 19 Rous, Chas B—Geo N Smith 406.69
- 19 Roeder, Adolph L & Albert B—T Lynch 1,357.19
- 19 Rosenthal, Joseph—Nelson Smith 1,188.82
- 20 Rapp, Helen N—W H Roberts and ano. 75.01
- 20 Roth, Louis—A Greenberg 87.72
- 20 Roeder, Adolph L—G Bettini 161.37
- 20 Rankin, Wm G—S S Smith, receiver, & C. 1,403.75
- 20 Rosenberg, Morris—B Fanser. costs 23.74
- 14 Seigler, Max—M H Beers et al exrs, & C. 146.79
- 14 Sieber, Eustache—G Bartell 174.82
- 16 Spero, Louis—K Schultz as exr, & C. costs 127.38
- 16 Spitzer, Henry—W Rhineland and ano as recvr, & C. 167.25
- 16 Sergi, John—The Frank Brewery 1,524.75
- 16 Stearns, Oscar H and E F—F H Leggett & Co 44.50
- 16 Schmidt, Sigmund A—D W Richman 154.64
- 16 Stappid, Peter G—J Schreyer 556.52
- 15 the same—the same 957.35
- 17 Schulz, Alexander—S C Masters 52.22
- 17 Sher, Louis—H Freedman 125.97
- 17 Schloss, Henry W, Arthur J Stever and Edward Shields—J A Freeland 974.51
- 17 Sobel, Levy—The H B Claffin Co. 284.77
- 17 Salomon, Jacob E—C F Thompson 39.15
- 17 Saward, Geo A—J W Rapp 937.38
- 17 Silverberg, Simon—Berrent & Monosewitz. costs 24.50
- 17 Strong, Geo L—E W P Glasscoe et al 98.96
- 18 Shiel, Robt F—A S Nichols 34.77
- 18 Sherman, Geo K—B J Worman 130.18
- 18 Sedgwick, Theodore—J Turtil 77.30
- 18 Schwarzschild, Abraham C—C Nicolini 145.09
- 19 Schoenwrit, Adolph—G Bollav 117.50
- 18 Schurr, Leonard—H H Heert et al 809.17
- 18 Sherman, Sarah E—Wm R Winn 143.70
- 18 Sweetser, Wm A—The Park Co 247.60
- 19 Schachtel, Herman—H Koch 222.07
- 19 Schmidt, Louis—H Rosenbloom 29.50
- 19 Sire, Henry B—Railway Advertising Co. 330.19
- 19 Spallone, Salvatore—A Cebrelli 428.60
- 19 Stranders, Barend J—C H Labouchere et al. 3,614.71
- 19 Simmons, James M—A L Phillips 20,719.21
- 19 Schoenwrit, Adolph—G Bollav 117.50
- 17 Shea, John—A B Foster 34,823.47
- 20 Steinmetz, Eva—E F R Laing 2,877.68
- 20 the same—the same 2,877.68
- 20 Stafford, Walter M—A Bartelstone 206.69
- 20 Stewart, Geo P—The People of the State of N Y 2,000.00
- 20 Sloman, Joseph—Owaneco Silk Co. 69.59
- 20 Sharpless, Henry W and Townsend—C Spielmann et al 85.62
- 16 Smith, Isidore—Eureka Silk Co 128.65
- 18 Smith, Geo C—J D Hoff 157.37
- 19 Smith, J Beakley—F M Sawyer 52.19
- 19 Smith, Wm B and Jacob W—T C Watkins 1,891.75
- 19 the same—the Schwary Mfg Co. 706.43
- 18 Tilden, Geo H—A R and A H Clark 1,155.57
- 18 Tichman, Gertrude—S Philbin 254.33
- 19 Tuthill, Benj H—Saml A and Richard Higbie as exrs, & C. 2,246.67
- 19 Towhig, Stephen J—M Neufeld and ano 20.00
- 20 Taven, Louis—A Gieseler 23.74
- 14 Rustic Manufacturing and Construction Co—R V Lewis and ano 39.50
- 14 Edward & John Burke (Lim)—H Raymond. 2,662.33
- 14 William Haaker Co—Sven Sjungstrandh and ano 205.02
- 16 The New York Steam Co—A Barnett 708.98
- 16 Livingston Middleditch Co—N Y College of Dentistry 68.47
- 16 Delaware Electric Light, Power and R R Co—J Schreyer 556.52
- 16 the same—the same 957.35
- 17 Metropolitan Street Railway Co—C McNally 172.50
- 17 the same—H Scheller 4,410.74
- 17 The Moeslein & Crane Ceiling Co—Chas A Hess assignee 54.82
- 17 First Nat Bank of Plainfield, N J—J Mortimer 79.33
- 17 Edward G Milbury Co (Lim)—K Clokey admr, & C. 1,241.10
- 17 The City of New York—T W Osborne 562.42
- 18 The City of New York—P Manheimer, \$190.74; S M Sternfels, \$171.54; C Cahn, \$170.89; James Dillon 387.00
- 18 The H M Loud & Sons Lumber Co—L A Burke 121.12
- 18 The Mayor, & C. of N Y—Ann Connolly 659.47
- 18 The Manhattan Rwy Co and The Metropolitan Elevated Ry Co—J Tiedemann 1,644.22
- 18 Petty, Souldard & Walker Realty Co—Robinson Stoneware Co 105.27
- 18 Sheridan & Shea Co—J A Lee 369.28
- 19 Buffalo Steel House Co—R Leseman 79.98
- 19 The Associated Lace Makers' Co—M F Maloy 628.08
- 19 The Teachers' Magazine Publishing Co—M Mayer 1,722.45
- 19 the same—W Buchanan 2,022.87
- 19 The N Y Industrial Exchange—L H Porter 389.68
- 19 The City of New York—M L Rutherford 765.50
- 19 Frank Kiernan & Co—American Newspaper Pub Assoc 549.62
- 19 The Clary & Long Co—H M Long 3,000.00
- 20 Knights of the Red Cross—The John Polhemus Ptg Co 230.10
- 20 The Bowery Savings Bank—E H Hawke and ano 347.58
- 20 John H Woodbury Dermatological Institute—J D Conklin 1,543.13
- 20 City of New York—M A Bodell 120.56
- 20 J H Mohlman Co—A Quantmeyer 71.30
- 20 E Frank Coe Co—D C Brush 74.23
- 20 Koster, Bial & Co—Pabst Brewing Co 129.17
- 16 Ullman, Henry C—J R Hegeman 70.85
- 16 Vrasda, Ignac—C D Vogelay 527.93
- 16 Varasano, Antonio—The Frank Brewery 1,524.75
- 16 Valente, Vincenzo—J Dahlmeyer 62.14
- 17 Van Der Hoogt, Cornelius W—J A Freeland 974.51
- 18 Von Hovenberg, Alfred A—Press Pub Co 103.29
- 18 Van Allen, Andrew W—The Park Co 247.60
- 16 Weber, Edward and Hugo J—Willson & Adams Co 348.37

Table of names and amounts, including Winne, Howard C-C S Hunter, Weiss, Leopold-People, &c, N Y, etc.

Table of names and amounts, including Colorado Coal & Iron Co-Wm A Copp, Same-Same, The Bonnis Improvement Co-Cladius B...

Table of names and amounts, including 130th st, n s, 400 e St Anns av, 125x100, Louis L...

SATISFIED JUDGMENTS.

Oct. 14, 16, 17, 18, 19, and 20.

Table of satisfied judgments, including Atkinson, Francis P-Wm G McGrath, 1899, 321.51; Abelman, Abram-Beauct Sanberg, 1899, 100.00...

*Vacated by order of Court. *Suspended on appeal. *Released *Reversal. *Satisfied by execution. *Annulled and void.

MECHANICS' LIENS.

Table of mechanics' liens, including 8th av, n w cor 14th st, 100x100, Morris Canavan & Son agt George Brown, \$95.00...

Oct. 16.

Table of mechanics' liens, including Brook av, n e cor 171st st, 100x100, L Halpern & Son agt Louis Gilbert, 575.00...

Oct. 17.

Table of mechanics' liens, including 85th st, No 349, n s, 200 e Riverside Drive, 50x102.2, Gils n, Collins & Co agt W E D Stokes...

Oct. 13.

Table of mechanics' liens, including Irving pl, s e cor 19th st, 27x100, B Kreischer & Sons agt Eliott Gordon & Herman roost...

Oct. 19.

Table of mechanics' liens, including Arnold av, s s, 208 e Pelham road, 50x125.4x56x105, Willson, Adams & Co agt Jane McGann...

Oct. 20.

Henry st, Nos 219 and 221, n s, 117.10 e Clinton st, 47.6x57.6. Cosgrove Brothers agt Israel Bloch and William Brennan. 142.00
 Monroe st, Nos 203 to 209, n s, 2.0 w Jackson st, 75x95. Chas A Sonneemann agt Joseph Freedmann. 30.00
 98th st, n s, 100 w Park av, 100x100.11. Wiedbusch & Schwartz agt Otto F Degner and Wm F Lennon. 600.00
 165th st, No 1044, s s, 0 e Steboins av, 20x 77.8. John H Damm agt Frank and Christine Neumann and Louis A Schneider. 132.00
 137th st, n s, 300 e Lenox av, 100x99.11. Alfred R Conklin agt Wm R Kitchen. 3,230.20
 23d st, No 117 East. Thomas Donlon agt Mary L Black and William Donlon. 25.00
 98th st, No 35, n s, 350 e Columbus av, 20x 100. 100.00
 99th st, Nos 44 and 46, s s, 300 e Columbus av, 50x100. 100.00
 Union Granite Co agt P G Arnot. 213.75
 24th st, No 55 West. Thomas Donlon agt F W Marks and William Donlon. 46.00
 Central Park West, n w cor 105th st, 100x100. The Yale Safe and Iron Co agt Wm W Graham & Co and Pie son & Co. 1,524.00
 1st av, s w cor 113th st, 100x100. J P Dury & Co agt Keshin, Blustein & Frank. 10.70
 8th av, Nos 2787 to 2793, n w cor 148th st, 100x100. Samuel Williams agt George Brown and John Hellman. 22.82
 80th st, No 185, n s, 75 w 31 av, 20x100. Frederick Brandt agt Richd C Baker and John M Slattery. 104.00
 144th st, s s, 100 e 8th av, 59.6x99.11. Antonetta Altieri agt Zenaide D Schullenberg and John O'Kane. 60.00
 Goerck st, Nos 23 and 25, w s, 75 n Broome st, 75x75. Michael Bernstein agt Pauline Aronowitz. 209.00
 99th st, No 46 West. 100.00
 98th st, No 35 West. 100.00
 Ralph Henry agt Peter G Arnot. 2,027.00
 Central Park West, n w cor 108th st, 100x 100. Pierson & Co agt Wm W Graham & Co. 1,920.00

Editor Record and Guide:

The lien filed by H. Dowd against me is that of a sub-contractor of J. H. Barry, who done the plumbing and did not finish his work; nothing is due him; will bond lien.

Christian Blin.

Editor Record and Guide:

The liens filed by Comes & Bunt against our property, southwest corner of 94th street and Central Park West, are unjust. They will be bonded and payment contested.

J. & J. A. Pinchbeck.

BUILDING LOAN CONTRACTS.

Oct. 16.

Lexington av, Nos 1467 and 1469, e s, 55.8 s 95th st, 55.8x95. Thomas Adelson and Moses A Stone with Sam Glass; to erect a 7-sty apartment house; 13 payments. \$55,000
 Washington av, n w cor 173d st, 100x90. Abraham Rosenberg with George Blumenthal; to erect four 4-sty bldgs; 9 payments. 23,500
 4th av, No 431, e s, 66.2 n 29th st, 32.4x100. Emanuel Heiner, Moses J Wolf and Adolph M Bendheim with Thos H Bell; to erect a 7-sty modern bachelor apartment hotel; 10 payments. 40,000
 Oct. 17.
 101st st, n s, 270 w West End av, 50x100.11. David E Oppenheimer and Joseph Haeresh agt with T Judson Kilpatrick; to erect a 6-sty apartment house; 6 payments. 21,000
 74th st, s s, 150 w Av A, 50x102.2. Dora Scheer with Joseph Weiss; to erect two 6-sty apartment houses; 12 payments. 25,000
 Oct. 20.
 Central Park West, w s, 50.11 s 93th st, 50x100. Max Danziger with Etta Binns; to erect a 7-sty and basement apartment house; 22 payments. 45,000.00
 Hudson st, s w cor Vesry st, 33.1x100. A. S. Gutwiling with Wm C Dewey; to erect a 7-sty and cellar store and loft warehouse; 10 payments. 29,000.00
 71st st, s s, 400 w West End av, 52x125. The N Y Investment & Improvement Co with Kate C Brown; to erect a 7-sty apartment house; 16 payments. 58,000.00
 7th av, n w cor 113th st, 100.11x100. Edward and Henry Hirsch and Edward Oppenheimer with Emil Block; to erect a 7-story apartment house; 14 payments. 90,000.00

ORDERS.

Oct. 14.

Columbus av, No 420, n w cor 80th st, 25.8x 100. Thorton Bros on Thos R White to Patrick White & Son. \$700.00

SATISFIED ORDERS.

Oct. 16.

Market st, No 63, w s, 70 s Hamilton st, 25x—, Morris J Gardiner paid to Joseph Hyman on order of Rose & Fisher. (Order filed Sept 8, 1899). \$203.00
 Same property. Same to same on same. (Sept 1, 1899). 42.00

Oct. 20.

Columbus av, s e cor 108th st. Abelman & Rosentau paid the Peiham Hod Elevating Co on order of Thos T Boucher. (Oct 3, 1899.) 304.50

SATISFIED MECHANICS' LIENS.

Oct. 14.

134th st, Nos 19 and 21, n s, 300 e 5th av, 50x 99.11. Abeel Bros agt Theodore Wegener. (Oct 2, 1899). 270.00
 35th st, Nos 418 to 442 West. Samuel Williams agt Jos F and Andrew T Doyle. (Aug 7, 1899). 865.00

35th st, Nos 418 and 420, s s, 200 w 9th av, 50x100. Wm D Grant agt Joseph F Doyle. (Aug 29, 1899). 71.50
 Same property. George Spaeth agt same and A Doye. (Aug 16, 1899). 75.00
 116th st, Nos 369 to 373, n s, 105 e Mo. ningside av East, 10x100. Smith & Lawler agt Elizabeth Moore. (Sept 25, 1899). 3,890.82
 122d st, s s, 140 e 8th av, 75x100. Irving B Meyer agt Hanberg & Ehick. (Sept 25, 1899). 18.00
 Jackson av, w s, 90 s 136th st, 200x73.6. John J Bell agt Willis R Phillips. (Oct 6, 1899). 1,971.91
 149th st, n s, 100 e Boulevard, 100x100. John A Murray agt Riley & McCarthy. (Oct 4, 1899). 359.57

Oct. 16.

Broadway, e s, extends from 224th st to 225th st, 100x125. Stean Tcth agt Adelaide A and W H Yeandle. (Aug 30, 1899). 66.40
 131st st, s s, 304 e Lenox av, 31x90.14. Geo W Martin & Co agt Charles Brown. (Sept 15, 1899). 1,000.00
 142d st, s s, 30 e Amsterdam av, 220x100. The Vermont Marble Co agt Della Stevens. (Sept 7, 1899). 71.92
 452d st, No 409 West. Wiedbusch & Schwartz agt George Brown. (Oct 10, 1899). 210.00
 1st av, s w cor 104th st, 100x125. Hyde & Good Mfg Co Lim agt Merman Wertheim. (Oct 7, 1899). 800.00

Oct. 17.

Monroe st, No 173. George Hubener agt Moses L. Olesky. (March 13, 1899). 42.00
 149th st, n s, 100 e Boulevard, 100x100. Wm E Pruden agt McCracken, Dagnall & Co. (Sept 20, 1899). 504.29
 104th st, Nos 105 and 107, n s, 112 e 3d av. William Scroggy agt John Levy et al. (Oct 3, 1899). 210.00

Oct. 18.

16th st, n s, 232 e Livingston pl, 44.10x92. Jacob Abrams agt Aspar Samuel and John Doe. (Oct 10, 1899). 126.00
 104th st, No 220 West, s s, 20x100. Isak Scholnik agt Hannah Turit. (Oct 5, 1899). 50.00

Oct. 19.

Madison st, No 360. Ike Miller agt Malke & Abraham Glass. (Sept 20, 1899). 200.00
 *East Broadway, No 26. David W Binns agt Sarah and Leza Nicholson and Wiedbusch & Schwartz. (Oct 16, 1899). 310.00

Oct. 20.

163d st, s s, 200 e Amsterdam av, 100x100. Overtaugh & Camp agt John H Jr and Edward Styles. (Sept 19, 1899). 703.50
 Same property. Paperine Plaster Co agt John H Styles, Jr. (Sept. 18, 1899). 1,822.55
 Same property. The City Fire Proofing Co agt same. (Sept 20, 1899). 406.55
 3d av, Nos 2787 to 2793, n cor 148th st. Samuel Williams agt George Brown and John Hellman and Ciro Borrelli. (Oct 10, 1899). 92.82
 1st av, n w cor 105th st, 25.2x100. Justus Bruns agt Mrs Leon A Liebeskind. (Sept 9, 1899). 100.00
 3d av, s e cor 174th st, 100x100. Pasquale Ventiniglia agt Cohen & Parish. (Oct. 10, 1899). 129.20
 Same property. Olin J Stephens agt David Cohen and Antonio Altieri. (May 9, 1899). 107.75
 112th st, s s, 225 e 8th av, —x—. Congress Varnish Works agt John B Squier et al. (Oct 18, 1899). 53.38
 Washington av, Nos 1111 to 1113. Jacob Becker agt Vincent Bonagur et al. (Oct 18, 1899). 231.52

- 1 Discharged by deposit.
- 2 Discharged by bond.
- 3 Discharged by order of court.

MISCELLANEOUS.

GENERAL ASSIGNMENTS.

Oct.
 19 Wartovsky, Morris (dealer in tinware and house furnishing goods at 69 Bayard st), to Joseph Kaplan; no preferences; att'y, A I Spiro.
 19 The Gibbs & Williams Co (68 New Chambers st, lithographing and printing business), to Henry D Dumont; no preferences.

ATTACHMENTS.

The following is a list of the attachments filed in the County Clerk's Office during the week. The first name is that of the debtor; the second that of the creditor, and the third that of the attorney for the creditor.

Oct. 13.

Bardin, Selig; Davol Mills; \$2,461.47; P D Trafford.
 Columbian Electric Car Lighting and Brake Co; Clarence P Leggett; \$1,831.61; Hobbs & Gifford.

Oct. 14.

Burton, Geo L; Adelaide V Rice; \$850.00; J R Burnett.

Oct. 16.

Lepman, Louis and Frank M Heggie; Harry C King; \$444.00; Burr & DeLacy.

Oct. 17.

Goerz, Carl P; Fox & Stendicke; \$452.25; O Richter.
 Johnson, Andrew; Lorenzo D Dilly; \$3,049.42; W F Wood.

Oct. 13.

Lepran & Heggie; Harvey Martin; \$2,887.92; Hart & Stout.

Oct. 19.

Harman, Archer et al; Walter N Walker; \$250,000; G D Mumford.
 York Haven Paper Co; International Paper Co; \$5,131.61; Stetson, J & R.

CHATELS.

NOTE.—The first name, alphabetically arranged, is that of the Mortgagor, or party who gives the Mortgage. "R" means Renewal Mortgage.

MISCELLANEOUS.

Oct. 13, 14, 16, 17, 18, 19.

Abromwitz, M. 173 Delancey..J Wornsky. Store fixtures. 309
 Angel, G. 952 1st av..E Leissner. Barber Fixtures. 144
 Acme Manifold Co. 1 Howard..Whitlock. Mach Co. Press. 369
 Ave bach, Abraham. 206 E 521..L Rosenman. Bottler Fixtures. 600
 Aluminum Plate & Press Co..Knickerbocker Trust Co. (R) 30,000
 Avon Power Printing Co. 25 E 116th..H C Isaacs. Cutter. 125
 Battaglia & Dina. 444 E 13th..G Maccarrane. Machines, &c. 385
 Berman, John. 384 9th av..A Schwaab. Barber Fixtures. (R) 20
 Berman, Augusta. 968 Amsterdam av..F Brainin. Register. 137
 Berman, Eliza. 34 3d av..M E Bassett. Express Fixtures. 300
 Berman, Martin. 400 8th av..Nat C R Co. Register. 200
 Bongiorno, F. 642 E 13th..E Leissner. Barber Fixtures. 60
 Barker, R K. 500 Washington..C Simon. Boxes, Trucks, &c. 400
 Branshaw, Thos H. 119 Broadway..Jos R Branshaw. Barber Fixtures. 850
 Campbell, P C. P Barrett Mfg Co. Truck. 181
 Cummings, Bernard. 424 W 24th..Mary Cummings. Horses, Trucks, &c. 400
 Cox & Catchpole..M Armstrong & Co. Cab. (R) 160
 Cannon, F C. 265 4th av..Nat C R Co. Register. 200
 Ciminello, A. 254 Rivington..P Pato. Barber Fixtures. 400
 Corazi, M. J. Souvay. (R) 134
 Cors, J H Mrs. 45 Watts..W Scott. Truck. 100
 Cosigan, Jas. 76th and 3d av..Nat C R Co. Register. 100
 Calvert, Jos. 2289, 2311 and 2349 3d av..L Kahn. Horses, Wagons, &c. 300
 Ciocca, Vincent. 85 Centre..J C Aste. Press, &c. 500
 Chianese, Paolo. 5 1/2 Monroe..J Souvay. Barber Fixtures. 535
 Coniff, Michl. 55th and 56th sts and 7th av. A Busby. Cab Horse, 65
 Cox, Emma E. 628 3d av, Furniture; 257 W 125th..J L McConnelly. Books, &c. 350
 Castrogiovanni & Ricando. 1125 2d av..A Schwaab. Barber Fixtures. (R) 52
 Coica, Jos. 855 1st av..S Ribando. Barber Fixtures. 120
 Day, Wm..M Armstrong. Coaches. 1,700
 Day, Martin..Metropolitan Fixture Co. (R) 100
 Same..same. (R) 200
 Dieringer & Kaufman. 9 Pike..E Ochs. Bot- uer fixtures. 900
 Deringer & Kaufman. 9 Pike..H J Aronson. Botter Fixtures. 1,000
 Dieckman, H R..L Dorfman. (R) 50
 Dostrow, A J. 51-53 Bank..M Maseller. Drug Fixtures. 107
 Duryea, W F. 180 Broadway..F G Davison. Office Fixtures. Secures note de Sieghardt, K T. 470 W 23d....A Ruehl. Hotel Fixtures. 1,000
 Dunning, Andrew. 1405 2d av..F Brainin. Register. 125
 Dietze, Emil. 239 Centre..W Johnson. Presses, &c. 275
 Dick, M B & S. 134 Allen..Nat C R Co. Register. 200
 Divine, J A. 601 8th av..Nat C R Co. Register. 550
 Drekshahn, L A. 569 Burnside av..W Kleeman & Co. Drug Fixtures. 550
 Drummond, Robt. 444 and 446 Pearl..Lovjoy Co. Presses, &c. (R) 1,650
 Dolumascolo, G. J. Souvay. (R) 70
 Deban, Juna. 3 King..G N Y C Co. Merchandise, &c. 100
 Enterprise Cold Storage Co..J R O'Donohue. (R) secures rent 100
 Endelman, A. 2-6 Tompkins..P Pryobil. Machine. 135
 Emerson, Fred..H Mander. Horse, &c. 110
 Elzoid, Karl. 34 E 5d..M N Daitch. Soda Fixtures. 400
 Epstein, Hy. 138 2d av..T J Collins. Barber Fixtures. 206
 Egan, J J. 153 E 26th..F Brainin. Register. 100
 Ecker, Ed. 437 E 7th..F Buttner. Horses, &c. 1,800
 Esserwein, Aug. Fort Schuyler road..S Jacobs & Son. Farming Fixtures. 950
 Euser, Max. 109 Barge..M Levin. Cigar Fixtures. 143
 Eitzen, Augusta. 224 W 65th..Smith & Sils. Grocery Fixtures. (R) 553
 Eyl, Benj. 1673 Lexington av..N P Sandquist. Express Fixtures. 80
 Ferrara, Antonio. 195 Grand..H Wagner. Pool. 300
 Fitzpatrick, Pat. 1716 2d av..Roesser & Sommer. Gas Fixtures. 129
 Freedman, H. 597 3d av..Nat C R Co. Register. 90
 Faulhaber, J C. 410 and 412 W 521..Jacob Faulhaber. Livery Fixtures. 10,000
 Friedlander, A. 2242 1st av..M Wilensky. Cigar Fixtures. 300
 Foley, Frank. 101 W 66th..M He'n. Photo Fixtures. 200
 Folio, S. F. 203 W Broadway..G Lordi. Barber Fixtures. 212
 Freer, Anson. 2 Charles lane..W Richmond. Horses, &c. 600
 Fuller, F W. 24 Gold..J Thompson Press Co. Press. 500
 Fitzsimmons, B. 127 9th av..Nat C R Co. Register. 200
 Feinslein, S. P Barrett Mfg Co. Truck. 315
 Finaus, P P. 2242 5th av..A Saitte. Barber Fixtures. 592
 Freedman, H. 597 3d av..Nat C R Co. Register. 90
 Feinstein, Louis. 51 Chrystie..L Glassman. Horses, Trucks, &c. 1,500

Gleichenhaus & Gordon. 85 Monroe. C Goldstein. Soda Fixtures. 3,000
 Gleason, I & F A. 457 2d av. W Foote. Bakery Fixtures. 300
 Goett, John. 175th st and Webster av. Nat C R Co. Register. 100
 Gregory, Geo. 103 6th av. Chas Gregory. Presses. 2,350
 Gallo, Jas A. 2531 8th av. Cath Gallo. Laundry Fixtures. 800
 Gregory, G M. 214 Front. Randolph & Clowes. Machinery. (Security for advances and to be advanced.) 6,000
 Gross, Max. 181 Allen. J Weiss. Barber Fixtures. 182
 Gordan, Louis. 1 Essex. J K Frankes. Clothing, &c. 50
 Goliarb, Julius. 5 Howard. Lynn & American Box Mach Co. Machine. 120
 Gosberger, J H. P Barrett Mfg Co. Wagon. 225
 Gratton & Alexander. 305 Pearl. Conner, F & Co. Press. 145
 Gill, W H. Ft 106th and 107th st & E R. A D Baird. Horses, Trucks, &c. (R) 20,000
 Hebron, M. M Armstrong & Co. Cab. 800
 Hirsch & Osserman. 78 Warren. H C Isaacs. Cutter. 125
 Hopp, Herman. 260-262 W 28th. C Maller-seau. Press. 850
 Heineke, Hy. J Conner. (R) 144
 Hornstein, Jos. 249 Delancey. S Bernstein. Siphons. (R) 120
 Haltzer, Jacob. 247 E 121st. Damrauf & W. Barber Fixtures. 180
 Halper, Chas. 158 Monroe. Z Vayssin. Machinery, &c. 50
 Hasselbeck, J M. Sahner & Hauenstein. (R) 703
 Hess, Hy. T N Bowles. (R) 100
 Hoowitz, Sam. 215 Grand. P Prybil. Machinery. 350
 Hauptmann, Louis. 240 Rivington. J Koerner. Wagon. 87
 Hebron, Robt. M Armstrong & Co. Cab. 800
 Hetter & Co. 12 Wooster. American Box Mach Co. Machinery. 760
 Helmke, F. 8th av and 28th st. Nat C R Co. Register. 400
 Harkavy, Saml. 193 Broome. M Beck. Drug Fixtures. 1,000
 Judge Co. Knickerbocker Trust Co. Stocks, Fixtures, &c. 800,000
 Johnson, E. 1944 Amsterdam av. H Wagner. Pool. 140
 Karl, Erwin. 111th near 3d av. L Zeller. Liv- 200
 erty Fixtures.
 Knickerbocker Co. 25 W 65th. R I MacGeachy. Elect, &c. 1,303
 Kaufmann, Jos. 204 E 84th. H Reinstein. Store Fixtures, &c. 300
 Keller, Elois. B Weill. Horse. 190
 Keese, J V. 336 1/2 W 41st. M E Sandford. Pool Tables. 125
 Kerrigan, J. 30th st, w of 11th av. J Small. Horses. (R) 800
 Kusel, John. J Matthews. Soda Fixtures. 700
 Krim, Morris. 67 Vesey. Nat C R Co. Register. 100
 Klein, Aaron. 325-327 Stanton. J Burger. Machinery. 250
 Korreich, J L L. 88-99 Delancey. J Reidenbach. Truck. 150
 Lefkowitz, Morris. Foot E 3d st. P Baumohl. Horse, &c. 150
 Loewenstein, Carl. 2 and 4 W 33d. J Loewenherz. Musical Fixtures. (R) 500
 Levy, Dora. 104 E 116th. Ed Kochkeller. Elevator Machinery. 1,500
 London & Lewngood. 152 to 156 Wooster. J G Bernheimer. Machines, &c. 2,300
 Lanzo, S. J Souvay. (R) 325
 Laughlin & Finn. 441 9th av. Nat C R Co. Register. 200
 Lubitz, M. 65 Jefferson. Nat C R Co. Register. 100
 Lange, A L. 125 W 32d. J A Jantzen. Machinery. 500
 Mahler, J H. 205 E 76th. G H Thomas. Bicycle Fixtures. 137
 Magee, C A. 122d st and Broadway. Nat C R Co. Register. 400
 Medredow, Paul. 133 Ridge. Rosentover & Holzman. Drug Fixtures. 1,200
 Melishek & Pether. 123 Maiden lane. P Prybil. Machinery. 312
 Montgomerly, Hy, Jr. 5 W 13th. J A Nichol. Horses, &c. (R) 500
 Masor, Earnet. 353 E 78th. J Weinas. Machinery. 100
 Maloney, T J. 512 E 118th. Fiss, D & C H Co. Horse, &c. 565
 Mannione, G P. F Coppola. U S Patent 670-943. agreement
 McCloud, Jas. 764 Washington. Prentiss Tool Co. Machinery. 450
 McKee, E J. 128th bet 7th and Lenox avs. H R Finn. Horse, Wagon, &c. 200
 McGowan, Chas. 48 Church. L P Rubien. Press, &c. 150
 Margolin, M. 55 Stanton. Neil Campbell & Co. Cutter. 115
 Maruncel, N and M Sisca. 44 Elizabeth. N Campbell. Press. 246
 McAuley, W H. 81 E 521. Margt McAuley. Machinery &c. 300
 McNeil, J W. 264 W 11th. Turnbull & Co. Buggy. 250
 Miller, Max. 35 Av A. M Lederman. Machinery, Fixtures, &c. 100
 Montgomerly, F R. 1365 5th av. D H & C Melvain. Grocery Fixtures. (R) 160
 McNulty Bros. 37 Downing. Fulton Finance Assc Horses, &c. 83
 Marshall, Andrew. L Huber. Bca's, &c. 800
 Morrison, Nathan. 496 Willis av. A Nemphus. Barber Fixtures. 200
 Nanz, Jacob. 200 Broome. Hallwood C R Co. Register. 130
 Nathan, Morris. Aaron Nathan. Cigar Fixtures. 325
 Newman, Danl. 296 Broadway. A B Marx. Pool. 1,250
 N American Real Estate Co. 13 Park Row. Aetna Security Co. Office Fixtures. 135
 N Y Industrial Exchange. 33-40 New. General Electric Co. Office Fixtures. 479
 Nebel, Mayer. 61 Sheriff. W Hausman. Butcher Fixtures. 150
 Nebel, Jacob. 1195 3d av. C Gitzen. Barber Fixtures. 325

Noah & Seeley. 320 Broadway. Collateral L A. Onice fixtures. 75
 Same. same. same. 50
 O'Neil, Neine J. 42 E 22d and 167 W 23d. Nat L A. Onice Fixtures and Furniture. 50
 O'Neil, A F. 406 5th av. Nat C R Co. Register. 150
 O'Brien, T F. Brook av and 134th st. Blanchard & Kelly. Gas Fixtures. 85
 Orloff, Louis. 98 Essex. J Koerner. Van. 137
 Outten, F S. 834 to 840 Greenw. h. B weill. Horses. 300
 Paxon, I & Co. 65 E 9th. E & H T Anthony. Photo Fixtures. (R) 165
 Pascol & Levinson. 240 Rivington. L Taub. Push carts. 300
 Perrone, J & J Jr. 221 3d av. A Schwaab. Barber Fixtures. (R) 586
 Peters, Matilda. H Utjer. Van, &c. 1,200
 Pensa, Carlo. 376 Hudson. D Rousso. Barber Fixtures. 275
 Perna & Lautelme. 167 William. Bramhall & Dean Co. Range. 15
 Pilatsky, Morris. 355 Hudson. J Lewine. Cigar Fixtures. 300
 Pewtress, E C. 69 3d av. B Moran. Laundry Fixtures. 4,000
 Rubenstein, Max. 56 E 114th. Goldberg & E. Siphons. 103
 Reiss, C F W. M Armstrong & Co. Coaches. (R) 250
 Riccardo, M. J Souvay. (R) 350
 Robohm, Hy. 691 8th av. M H Petigor. Soda Fixtures. 425
 Robbins & Caplan. 1186 Lexington av. J Matthews. Soda Fixtures. 190
 Riggs, Aug. 217 St Anns av. P Westphal. Barber Fixtures. (R) 201
 Rossbach, Geo. Staten Island. C A Bereuter. Pool Tables. 135
 Roy, F St O. 362 W Broadway. Fulton Finance Co. Machinery. 35
 Rovalzor, John. 1075 Lexington av. I H Laues. Flower Ice Box. 40
 Radlach, Frank. 1056 Freeman. Smith & Sills. Grocery Fixtures. (R) 188
 Same. Same. Same. (R) 188
 Richards, G A. Royleton Hotel, W 43d st. J D McEntee. Medical Fixtures. 262
 Ritter, L M. 394 Manhattan av. C H Hinck. Grocery Fixtures. 50
 Riggio, Nicolas. 300 W 11th. A Schwaab. Barber Fixtures. (R) 55
 Schwab, Wm. 2357 3d av. Nat C R Co. Register. 200
 Schuller, W. 10 Delancey. Hallwood C R Co. Register. 120
 Shipp, G J, Sons. 322 E 125th. H C Isaacs. Press. 115
 Stewart, A T. 225 W 60th. J Souvay. Barber Fixtures. 38
 Schoeps, Isaac. 1452 5th av. A H Perles. Grocery Fixtures. 350
 Smith, G P. 115 Broadway. H W Le Roy. Office Fixtures. (R) 2,000
 Spogasso, Frank. 218 E 111th. Archer Mfg Co. Barber Fixtures. 65
 Scarpa, Jos. 116 1/2 Bleecker. M Levin. Show Case. 13
 Simon & Brandman. J Matthews Co. Soda Fixtures. (R) 89
 Simon, Hy. 20 Suffolk. F Wesel Mfg Co. Shears. 75
 Sipp, Geo A. 156-158 W 127th. Mary E Sipp. Livery Fixtures. 2,600
 Stern & Phillips. 87 Fulton. Y Stern. Press, &c. 900
 Scheurer, Phil. 901 Cauldwell av. Natl L A. Furniture and Carpenter Fixtures. 200
 Schleier, M W. 8 W 14th. H A Andrews. Photo Fixtures. 365
 Schaefer, Chas. Phebe Schaefer. (R) 2,000
 Schuck or Schreck, Jacob. 996 Tremont av. S Schreck. Grocery Fixtures. 400
 Sweet, L K. 159 Grand. F C Goppoldt. Press. 131
 Stern, S. 172 Henry. Bennett & G. Soda Fixtures. 225
 Sheridan, Jas. P Barrett Mfg Co. Trucks. 200
 Spitzler, Frank. 113th st and Lexington av. Blanchard & Kelly. Gas Fixtures. 85
 Sternberg, A & Co. 401 Broadway. Cowperthwait. Office Furniture. 65
 Stillwell, C I. Mergenthaler L Co. (R) lease
 Stein, Louis. 289 Bowery. Columbia L Co. Cigar Fixtures. 50
 Shannon, A. 123d st and 8th av. D B Dunham & Son. Coach. 110
 Sferlazza, A. 1534 2d av. R Ciminello. Barber Fixtures. 760
 Thompson & Co. 391 4th av. P Bender. Press, Machines, &c. 600
 Tischler, Adele. 132 W 23d. W E Kruger & Co. American magazine, &c. 500
 Treaner Bros & Co. 372 Hudson. J Barker. Machinery. 500
 Tregarthen, J & J A. Pier 52, E R. U S Fidelity & G Co. Dry-Dock. 14,000
 Uts'ev & Frumkin. 6 Stanton. American New System Co. Soda Fixtures. 277
 Unold Val. 1993 2d av. Damrauf & W. Butcher Fixtures. 125
 Untied, H W. P Farrett Mfg Co. Truck. 286
 Van Horn, W P. P Barrett Mfg. Co. Wagons. 1,000
 Same. same. same. 500
 Van Dohlen, R. 2114 8th av. H Martens. Confectionery Fixtures. 3,700
 Von Glahn, John. S Jacobs & Son. (R) 140
 Van Vanleck, Volkert. 222 6th av. M A Batman. Dental Fixtures. (R) 100
 Volpe, S & C. R D'Ambrosi. (R) 120
 Valentine, Salvatore. 128 E 98th. A Schwaab. Barber Fixtures. (R) 330
 Witt, Eranuel. Madison av and 118th. Wolf Witt. Drug Fixtures. 1,500
 Weiss, R. 195 Broome. Hallwood C R Co. Register. 120
 Wolf, Paul. 1066 E Erd av. L Gastely. Grocery Fixtures. 240
 Weber, Chas 266 3d av. E C Pewtress. Laundry Fixtures. 20
 Same. 181 3d av. same. Laundry Fixtures. 100
 Weiss, Rafael. 195 Broome. M Smith. Grocery Fixtures. 200
 Witteke, Otto. 617 E 154th. N Campbell & Co. Press, &c. 322
 Weichselbaum, Jacob. 14 Clinton. M Reichen-thal. Pool, &c. 47
 Westek, Morris. 118 Stanton. S Elk. Drug Fixtures. 2,600

Wedicka, F. 1612 East End av. Fischer Bros. Drug Fixtures. 300
 Wallace, J C. 141 W 55th. J Murphy. Coach. (R) 135
 Washburn, H L. W F Paris. Paintings. 2,324
 Walker, John. M Armsrorg Co. Cao. (R) 300
 Weber, Peter. 550 1st av. Nat C R Co. Register. 100
 We-necke, Emma. 249 E 110th; 1883 Park Av. Equitable L A. Furniture, Sa.e, &c. 110
 Winberg, Hy. 139 W 28th. Brunswick B C Co. Pool. 150
 Williams, R H. M Armstrong & Co. Coach. (R) 600
 Workman's Educational Assoc. 205 E 80th. G Bechtel. Club Fixtures. 630
 Wiesethier & Kosenclum. 68 Allen. Sam Wiesethier. Machines. 300
 Zuker, Pinkus. 98 Wmct. J Koerner. Wagon. 90
 Zuckermann, Sarah A. 143 E Broadway. B Keadzur. Machines. 625

SALOON AND RESTAURANT FIXTURES.

Abratis, Geo. 216 Division. Burger B Co. 800
 Arkowitz, M. 112 Carysle. Baran & Elfin. 125
 Adelsohn, Milka. 571 1st av. B & S. Box. 70
 Same. same. Pump. 86
 Bickard, S H. 40 E Houston. G Ehret. 4,250
 Brennan, Jas. 74 4th av. J Rupper. (R) 2,000
 Barna, Gustav. 133 Maiden Lane. A Kahn. 3,500
 Bankowski, Karol. 198 2d st. Excelsior B Co. (R) 2,241
 Bellmer, Louis. 727 Broadway, Brooklyn. W Ullmer. (R) 5,000
 Blackburn, A J. 344 W 11th. J Everard. (R) 3,500
 Brunner & Sceiff. 110 Suffolk. M Cohen. Restaurant. 50
 Boccasavia, Rocco. 532 7th av. Maria Rossi. Restaurant. 50
 Breder, Eliz. 34 Rivington. Ellison & Harvey. 135
 Beckmann, Gette. 307 E 11th. Colonial By. 800
 Basso & Bernieri. 89 Baxter. Malcom B Co. 700
 Bolger, P W. 683 3d av. B T Kearns. (R) 7,450
 Blinderman, Herman. 232 Clinton. Rubsam & H. 200
 Curry, Margt. 257 Bleecker and 35 and 37 Cornelia. A Harnett. (R) 750
 Chambers, P C. 1394 Av A. P Doelger. (R) 3,500
 Cohn, Max. 31 Lewis. F Saimaowitz. 350
 Cohn, Chas. 75 E 4th. M Levi. Restaurant. 265
 Clark, Eliza C. 1879 2d av. Nassau B Co. (R) 1,500
 Cranides & Econemy. 133 7th av. J Booras. Restaurant. 185
 Couchoud, Louis. 83 3d av. A & W Neuling. Restaurant. 3,500
 Cullen, P & B. 282 Columbia, Brooklyn. W L Flanagan. 550
 Curley, J M. 114 10th av. W L Flanagan. (R) 4,063
 Coyle, Jos. 26 41st, Brooklyn. M Eckstein. (R) 400
 Curry, P J. 600 9th av. J Everard. (R) 5,000
 Ditmas, Stephen. 14 Dutch. Carstairs, McCall Co. 1,667
 Doyle, J F. 49 Carmine. J Everard. 5,157
 Dubrau, Gustav. 160 Grand. W L Flanagan. (R) 2,300
 Droste, C. Unionport. J Eichler. (R) 250
 Drachenberg, Bernard. 110 South. S Levin. Restaurant. 481
 De Grazia, A. 2036 1st av. H D Berner Co. Pump. 52
 Devereaux & Fountain. 524-526 Columbus av. Lord & Taylor. Restaurant Fixtures. 1,200
 Derlin, Hy. 556 1st av. S Liebmann Sons. (R) 1,500
 Deegler, Hy. 328 Av A. F Oppermann, Jr. 803
 Ehler & Heins. 482 Brook av. B & S. 2,350
 Egan, P J. 114 Amsterdam av. B & S. 3,900
 Finnigan, Thos. 855 Amsterdam av. C Schlesinger. (R) 311
 Floyd, S W. 2776 Broadway. B & S. 2,700
 Fitzpatrick, Pat. 1716 2d av. H Elias. 3,000
 Friedman, Emma. 464 E 144th. A Hupfel. (R) 4,400
 Foley, J J. 403 E 90th; 1740 1st av. J Ruppert. 3,369
 Gillen, J J. 16 Gansevoort. E R Biehler. Restaurant Fixtures. 34
 Graf, Elise. 233 Ellery, Brooklyn. J G Grauer. (R) 650
 Grondall, Hy. 37 and 39 E 110th. F H Peper. (R) 1,700
 Gerstal & Herbstmann. 62 Willett. Malcom B Co. 600
 Gutshaw, Geo. 10 Stanton. G Bechtel. (R) 1,000
 Geisler & Schmidt. 55 Borden av. L I City. P Skelly. (R) 3,000
 Grob, Arnold. 142-144 W 29th. B & W. Pump. 40
 Greller, E M. 112 Mulberry. W L Flanagan. (R) 160
 Glasser, Albert. 2272 1st av. J Hoffmann. (R) 50
 Hoffman, W. 649 10th av. W L Flanagan. (R) 1,600
 Horstmann, G H. 476 Columbus av. J Ruppert. (R) 7,489
 Hay, Hellen. 154 Washington. P Ballantine. (R) 4,000
 Hamann, R. 1101 Myrtle av, Brooklyn. F Minch. (R) 2,000
 Harley, D R. 145 W 35th. Karsch B Co. 340
 Harris, Abraham. 259 Broome. American B Co. 1,200
 Horowitz, M A & S. 86 Willett. Malcom B Co. 250
 Haskins, G M. 117 W 34th. M Reischmann. Tables, &c. 123
 Horowitz, R and J. 2574 31 av. Beadleston & W. 150
 Juskowitz, Sal. 83 Columbia. B & S. 600
 Jacobs, Jos. 142 Essex. E Ochs. 750
 Kvester, E & D. 58 Dey. Anheuser-Busch B Co. 560
 Koch, Fritz. 220 St Nicholas av. G Ehret. 5,000
 Kirchheimer, David. 114 Pearl. Pabst B Co. (R) 1,100
 Kleber, John. 181 Mott. Nassau B Co. 2,500
 Kennedy, Thos. 405 E 31th. M Reischmann & S. Tables, &c. 134
 Lavery, A C. 997 Park av. J Vogel. 1,800

Lefevre, Sophie. 495 West..Colonial By. (R) 1,300
 Lesser & Taffat. 87 Willett..Frank Bwy. 500
 Melvin, Susan. 700 Columbus av..J Ruppert. (R) 2,269
 Muller, Gustav. 109 E Houston..W L Flanagan. (R) 3,000
 Mable, M E. 1781 Madison av..H Koehler & Co. 3,000
 Mayer, Anthony. 318 Hamburg av, Brooklyn.. Oernann & L. (R) 1,000
 McGarry, B. 11th av and 37th..B & S. Ice House. 120
 McGovern, J J. 3426 Park av..B & S. 1,908
 McVeigh, Frank. 2407 1d av..J Hoffmann. 530
 McWilliams, John. 192 Green, Brooklyn..W L Flanagan. (R) 200
 Mertz, John. 334 8th av..H Harburger. Restaurant. 1,000
 Merriman, Michl. 181 West End av..B & S. 3,000
 Miller, C. Wendover and Washington avs..B & S. Ice House. 120
 Same...same. Pump. 114
 Morgan, J W. 115 Greenwich av..B & S. 2,000
 Murphy, Pat. 59 Madison..W L Flanagan. (R) 500
 Martin, Michl. 527 W 52d..Colonial By. 1,400
 McKallen, John. 446 W 19th..P & W Ebling. 2,000
 McTernan, Pat. 35 Atlantic av, Brooklyn..P Ballantine. (R) 600
 Milano, Jos. 234 E 115th..F Ibert B Co. 175
 Mandelbaum, Rebecca. 230 Delancey..Rubsam & H. 1,253
 McAleese, T F. 153 E 53d..B & W. 367
 McMurray, John. 123 W 19th..P Doelger. (R) 1,732
 Newman, Rudolph. 404 1st av..Freund Bros. 2,800
 O'Donnell, J J. 90-92 Beaver...P Ballantine. (R) 1,500
 O'Connell, Ed. 250 Brook av..B & S. 3,000
 O'Donohue, M L. 330 W 10th..J Vogel. 825
 O'Connor, M F. 534 Water. Fitzgerald B Co. 1,500
 O'Rourke, D J. 180 Park Row...G Ringler. 3,500
 Perito, J & A. Wakefield..J Eichler. (R) 300
 Patjens, J H. 959 Park av..B & S. 3,500
 Penna, Louis. 167 William...E R Biehler. Restaurant Fixtures. 50
 Panzer & Krener. 205 W 29th..Colonial By. 1,400
 Peragallo & Delfavero. 2210 3d av..Balzarine & Gazzale. Restaurant. 1,100
 Pospisil, Jos. 1381 Av A..D Stevenson. 100
 Pettit, Saml. 87 West...P Ballantine. (R) 828
 Purcell, L J. 1st av and 123d st..B & S. Ice House. 120
 Same. 2398 1st av..B & S. Pump. 181
 Rhoades & Floyd. 2776 Broadway..B & S. Pump. 174
 Same. 107th st and W Boulevard..B & S. Box. 110
 Rose, F and S. 203 Henry..Obermeyer & L. (R) 700
 Reilly, John. 1838 2d av..B & S. Pump. 133
 Same...same. Ice House. 230
 Same...same. Box. 85
 Same...same. Box. 120
 Reius, Jos. 401-402 E 70th..Colonial By. 350
 Riordan, W J. 16th st and 1st av..H D Berner Co. Pump. 33
 Rothmaler, Theo. 84 Greenwich..T A Garvey. 144
 Rohlfs, Wm..D Mayer. (R) 175
 Rath, F & A. 222 Greenwich..J Everard. 2,500
 Roth, Sophia. 15 Delancey..G Bechtel (R) 8,132
 Rieger, Aug. 849 2d av..F Oppermann, Jr. (R) 500
 Rumell, A A. 422 W 35th..P Doelger. 400
 Schmidt, J D. Unionport...American B Co. (R) 170
 Schmalz, Christian. 586 11th av..Fitzgerald Bros. 17
 Selig, Barnet. 13 Monroe..Malcom B Co. 650
 Skinner, J P. 1484 Broadway..C R Gavit. Restaurant. 500
 Schnabel, Chas. 793 1st av..H Koehler & Co. (R) 1,500
 Sattler, Chas. 139 E 4th..G Bechtel. (R) 3,212
 Spietaler, Frank. 1813 Lexington av..B & S. 1,400
 Shields, John. 785 2d av..B & S. 2,000
 Strandmann, John. 338 3d av..F Oppermann, Jr. (R) 2,510
 Sander, Fred. 15 Prince..F & M Schaefer. 1,000
 Schmidt, Peter. 857 E 101st..A Hupfel. 2,000
 Schmirkan, Aug, Sr. 355 Willis av..P & W Ebling. (R) 2,000
 Schluter, C H. 72 5th av, Brooklyn..B & W. 3,000
 Treptow, Herman. 59 Elizabeth..P & W Ebling. 1,400
 Tiedemann & Schierloh. 149 Grand...J Gerdes. (R) 8,000
 Timko, John. 246 W 3d..Burger B Co. (R) 800
 Thunhorst, Hy. 566 Columbus av..J C G Hupfel. 1,000
 Weiss, Adolf. 59 E 8th..E R Biehler. Restaurant Fixtures. 20
 Walker, Julius. 202 W 28th..P Skelly. (R) 250
 Weintraub, Annie. 303 W 24th..S Levin. Restaurant. 85
 Wamser, Tony. 38 Great Jones...J Hoffmann. 550
 Weiler, Emil. 1975 1st av..J Ruppert. (R) 1,000
 Willer, Wm. 95 Bowery..J Hoffmann. (R) 5,000
 Zambory, Eliz. 217 E 3d..H Koehler Co. (R) 1,500

HOUSEHOLD FURNITURE.

Alexander, Margt. 316 W 51st..S Baumann. 415
 Anderson, Katie. 56 W 33d..L Baumann. 214
 Arlington, Iene. 151 W 35th..L Baumann. 100
 Armstrong, N W. 401 W 30th..L Baumann. 148
 Arnheim, Jennie. Crotona Park..Manhattan L A. 200
 Andrew, Olza. 1453 Broadway..Standard L A. 100
 Ackerman, Viola. 540 W 149th..Harlem L A. 200
 Ackert, A R. 52 W 100th..American L Co. 100
 Brown, Mattie. 151 W 24th..S I Herschmann. 100
 Buchholz, F. 205 E 116th..Garvey Bros. 125
 Bush, W T. 772 German pl..Cowperthwait. 116
 Banks, Sophie. 97th and West End av..L Baumann. 164
 Breman, Amelia. 110 W 431..L Baumann. 124

Boyd, R L. 101 W 85th..Weber-W Co. Piano. 450
 Buck, Clara. 15 W 64th..L Baumann. 181
 Bronfield, Charlotte. 12 W 114th..M Lion. 105
 Baer, Eua. 2145 7th av..Cowperthwait. 133
 Blackburn, B J. 107 W 72d..Fidelity L A. 200
 Blackburn, B J. 107 W 72d..L Baumann. 200
 Brennan, A. 119 W 43d..E Darling. 404
 Brenewer & Ryan. 111 W 34th..H B Kellner. 410
 Bernhard, A & E. 924 3d av..O Wasboe. 250
 Biesenthal, P Mrs. 1833 3d av..Alexander Bros. 141
 Beattie, J H. 1869 Lexington av..J R Keane & Co. 229
 Blank, M I. 1574 Madison av..L Baumann. 355
 Campbell, A F. Ridgenel Park, N J..L Baumann. 126
 Cousins, John. 54 E 120th..L Baumann. 149
 Coyle, Phil. 285 Av A..Cowperthwait. 116
 Cashin, L P. 54th st and Broadway..S Baumann. 350
 Collins, J & A. 32 E 7th..Cowperthwait. 134
 Crosby, Ed. 1794 Lexington av..L Baumann. 132
 Cooney, Lizzie. 81 6th av..S Baumann. 294
 Conyngham, A J. 611 Mot. av..Fidelity L A. 150
 Cawley, Mary. 215 W 48th..L Baumann. 205
 Same...same. 208
 Cross, Eliz. 30 E 33d..L Baumann. 278
 Croy, B J. 40 W 103d..Lord & Taylor. 308
 Deutsch, C K. 173 W 78th..C Graef & Co. 2,500
 Davis, B M. 136 Manhattan av..G N Y C Co. 400
 Denning, E J. 139 E 21st..Jordan M & Co. 100
 Downling, M H. 54 E 25th..Jordan M & Co. 203
 Same. 38 E 26th..Same. 108
 Dart, H W. 143 W 80th..Jordan, M & Co. 159
 Du Bose, P E. 41 W 34th..J Gregg & Co. 433
 Delmont, Elise. 251 W 26th..F Donnatin. 120
 Dowling, W A. 1030 Prospect av..L Baumann. 157
 De Leo, R. 433 E 117th..Alexander Bros. 140
 Donnelly, Ed. 85 Madison..Cowperthwait. 100
 Dawson, Rosa. 52 E 124th..L Baumann. 146
 Duff, Agnes. 213 E 39th..J McEnery. 163
 Eggers, A A. 164 E 101st..Cowperthwait. 413
 Edwards, Lulu. 326 W 46th..L Baumann. 175
 Emerson, Mable. 464 Amsterdam av..S Baumann. 152
 Eaton, J C. 820 Greenwich..J E Sampson. 100
 Edwards, Nathan. 40 W 29th..Jordan, M & Co. 143
 Ellis, Alice. 100 W 88th..Jordan, M & Co. 170
 Erlinger, Xavier. 116 E 59th..L Baumann. 171
 Englander, Morris. 1759 Madison av..L Baumann. 133
 Emery, A D. 250 W 119th..Mutual L A. 200
 Fields, Laura. 628 E 138th..S Baumann. 148
 Fisher, E K. 253 W 126th..Mutual L A. 110
 Franke, Sam. 45 E 84th..Mutual L A. 150
 Flower, C A. 136 Madison av..S I Herschmann. 120
 Geiger, Stefanni. 101 E 92d..Weber-W Co. Piano. 225
 Grant, Michl. 920 9th av..L Baumann. 433
 Gumbart, Louis. 412 W 18th..L Baumann. 218
 Gross, Hy. 422 E 72d..L Baumann. 108
 Gannes, Paul. 284 E 78th..J R Keane & Co. 225
 Granat, M M. 55 Monroe..Cowperthwait. 119
 Guibert, Lizzie J. 541 W 111st..C Jones. 750
 Gllschmid, A M. 200 E 10th..S I Herschmann. 234
 Gutman, Rudolph. 2040 7th av..S Baumann. 129
 Graetz, Carrie. 51 E 127th..L Baumann. 145
 Gonio, Annie. 1002 Av A..Cowperthwait. 125
 Gorren, Selma. 18 W 45th..J Baumann. 600
 Goldstein, Max. 09 W 96th..J Baumann. 174
 Gruser, H..J R Keane & Co. 103
 Girra, Fanny. 185 Ludlow..Garvey Bros. 125
 Gorman, L. 109 E 23th..Garvey Bros. 197
 Golden, Stella. 129 2d av..Cowperthwait. 170
 Gray, Ella M. 59 W 127th..St Bartholomew L A. 100
 Higgins, Augusta. 100 W 86th..Jordan, M & Co. 165
 Hastings, A A. 346 E 42d..L Baumann. 135
 Hurditch, C P. 74 W 103d..Standard L A. 100
 Hochstadter, L J E. 226 E 19th..L Baumann. 166
 Hirschfeld, Hy. 1379 Lexington av..Manhattan L A. 100
 Heden, H. 142 W 103d..L Baumann. 162
 Hoffmann, S. 893 E 134th..L Baumann. 178
 Henderson, J C. 432 5th av..L Baumann. 369
 Hershberg & Kantrowitz. 120 Rivington..Alexander Bros. 283
 Hugo, Anna. 157 W 45th..J Baumann. 215
 Hoeft, H F. 114 W 114th..J Baumann. 156
 Hobson, Anna M. 79 W 127th..St Bartholomew L A. 100
 Isenberg, Hyman. 189 Delancey..Mutual L A. 125
 Jones, W C. 48 Irving pl..Jordan, M & Co. 120
 Jenkins, Alfred, Jr. 1245 Madison av..Lenox L A. 100
 Same...same. 100
 Jennings, E. 32 E 7th..J Moriarty. 105
 Jennings, H Mrs. 225 W 20th..Cowperthwait. 225
 Justice, Anna C. 778 Madison av..L Baumann. 539
 Jordan, C J. 185 W End av..J Moriarty & Co. 150
 Jordan, Kate. 205 W 22d..M Berolzheimer. 500
 Johnston, Frank. 140 W 31d..Cowperthwait. 186
 Kelly, Ed. 24 E 109th..Pacific L A. 150
 Katzman, A. 902 3d av..L Baumann. 450
 King, Ellen. 800 9th av..J Lewin & Co. 177
 Koch, Annie. 88 Av A..S Baumann. 197
 Kitzenger, H W. 1208 E End av..S Baumann. 152
 Kestner, C C. 32 Morningside av..Lenox L A. 112
 King, H F and E J. 153 E 50th..St Bartholomew L A. 125
 Krebs, Fanny. 111 E 56th..Fidelity L A. 210
 Krebs, Jacques. 111 E 56th..Fidelity L A. 200
 Kennedy, Hugh. 100 E 31st..Jordan, M & Co. 250
 Kennel, Peter. 214 E 37th..Mutual L A. 125
 Kelly, F. 2314 Broadway..Weber-W Co. Piano. 450
 Kyle, T H. 732 9th av..Weber W Co. Piano. 300
 Kollstede, A G. 117 W 70th..L Baumann. 350
 Knight, A M. 56th st, 260 ft east 12th av..Mutual L A. 200
 Lonslow, Eliza. 2473 W Boulevard..G N Y C Co. 100
 Logie, Robt. 7 W 26th..Jordan, M & Co. 350

Long, Ellen. 227 W 51st..L Baumann. 124
 Little, Emma. 862 Park av..L Baumann. 351
 Lake, Albet. Barren island..Cowperthwait. 182
 Lawson, Rachel. 25 Columbus av..J Moriarty. 112
 Levere, Rose. 356 W 119th..L Baumann. 115
 Lowry, Ed Mrs. 1904 Park av..Cowperthwait. 107
 Lye, Annie. 316 W 46th..Cowperthwait. 245
 Lowenstein, Albert. 8th av..Globe L A. 115
 Luchinger, J E. 27 W 95th..J Lewin & Co. 244
 Lipton, Herman. 1824 7th av..Brooklyn L A. 100
 Martyn, P H. 2329 7th av..Fidelity L A. 200
 McGrath, J L. 236 E 25th..Cowperthwait. 105
 Mills, E P. 45 E 42d..Fidelity L A. 203
 Mayer, Saml. 103 E 61st..L Baumann. 502
 Mann, Emma. 412 E 52d..Alexander Bros. 105
 Mather, L B. 122 Park av..Equitable L A. 100
 Marie, Wm. 220 Mot..Alexander Bros. 261
 Marshall, E C. 250 W 51st..Alexander Bros. 707
 Martens, Caroline. 443 E 125th..Cowperthwait. 116
 Malcolm, E L. 101 W 40th..Cowperthwait. 117
 Marion, Florence. 266 W 25th..Cowperthwait. 123
 Martin, Jas. 679 2d av..Cowperthwait. 100
 Mackie, W H. 127 2d av..Cowperthwait. 317
 McCormick, Ellen. 137 E 26th..E Darling. 141
 Same...same. Same. 110
 McDonald, A W. 2391 Tiebout av..Fidelity L A. 160
 McKenzie, Annie. 212 E 10th..J Moriarty. 173
 McKnight, J R. 223 W 83d..S Baumann. 172
 Morgan, Elmira. Jane and Greenwich..Cowperthwait. 262
 Moran, Ada A. 991 Boston av..S Baumann. 181
 Moore, Ed. 2146 5th av..S Baumann. 136
 Miskey, Helen. 101 W 52d..L Baumann. 129
 Meyers, Phil. 755 St Anns av..Alexander Bros. 200
 Meuris, Louise. 224 E 109th..S Baumann. 125
 Miner, Mary E. 49 E 104th..S Baumann. 268
 McGuire, Alice C. 189 W 79th..J Gregg & Co. 134
 Mead, C W. 421 Manhattan av..L Baumann. 232
 McTernan, Eliz. 9 E 98th..L Baumann. 135
 McGrath, Thos. 223 W 10th..L Baumann. 133
 Meeks, Margt A. 142 W 82d..L Baumann. 174
 McCutcheon, Geo. 2209 7th av..L Baumann. 165
 Morretta, E. 257 W 36th..L Baumann. 153
 Murray, Wm. 430 E 14th..Standard L A. 150
 Mesbier, T E. 210 W 84th..Lord & Taylor. 225
 Nelson, L C. Central Park West..S Baumann. 215
 Neufeld, A. 113 E 116th..Manhattan L A. 100
 Nye, F C. 145 E 30th..St Bartholomew L A. 100
 Naudin, F and A. 312 W 23d..G Beck. 194
 Nally, Maggie T. 271 W 22d..Garvey Bros. 131
 Ormston, Julia. 44 Charles..L Baumann. 200
 Olah, Paul. 232 E 52d..L Baumann. 259
 Oppenheimer, J. 103 W 123d..Fidelity L A. 175
 Owen, Carrie B. 6 W 22d..St Bartholomew L A. 200
 Olsen, Oloof. 418 W 47th..J Baumann. 211
 O'Keefe, Maggie. 416 E 89th..S Baumann. 112
 O'Hanlon, M, Mrs. 130 W 96th..Brooklyn Fur Co. 124
 Parker, J H. 226 E 85th..S Baumann. 160
 Polchek, V H. 106 St Nicholas av..S Baumann. 176
 Pancoast, W L. 94 W 104th..Fidelity L A. 100
 Peterson, Anthony. 500 E 83d..Cowperthwait. 133
 Pecker, C W. 7th av and 136th st..Cowperthwait. 222
 Pier, A F. 1052 3d av..Cowperthwait. 107
 Pfeiffer, C R. 871 Brook av..L Baumann. 430
 Quattier, C. 12 W 10th..J Baumann. 371
 Quinn, Thomas. 144 E 84th..S Baumann. 137
 Russah, Ida. 518 E 88th..S Baumann. 170
 Roebor, Annie. 72 E 115th..Cowperthwait. 100
 Reeh, Wm. 126 Bronx av..J Lewin. 120
 Robinson, Sarah. 2391 2d av..L Baumann. 131
 Reilly, M A. 508 E 126th..L Baumann. 112
 Randall, P M. 259 W 149th..Cowperthwait. 300
 Robinson, S H. 251 W 22d..Cowperthwait. 115
 Rosendale, A. 1903 Lexington av..J Gregg Co. 129
 Richards, Esther. 357 E 58th..L Baumann. 120
 Reynolds, John. 237 E 28th..Garvey Bros. 172
 Russell, T K. 115 E 27th..W S White. 140
 St Clair, Georgia. 139 E 16th..F Cohen. 280
 Schaffer, Julius. 251 E 10th...B H Repelow. Piano. 145
 Sinclair, Francis. 122 W 42d..L Baumann. 165
 Sharkey, A G. 41 Wall..Mullins & Sons. 174
 Sharkey, Mattie. 109 W 101st..L Baumann. 185
 Schussler, John. Unionport..L Baumann. 160
 Scott, Emma. 103 W 88th..L Baumann. 123
 Stormes, Ada D. 101 W 57th..D J Lippman. 1,050
 Seymour, L P. 2061 8th av..Cowperthwait. 152
 Spohn, Hy. 118 9th av..Cowperthwait. 143
 Stephens, Charles. 317 E 5th..Cowperthwait. 110
 Sayre, R E. 165 W 47th..J Baumann. 1,631
 Sexton, Mary. 64 Washington..Cowperthwait. 101
 Sanger, Fanny. 341 E 116th..Alexander Bros. 274
 Schaffer, W E. 154 E 122d..L Baumann. 152
 Schellenberger, Eugene. 343 E 8th..L Baumann. 154
 Schradin, Chas. 1605 1st av..J Lewin Co. 149
 Schweitzer, Leopold. 118 E 90th..S Baumann. 168
 Smith, Lottie E. 174 W 82d..Manhattan L A. 165
 Smith, C E and C A. 134 E 18th..M Simons. 1,000
 Smith, Emma. 45 E 123d..Nat L A. 150
 Slattery, M M. 311 E 84th..S Baumann. 122
 Squires, E G. 110 W 74th..J E Michel. 570
 Sandford, G M. 363 W 58th..Cowperthwait. 503
 Simpkins, Mable. 923 6th av..Cowperthwait. 203
 Sullivan, Mamie. 209 E 88th..L Baumann. 133
 Turk, Ignatz. 314 E 83d..S Baumann. 111
 Tomlinson, J H. 66 E 101st..S Baumann. 119
 Taylor, Georgiana. 113 W 11th..Kings County L A. 200
 Taccardo, Patsy. 93 Grove..Cowperthwait. 149
 Titus, Mrs H T. 70 E 114th..Cowperthwait. 147
 Tracy, J H. 72 Morningside av..L Baumann. 328
 Thomas, E R. 7 W 26th..L Baumann. 231
 Trameh, Annie. 113 Macdougall..Cowperthwait. 130

Thompson, D P. 168 Willis av..Cowperthwait. 127
 Tuhey, M J. 750 Melrose av..Fidelity L A. 100
 Trust, E M. 45 W 52d..Cowperthwait. 129
 Young, J J. 306 W 40th..Weber W Co. Piano. 400
 Thompson, E H. 830 St Nicholas av..L Bau- 420
 mann. 420
 Valentine, Alice. 562 Hudson..S Baumann. 131
 Van Wie, Agnes M. 108 E 34th..L Baumann. 234
 Von Hagen, Rudolph. 128 E 86th..J Roth- 100
 schmid. 100
 Vance, N. 131 E 119th..L Baumann. 137
 Van Ness, Roy. 207 E 52d..L Baumann. 209
 Vanni, Annie. 28 W 5th..Equitable L A. 103
 Van Court, Virginia. 107 E 20th..Garvey 102
 Bros. 102
 Weiss, Minna. 240 W 102d..Fisher Bros. 309
 Wiseman, Alonzo. 17 W 112th..M Lion. 203
 Wolf, N H. 1203 5th av..J Gregg & Co. 215
 Wechsman, Minna. 63 2d av..L Baumann. 193
 Worms, Cath. 116 W 70th..L Baumann. 139
 Weiler, M S Aug. 201 W 111st..S Baumann. 123
 Waxman, Ray. 330 E 72d..S Baumann. 141
 Wilson, Annie. 333 W 24th..Cowperthwait. 409
 Wiegand, Minnie. 200 W 129th..L Baumann. 151
 Winterfeld, Rose. 124 E 116th..L Baumann. 240
 Wing, A H. 434 Central Park West..J Lewin 171
 & Co. 171
 Williams, R. 52 W 51st..S Baumann. 109
 Werner, Helen. 358 E 124th..L Baumann. 123
 Woolverton, Annie. 119 Bank..Cowperthwait. 141
 Wood, J. 117 E 84th..J Lewin & Co. 134

BILLS OF SALE.

Bennett & Gompper. 241, 243 and 245 Centre.. 1
 Bennett & Gompper Co. Soda Fixtures. 1
 Bianchi, Saml. 80 E Broadway..M Edelson. 140
 Bakery Fixtures. 140
 Bonick, Herman. 79 W 52d..Saml Bolnick. 500
 Tailor Fixtures. 500
 Burns, Leontine. 173 Willis av..F Frirer- 325
 Smaasen. Grocery Fixtures. 325
 Byrne, John. 120 Christopher..F J Malone. 350
 Grocery Fixtures. 350
 Carpenter, Margt L. 219 W 34th..Van Tassel 555
 & Kearney. Wagons. 555
 Conetti, D. 214 E 2d..N Di Chiara. Barber 200
 Fixtures. 1/2 interest. 200
 Cronson, Beruna. 135 Wooster..E I Kelhei- 665
 ner. Machines. 665
 Driaman, Adolph. 62 Broome..Dora Drillman. 1
 Stock, Fixtures, &c. 1
 Eyles, John. 4770 3d av..T E Kampe. Bak- 300
 ery Fixtures. 300
 Flacarssein, Jos. 185 13th, Jersey City..J 1
 Zehner. Bakery Fixtures. 1
 Gasne, C and G. 93 Monroe..Simon Gasner. 75
 Barber Fixtures. 75
 Gibbs & Williams Co..F L Underwood. Con- 1
 tracts, &c. 1
 Guinet, J P. 508 E 14th..P Alesso. Grocery 120
 Fixtures. 120
 Gully, Jos. 10th and Av A..T P Smith. 1,000
 Saloon. 1,000
 Gorikov, G A. 1733 Lexington av..J Pick. 1
 Drug Fixtures. 1
 Harlock, W. 115 Broadway..Hale Co. Office 1
 Fixtures. 1
 Healy, A S & Co. 33 Wall..Hale Co. Office 1
 Fixtures. 1
 Harburger, Hy. 334 8th av..J Mertz. Res- 500
 taurant. 500
 Indelli, Clementa. 113th st and East River.. 1
 Frank Indelli. Hoises, Trucks, &c. 1
 Juskovitz, Hy. 105 and 107 Columbia..Emil 1
 Juskovitz. Tailor Fixtures. 1
 Juskovitz, Hy. 109 Av C..Juskovitz & Felder. 1
 Shoe Store Fixtures. 1
 Jonach & Harned. 86 Fulton..L de Jonge & 1
 Co. Machinery, &c. 1
 Jerome, Louis. 180 6th av..J B Eddleman. 675
 Restaurant. 675
 Kosofsky, Joe. 151 Orchard..Seltzer & Sobel. 2,000
 Shoe Store Fixtures. 2,000
 Katz, Sam. 68 Hester..J Gruber. Machinery. 1
 Luhrs, John. 1 E 125th..Julia Luhrs. Con- 1
 fectionery Fixtures. 1
 Same. 2256 7th av..same. Interest in Chat- 1
 tel Mortgage. 1
 Matera, Anstate. 36 Spring..G Pinto. Bar- 300
 ber Fixtures. 300
 Moran, Bridget. 69 3d av..E C Pewtress. 1
 Laundry Fixtures. 1
 Milone, Vincenzo. 2440 8th av..C Piazzalunga. 500
 Barber Fixtures. 500
 Mellillo, Giuseppe. 13 Thompson..A Cefalo. 400
 Grocery Fixtures. 400
 May, Jacob. Storage..L G Macdermott. Fur- 2,000
 niture. 2,000

O'Keefe, rat A. 159 W 10th..Arthur O'Keefe. 300
 Grocery Fixtures. 72 interest. 300
 Same. 51 Jackson..J McCarthy. Grocery 100
 Fixtures. 100
 Ryan, Jacob. 1733 Lexington av..S Bernstein. 1,800
 Drug Fixtures. 1,800
 Tupper, Ed. 421 E 72d..A Eeesterreicher. 3,200
 Kitchen. 3,200
 Fontana, Louis. 34 Market..S H Lande- 150
 berg. Stock and Fixtures. 1/2 interest. 150
 Phillips, Buckley & Wooster..W Appel. Bi- 250
 gins, &c. 250
 Rosenthal, E. 2242 1st av..A Friedlander. 1
 Cigar Fixtures. 1
 Siegel & Epstein. 945 Columbus av..S Jack- 400
 son. Cigars, &c. 400
 Strauss & Newman. 494 Broadway..P Lagro. 1
 Machinery. 1
 Stry, Levine. 223 E 75th..S Sandolsky. Gro- 300
 cery Fixtures. 300
 Schein, Moritz. 342 Lenox av..Oscar Schein. 1
 Cigar Fixtures. 1
 Schmidt, E. 66 Broadway..Hale Co. Office 1
 Fixtures. 1
 Turro, Tony. 211 Grand..John Turro. Bar- 500
 ber Fixtures. 500
 Treiber, Wilhelm. 1644 2d av..J Beck. Bak- 1
 ery Fixtures. 1
 Weber, Chas. 470 E Houston..Carolina 250
 Weber. Harness Fixtures. 250
 Wooster, John. 1604 Broadway..F E Buck- 100
 ley. Cycle Fixtures. 100
 Waus, Peter..Euz Walls. Machinery, Pile 800
 Driver, &c. 800
 Zorn & Miller. Baychester..M Stark. Boats, 1,000
 &c. 1,000

ASSIGNMENTS OF CHATTEL MORTGAGES.

J E Linde Paper Co to F C Goppoldt. (Mort 403
 given by Muller & Sweet, Dec 30, 1898.) 403
 Galetta, Antonio to E Esposito. (C Capone.) 103
 Manges Bros to E Friedlander. (Agnes Fox, 198
 Sept 16, 1899.) 198

SATISFACTION OF CHATTEL MORTGAGES.

Name	Amount	No.
Addeo, Rosa to Forlano Federno..	\$235	38,236
Archer Mfg Co to Urigo & La Sala. (Contract dated Aug 2, 1899.)	49,374	
Barsien, Ida to Abr Klinskowstein. (Apr 18, 1899)	750	20,000
Bischoff, Fied to Leontine Bur- 249	35,552	
Bavarian Star B Co to John Mc- 1,000	27,337	
Bullinger, Geo W to Steve W Floyd 53,104		
Colonial Bwy to Leonard B Quinn 1,500	46,523	
Brewer, Johanna to Moritz Fried- 10,639		
man. 10,639		
Excelsior Brew Co to Nicholas T 600	21,643	
Mottolo. (Apr 25, 1899) 209	24,741	
Same to same. (May 11, 1899) 1,145	40,415	
Engel, P to Patrick O'Toole. 400	42,807	
Fedman, David to Sol Juskowitz. (Aug 23, 1899) 400	10,134	
Ficken, John D to Chas K Marx.. 850	43,134	
Fox, Cornelia A to Carl C Riotte. 21,356		
Greg, Joshua & Co to Geo A 300	19,679	
Bloomfield 14,493		
Goldstein, Saml and Mayer to Saml 1,152		
Wassiansky. 750	17,227	
Paul, Pasquale to Antonio Sperlaz- 1,225	51,593	
za. 3,869		
Rosenblatt, Sheva to A Fried- 1,375	13,271	
lander. (Mch 4, 1899) 5,003	12,228	
Rothschiller, Jacob to Jacob Nick- 2,750	53,166	
el. 5,147		
C Riegers Sons to John Goett. 500	53,819	
(Oct 6, 1899) 3,000	25,113	
Rossal, Max to Salomon Rosenthal. 62,163		
3,869 1,950	34,011	
Ruttenber, Rena L to Diedrich H 1,950	34,011	
Foster 5,003	12,228	
Reinert, Charles to Emma Fried- 2,750	53,166	
mann 5,147		
Roth, Isaac to Patrick Fitzpatrick. 500	53,819	
Treanor, Julia to Owen Treanor.. 3,000	25,113	
Williams, Francis A to F St Omer 62,163		
Ry. (Oct 11, 1898) 1,950	34,011	
Woolson, Sadie E to Alvis Morgen- 1,950	34,011	
thaler 62,163		
William, Johan to Hugo Atmacher 1,950	34,011	
Witt, Wolf to Emanuel Witt. 1,950	34,011	

Westchester County Conveyances.

Oct. 11 to 17—Inclusive.

MAMARONECK.

Judson, Cyrus F to James B Vreeland. Lot 5 1
 map L I Sound L & I Co. \$1
 McCabe, Wm F to Nelly V B Clapp. Lot 260 1
 e of Mamaroneck av, 29x36x14x37. 1
 Scherer, Alfred to Elise Scherer. Boston Post 1
 rd, s s, lot 14 map Rushmore, sub div. 1

Selz, And. J to Edward P Folger. The Walsh 75
 salt meadow, 1/2 acre. 75
 Same and ano to Post Road Coal & Lumber Co. 4,000
 Boston Post road, s s, also the Walsh salt 4,000
 meadow. 4,000

MOUNT VERNON.

Bard, Wm H et al, G C Appel, ref, to Leonora 2,007
 C Hall. 14th av, e s, n 1/4 lot 998 map Mt V. 2,007
 25x105. 2,007
 Efferen, Louise, exr of to Karoline Gundlach. 2,500
 North st, n s, 63 w 4th av, 3x100. 2,500
 Goodwin, Frank to Kate M Smith. Cottage av, 1
 w s, 150 s Sidney av, 60x112. 1
 Miner, John to Julius Jacoby. Centre st, 1
 n s, lots 21 to 24, block 2, map properly Cow- 1
 an et al. 1
 Moore, Bessie to Geo A Ford. Summit av, e 1
 s, lot 87 map Chester Hill, property Forster 1
 et al. 1
 Mutual Life Ins Co to Heyman Harris. Jeffer- 1
 son st, n s, 250 w Columbus av, 575x—. 1
 O'Neill, Eliz to Geo Howard. 4th av, w s, n 15,000
 1/4 lot 351 map Mt Vernon, 25x105. 15,000
 Smith, Samuel W B to Frank Goodwin. Cot- 1
 tage av, w s, 150 s Sidney av, 60x112. 1
 Todd, Mary J to John L Elper. 2d av, e s, 25
 lot 131 map Mt V, 100x125. 25

NEW ROCHELLE.

Benjamin, Eugene S to Jeanette H Block. 1
 Meadow lane, w s, lot 184 map Residence 1
 Park, 70x130. 1
 Gray, Milton C to Patk Green. Lot on Hutch- 1
 inson Creek, 20 r of Union Cor's rd, 1 acre. 1
 Iselin, Adrian Jr to Mary E Miller. Poplar pl, 1
 n s, lots 123, 124 and 128, map Residence 1
 Park. 1
 Keefer, Henry and ano to Mary C Murphy. 1
 East 1/2 lot 21 map Sickles Estate. 1
 Same to Patk Murphy and ano. West 1/2 same 1
 lot. 1
 Northern B, S & L Assoc to Philip Wood. Lots 1
 13 and 14 sec L map Highland Park. 1
 Riley, Margt L to John Q Underhill. Plot adj 1,000
 Jas A Grenzbach and grantee. 1,000
 Rittenbush, Herman A to Harry Wirth. Union 1
 av, n e cor Av A, 50x80. 1
 Smith, Cornelia to Jeanette H Block. Liberty 9,100
 av, e s, lots 41a, 44, 45a, 45, and 45b map 9,100
 Residence Park. 9,100
 Underhill, John Q to Anna B Underhill. Church 1
 st, e s, 50x142.6. 1
 Ward, Clarence D to Philip Wood. Lot 8 block 1
 S map Highland Park. 1

PELHAM.

Parkinson, Robt to Esther A Rodman. Pros- 1
 pect av, s e s, 100 s w Peace st, 200x200. 1

YONKERS.

Ball, Emma K to Peter H Cram. Grant av, 8,500
 n s, parts lots 42, 43 and 44 block 15 map 8,500
 Yonkers Park Assoc. div. 1, 62 6x115. 8,500
 Barnes Real Estate Assoc to Harry Woodhouse. 1
 Warburton av, w s, adj grantee, 120x—. 1
 Continental Realty Co to Binghamton Trust 1
 Co. Lot 6, 14 to 28, 25 and 28 to 33 block 1
 42; lots 2, 3, 5, 10 to 19 and 22 to 59 block 1
 43; lots 1 to 5 and 8 to 12 block 44 map of 1
 Nepera Park. 1
 Duden, Sorhie to Joseph Zehner. Lot 68 map 500
 Bronxville Park. 500
 Krochmal, Julia to Spencer K Sutherland. In- 800
 gram st, n s, 134.10 e Madison av, 25x100. 800
 Lawrence, Fannie E to The American Real Es- 1
 tate Co. So Waverly st, w s, 100 s Herriot 1
 st, 100x118. 1
 Mackey, Geo D to Lilie H Seaman. Tract on 17,000
 Robert Lane and Hudson Terrace. 17,000
 Noble, Chas L to James N Smith. Lot 12 block 1
 5 map Yonkers Heights. 1
 Richards, Mary F and ano to Melissa Jackson. 1
 Glenwood av, n s, 168 w Park av. 50x141.5 1
 Shaen, Mary C and ano to Ernest B Winter- 1
 smith. St Andrews pl, s s, 100 w So Broad- 1
 way, 50x125. 1
 Shonnard, Fred et al, F X Donoghue, ref, to 25,000
 Edward C Moore, Jr. Palisade av, s e cor 25,000
 Shonnard pl, 807x449. 25,000
 Sutherland, Spencer K to Michael Fraher. In- 775
 gram st, n s, 134.10 e Madison av, 25.2x100. 775
 Truman, James C to Antonio D Dominicus. Lots 1,000
 30 and 31 block 33 map Nepera Park. 1,000
 White, Lucy E to Samuel G Douglass. Lot 39 550
 map Sherwood Park. 550
 Weiland, Wm and John A Schmid. Hawthorne 1
 av, e s, 153 s Bechstein pl, 70x135. 1

Questions and Answers

NO POWER OF SALE IN WILL.

To the Editor of the RECORD AND GUIDE:

Kindly give opinion as to liability in the following case: A, as sole executor of an estate, gives to broker B price, terms, etc., on which the estate will sell certain property. Being asked by broker B if he had power to sell, said he had. Broker B finds purchaser able and willing to buy. Parties meet with contract ready to sign, buyer having certified check and being otherwise prepared to sign contract. Purchaser's lawyer asks for executor's authority to sell. He thereupon produced copy of will, which made him sole executor, but gave him no power of sale. Can the estate be held for broker's commission?

Answer.—No, but the executor can be held personally.—Law Editor.

COMMISSION ON LOAN.

To the Editor of the RECORD AND GUIDE:

The following recently appeared in your columns: "Kindly advise me what the legal commission is on mortgage loan placed on New York city real estate in the absence of any other agree-

ment, either verbal or in writing, between the parties.—Answer.—One per cent on the amount of the loan." What is your authority for above? Revised Statute says one-half of one per cent.

Answer.—By chapter 467 of laws of 1895 the revised statutes were amended by inserting the words "except on real estate security." Since that time the rate of commission has been determined by the "custom of the trade," and as I am informed by leading brokers is, as stated, one per cent on the amount of the loan.—Law Editor.

PROTESTED NOTE.

To the Editor of the RECORD AND GUIDE:

Under the same initials of F. K., I, a contractor, by name A, do work for B. B owes me \$50. He gave a note in payment, payable at 12th of September last. B did not pay said note, and said note went to protest. How much interest is allowed to A on said note; also is A allowed all his extra fees, expenses, etc.?

Answer.—Interest at 6 per cent, and protest fees, and if suit is brought, the costs of suit are allowed.—Law Editor.

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AUCTION SALES OF THE WEEK.

The following are the sales that have taken place in the city auction rooms during the week ending Oct. 19, 1899.

*Indicates that the property described has been bid in for plaintiff's account:

T. A. KERRIGAN.

*Macon st, n s, 300 e Throop av, 20x100, brk dwell'g. Robert Hayes admr. (Amt due \$2,511, and taxes, &c, \$352; prior mo.t's \$3,500.) 4,000

*66th st, s s, 100 w 12th av, 60x100, frame dwell'g and vacant. Benjamin Andrews. (Amt due \$1,455, and taxes, &c, \$49) 1,000

Livonia av, s e cor Vesta av, runs e 200 to Snediker av, x s 240 x w 100 x s 20 x w 100 to Vesta av, x n 200 to beginning, vacant. Samuel U Bailey. (Amt due \$2,405, and taxes, &c, \$135) 2,500

*Park pl, No 619, n s, 231.3 w Franklin av, 18.9x103. John M Halsted and ano. (Amt due \$4,427, and taxes, &c, \$169; prior mo.t's \$2,700) 5,500

*Bradford st, No 172, e s, 125 n Pitkin av, 25x100, frame dwell'g 2,500

Miller av, No 281, w s, 125 n Pitkin av, 25x100, frame dwell'g 2,500

Dorothea Kuttner. (Amt due \$2,942, and taxes, &c, \$265) 2,500

53d st, No 166, s s, 135 w 3d av, 17.6x100, frame dwell'g. Elizabeth Decker. (Amt due \$2,953, and taxes, &c, \$90) 2,900

Bay 16th st, n w s, 500 s w 86th st, 50x96.8. Mary A Swanton. (Amt due \$3,456, and taxes, &c, \$401) 3,900

4th av, No 521, s e cor 14th st, 50x97.10, frame dwell'g and vacant. Samuel N Bailey. (Amt due \$2,297, and taxes, &c, \$425; prior mo.t's \$3,500) 4,000

*Fulton st, Nos 1071 and 1073, n s, 48.11 w Classon av, runs n 76.4 x w 27.2 x n w 7.2 x s 65.4 to Fulton st, x s e 35, two frame bldgs. The City Savings Bank of Brooklyn. 5,000

4th av, No 575, e s, 63 n Prospect av, 20.4x78.5x18.8x76.7, frame dwell'g. G E Apel. (Sub to taxes, &c.; partition sale) 1,225

JAMES L. BRUMLEY.

9th st, No 143, n s, 358.4 w Court st, 25x100, frame dwell'g. William J Gillen. (Sub to taxes, &c, \$88; partition sale) 6,850

Dean st, No 1354, s s, 50 e Brooklyn av, 45.6 x 100 brk dwell'g. Thos Potts. (Amt due \$12,880, and taxes, &c, \$833) 15,500

WILLIAM P. RAE CO.

Cumberland st, No 379, w s, 396.10 s Fulton st, 25x100, frame bldgs 6,300

Gates av, No 439, n s, 322 e Nostrand av, 17.2 x 100, brk bldg 6,300

Max Lang 6,300

JERE JOHNSON, JR., CO.

53d st, No 140, s s, 80 e 3d av, 20x100.2, 3-sty frame flat. John M Stout 2,500

44th st, No 222a, s s, 133.8 w 4th av, 15x100.2, 3-sty frame flat. Mrs Rese Dinsmore 2,500

TAYLOR & FOX.

Vernon av, No 252, s s, near Sumner av, 20x95, 3-sty and basement stone dwell'g. Michael P Harden 6,950

South 4th st, No 387, n s bet Hooper and Hewes sts, 25x95.2, 3-sty frame flat. William Dick 3,050

Kent av, Nos 58 and 60, w s, 66 s North 11th st, 44x100, two 2-sty frame dwell'gs. M. Woods 3,600

Woo'bine st, No 188, n s, near Central av, 25 x 100, 2-sty frame dwell'g. C J McGinnis 2,600

Ten Evck st, No 181, n s, near Humboldt st, 25x100, 3-sty frame flat. Same 3,025

De Kalb av, No 1415, n s, near Knickerbocker av, 35x100, 2-sty frame dwell'g and store. Jno B Peck 3,100

Total 88,800
Corresponding week 1898 \$179,635

ADVERTISED LEGAL SALES.

Sales to be held at the Real Estate Exchange, 189 and 191 Montague street, except as otherwise stated.

Oct. 24.

By T. A. Kerrigan, at No. 9 Willoughby St.
45th st, s s, 300 e 5th av, 30x100.2, frame dwell'g. James H Brown exr agt Andrew D Brown et al; G C Case, att'y. 189 Montague st. (Amt due \$2,137, and taxes, &c, \$249.)

McKibben st, No 183, n s, 175 e Humboldt st, 25x100, frame tenem't. Chas Ganzie, guardian agt Josephine M Hausmann and ano; Chas Reinhard, att'y. 756 Flushing av. (Amt due \$968, and taxes, &c, \$282; prior mo.t's \$3,000) 24th av, n w s, 500 s w Benson av, 60x193.4 to Bay 35th st, vacant. Thos S Jenkins agt Thos J Kenna et al; Geo Eckstein, att'y. 25 Court st; Chas W Church, Jr, ref. (Amt due \$3,318 and taxes \$170.)

Oct. 25.

By Referee at Court House.

Halsey st, No 758, s s, 130 w Ralph av, 13x100, brk dwell'g. Trustees of the Sustentation Funds of the Reformed Episcopal Church agt Richard Muldowney et al; W C Anthony; att'y. Newburgh, N Y; S W Fullerton, ref. (Amt due \$4,966.)

Oct. 26.

By T. A. Kerrigan, at No. 9 Willoughby St.
Jefferson av, No 176, s s, 100.3 w Nost and av, 19.9x100, brk and stone flat. Kings County Co-operative Building and Loan Assoc agt Geo C Keyburn et al; J L Branch, att'y. 31 Nassau st, Manhattan. (Amt due \$5,025 and taxes, &c, \$380.)

Snediker av, n e cor Livonia av, runs n 240 x e 100 x s 140 x e 100 to Hinsdale av, x s 100 to Livonia av, x w 200, vacant.

Snediker av, e s, 100 s Livonia av, 100x200 to Hinsdale st, vacant.

Henry Roth agt Alex F Wacker et al; M Hallheimer, att'y. World Bldg, Manhattan. (Amt due, \$3,861 and taxes, &c, \$985)

31st st, No 182, s s, 150 e 4th av, 25x100.2, frame buildings. Harriet E Dunn agt Edward Burke et al; G W Pearsall, att'y. 49 Court st. (Amt due \$791 and taxes, &c, \$150.)

Atlantic av, No 1625, n s, 350.6 e Troy av, 13.8 x 93, frame bldg. Chas C Savage agt Frederic S Allen et al; E Smith, att'y. 31 Nassau st, Manhattan. (Amt due \$2,339 and taxes, &c, \$122.)

Oct. 27.

By T. A. Kerrigan, at No. 45 Broadway.

Linden st, No 190, s e s, 133.10 s w Hamburg av, 16.10x100, frame dwell'g. The Williamsburgh Savings Bank agt Helen J Nelson et al; S M & D E Meeker, att'ys, 13 Broadway. (Amt due \$1,899 and taxes, &c, \$86.)

LIS PENDENS.

Oct. 13.

Surf av, n s, at w s old lot 38 common land of Gravesend, runs w 14 to West 25th st, x n 10) x w 30 x s 101 to av, x v 103.11 x n 333.8 to N Y & C I R R, x e 84 x s 100 x e 50 to West 25th st, x n 140 to sad R R, x e 13.4 x s 372.10 to beginning.

Merraid av, s s, 22.8 w West 25th st, runs s 30.3 to N Y & C I R R, x w 152.4 x n 393.5 to av, x e 148.10.

Merraid av, n s, 23.7 e West 25th st, 74.5 x 100, lot begins at w s said lot 33 and 120 n Merraid av, runs n — to Gravesend Bay, x w 74.5 x s 120 to av, x e 74.5 to beginning.

Kath A Beers agt Barney Mihaels et al; to adjudge instruments to be mortgages; att'ys, Guggenheimer, U & M.

Clystal st, w s, 25 n Belmont av, 25x100. Marcus Sackett and ano trustees of Henry W Lee will of Frederick R Lee agt Peter G Kerr et al; att'ys, Sackett & L.

Thatford av, w s, 230 n Livonia av, 25x100. Mary J Wadsworth agt Annie Campton and Earl A Gillespie; att'ys, Sackett & L.

York st, No 129, n s, 25x137. Edward McMahon agt John McMahon et al; partition; att'y, H M McKean.

St Nicholas av, s e cor Hart st, 100.90. Henry Roth agt H Jordon Naylor et al; att'y, M Hallheimer.

Oct. 14.

South 21st st, s s, 80 e Roebling st, 20x80. Albert Spencer agt Edmund Heuring et al; att'y, E Kempton.

Lexington av, n s, 174.6 e Nostrand av, 25x100. Mutual Life Insurance Co agt Theodore I W Cornwell et al; att'ys, Russell & P.

Oct. 16.

Carroll st, n s, 116.5 e 5th av, 2 lots, each 17.3 x 100. Mutual Life Insurance Co agt John E Risley; 2 actions; att'y, W Rasquin, Jr.

Carroll st, n s, 306.8 e 5th av, 17.3x100. Same agt same.

Carroll st, n s, 341.3 e 5th av, 2 lots, each 17.4 x 100. Same agt same; 2 actions.

Carroll st, n s, 393.3 e 5th av, 2 lots, each 17.4 x 100. Same agt same; 2 actions.

Carroll st, n s, 462 e 5th av, 17.4x100. Same agt same.

Fulton st, n w cor Classon av, runs n 90.9 x w 8 x s w 41.7 x again s w 40 to Fulton st, x s e 31.5. Same agt John C Stewart et al; att'ys, Townsend & McClelland.

3d av, w s, 66.10 s 42d st, 16.8x100. Cath L McCollum agt Michael Schloer et al; att'y, J P Morris.

Oct. 17.

Dean st, n s, 140 e Brooklyn av, 20x107.2. D Percy Higgins by Ella E O'Hara guard agt Cath C and Francis H Pearsall; to set aside deed; att'y, W A Sweetser.

Halsey st, n w s, 265 n e Broadway, 20x100. Valentin Mazzini and ano agt Jane R Reardon et al; att'y, F J Greifenstein.

Lafayette av, s e cor Ashland pl, runs e 22.1 x s 45.1 x e 22.6 x s 20 x w 45 to pl, x n 115.1. Almon Gunnison et al trustees Cu tis B Low-e re agt Mary C Law et al; att'ys, Harris & Co.

20th av, s e s, 420 n e Benson av, 60.06.8. Clinton D Burdick exr Bernard Cruse agt Frances M Hunold; specific performance; att'y, F G Wild.

Kent av, e s, 92.4 n Broadway, —x92.6. Frederick W Wurster and Charles W Schluchter, firm Frederick W Wurster & Co, agt Wm W Amfield; specific performance; att'ys, Burr, C & W.

Putnam av, n s, 180 w Sumner av, 17x100. Emillie W Dana agt Sarah J Evans et al; att'ys, Hand, B P & J.

Quincy st, s s, 100 e Reid av, 72x110. Chas W Trustlow trustee William Wall et al agt Chas H Doremus et al; att'y, W D Murray.

Columbia st, n w cor Warren st, 46x80x41.9x 80.1.

Warren st, n s, 80.2 w Columbia st, 23.4x83.10 x 23.4x83.2.

James Barber agt Hugh A McTernan et al; att'y, T L Carman.

Wallabout Bridge road, s s, 79.3 e Walworth st, 26.5x97.6x25x106. Leopold Michel et al agt Valentine Fleckenstein et al; att'y, N J Harris.

East 13th st, e s, 420 s Av I, 40x100. Anton Andersen agt Susie E Durland and ano; to foreclose mechanic's lien; att'y, G L Allin.

Pitkin av, n e cor Sackman st, 25x100. Margt A Helme agt Owen Caulwell et al; att'y, A H Wagner.

Pitkin av, n s, 43.9 e Sackman st, 2 lots, each 18.9x100. Same agt same; 2 actions.

Leonard st, s e cor Frost st, 25x100. Alfred C Cousen agt Frank C Vaughan et al; att'y, A C Courson.

3d av, e s, 20 s Baltic st, 2 lots, each 23.8x83. Mutual Life Insurance Co agt Eliz J Conklin et al; 2 actions; att'ys, Townsend & McClelland.

St Nicholas av, s cor Stanhope st, 25x90. Christine Saxe and ano exs Joseph Saxe agt Christine Saxe and ano exs Joseph Saxe agt John Bosch et al; att'y, C J Kracht.

Oct. 18.

Berkeley pl, n s, 134 e 6th av, 2 lots, each 20.10x100. Metropolitan Life Insurance Co agt James A McMillin et al; 2 actions; att'ys, Ritch, W B & W.

Oct. 19.

St Marks av, s s, 100 w Ralph av, 20x100. Laura F Nadall agt Frederick Buchar et al; att'y, I N Sievwright.

Miller av, e s, 100 s Glenmore av, 50x100.

Essex st, w s, 34.0 n Liberty av, 2 lots, each 25x105.3.

Augustus C and Mary Braun agt Caroline Langhorst formerly Veit; attachment; att'y, J C Meinzer.

Grove st, n w s, 500 s w Central av, 25x100. Francis B Williams admr Francis B Williams agt Wm J Hopkins et al; att'ys, Burr, C & W.

Greene av, n s, 40 e Vanderbilt av, 20x68.2. Maggie B Lacey exrtr Frederick Lacey agt Henry B and Ada B Mersereau; att'ys, Man & Man.

3d av, e s, 30 n 34th st, 3 lots, each 25x75. Mabel A Roby agt John Amann et al; att'ys, Roby & T.

Livingston st, s s, 116.7 w Nevins st, 20x100.9. Jefferson av, n s, 40 w Ralph av, 50x100.

May C G Ford indivd and exrtr Mary E Gardiner agt Louise Burton et al; partition; att'ys, Judge & D.

Herkimer st, s s, 54 w Bancroft pl, 18x80. Bushwick Co-operative Building and Loan Assoc agt Arthur R Jarrett et al; att'ys, Judge & D.

New Lots road, n s, 26.6 e Stone av, 17.7x84.5x 16.8x90.3. Stephen P Sturges agt Mary E Huston et al; att'y, S P Sturges.

Dean st, s s, 125 e Rockaway av, 25x107.2. Ruth Van Sise agt Lewis Hurst et al; att'y, C V Washburn.

BOROUGH OF BROOKLYN.

CONVEYANCES.

Whenever the letters Q. C. and C. a. G. are preceded by the name of the grantee they mean as follows:

1st.—Q. C. is an abbreviation for Quit Claim deed, i. e., a deed in which all the right, title, and interest of the grantor is conveyed, omitting all covenants and warranty.

2d.—C. a. G. means a deed containing Covenant against grantor only, in which the covenants that he hath not done any act whereby the estate conveyed may be impeached, charged or encumbered.

October 13, 14, 16, 17, 18, 19.

Adelphi st, e s, 100.5 n Greene av, 20x100.
Interior lot, beginning 100 e Adelphi st and 101.8 n Greene av, runs n 20 x e 28.2 x s 20 x w —.

Interior lot, beginning 128.2 e Adelphi st, runs n 41.5 x w 28.2 x s 41.5 x e 28.2.

Interior lot, beginning 100 e Adelphi st and 307.10 s Lafayette av, runs e 28 x n 16.2 x w 28 x s 16.2.

Adelaide B Stanton exrtr Philip V R Stanton and Evelyn S Murray, Philip and Helen A Stanton, Addie M Dreissigacker to Adelaide B Stanton. 441.75

Adelphi st, No 196, w s, 50.11 n Willoughby av, 24.10x100, h & l. Wm J and Regina A Flynn to Mary C Flynn. Correction deed, nom Alphearle road, s s, 50 e East 17th st, 50x150. Geo H Roberts to Cleveland Litchfield. nom

Bainbridge st, s s, 120 e Stuyvesant av, 20x100. Walter F Clayton to Melvin W Gushee. Mort \$5,000. nom

Bainbridge st, s e cor Hopkinson av, 23.7x100, h & l. James F McGroarty and Matthias T Reynolds to Josephine A Reynolds. All liens. 10,500

Same property. Isaac N Sievwright assignee Matthias T Reynolds to James F McGroarty. All title. 65

Bainbridge st, No 443, n s, 198 e Howard av, 22x100. Sarah M Ross
 widow to Panteleon L Candidus, Jr. Mort \$1,600. nom

Baltic st, s s, 315 e 4th av, 12.6x55.10. Aclelaide E Bushnell to Thos
 Burrell. nom

Bergen st, n s, 335 e Buffalo av, 20x107.2, h & l. Katie Keaver to
 Geo E Barrett. 1,000

Bergen st, n s, 225 w Grand av, 25x110. Mary A Engeman to
 Gerardo Occhifino. Mort \$1,400. 2,300

Berrinam st, w s, 100 s Glenmore av, 25x100, h & l. Wm C Canning
 to William Kemm, Peetsburgh, N J. exch

Beverly road, s w cor East 15th st, 50x100. Release mort. Frances
 T Ingraham to John Parkin. 1,375

Same property. Release mort. Fredk R Franke to same. 500

Bradford st, e s, 60 s Sutter av, 60x100.

Bradford st, e s, 160 s Sutter av, 80x100.

Jacob H Roberts to Wm R Pearce, Jersey City, N J. Mort \$25-
 640. nom

Bradford st, e s, 60 s Sutter av, 60x100.

Bradford st, e s, 160 s Sutter av, 80x100.

Leonard B Crocker, Buffalo, N Y, to Herbert C Smith. Morts \$17-
 500. nom

Bridge st, No 131, e s, 75 s Prospect st, 25x75, h & l. Sender Feld-
 mark, New York, to Abram Samter. nom

Cambridge pl, w s, 255 s Greene av, 20x100. Henry C Bainbridge
 to Ida C wife said Henry C Bainbridge. nom

Carroll st, s w s, 60.1 n w 3d av, 20.2x74.10x20.1x76.8, h & l. Meta
 Freidden widow to Nicola and Josephine Falcone tenants by entiere y.
 Morts \$2,400. 4,700

Carroll st, s w s, 40.3 n w 3d av, 19.10x76.8x19.9x78.7. Release mort.
 N Park Collin and Geo H Roberts, Jr, to Meta Freidden. nom

Same property. Release mort. Geo H Roberts to same. nom

Chauncey st, n s, being lot 17 block 4 map Hunterfly road, 9th
 Ward, 25x49.9x25x49.

Interior lot, 49.9 n Chauncey st and 400.2 e Patchen av, runs n to
 centre line Brooklyn & Jamaica plank road x e 25 x s 33 x w 25.
 August L Gruschow to Margaretha Kohlhepp widow. Mort \$600.
 nom

Columbia st, No 315, with property on n s. James J and Patrick
 Dunphy with Nils G Kant. Party wall agreement.

Columbia st, No 317, with property on n s. Daniel Kelly with Jas
 J and Patrick Dunphy. Party wall agreement.

Congress st, s s, 80 w Columbia st, 22x83.10.

Congress st, s s, 102 w Columbia st, 22x82.6x22x83.2, hs & ls.
 Rosella O'Brien, formerly O'Neil, and Catherine O'Neil to Frank M
 Scott. 7,900

Congress st, s s, 120 e Henry st, 20x75.2 to Verandah pl x20x73.11.
 Foreclos. Henry M McKean to Morris Building Co. 4,000

Cooper pl, w s, 121 s Herkimer st, 17.3x97. Jacob Staats and Michl
 Dellneier to Patrick J Gorman. 2,600

Covert st, centre line, n s, 305 e centre line Knickerbocker av, 80x
 130. Release mort. Harriet H Petty to Charles Welcher. 1,000

Same property. Charles Welcher to Saml H Coombs. nom

Cranberry st, No 63, n s. John Hughes to Hannah Conity. C A G.
 1,500

Dean st, n s, 435 e Franklin av, 35x100. Addie M and Geo H Cook
 to John N Stearns. Mort \$10,000 and taxes. nom

Dean st, s s, 118 w Buffalo av, 16.6x107.2. Foreclos. Frank
 Creamer to Helen E Wardwell, Stamford, Conn. 1,500

Decatur st, n w s, 149.6 s w Bushwick av, 0.6x10.5. George Baust to
 Charles Welcher. Q C. 350

Decatur st, s s, 54.11 w Broadway, runs s 56.1 x n 44.4 x w 20 x n
 100 to st x e 26. Foreclos. Geo E Miner to Mary K Gibbins. All
 liens. 12,000

Decatur st, s s, 193.7 e Sumner av, 18.9x100, h & l. Augustus F Gard-
 ner to Lucy A Elliott, Cranford, N J. Morts \$5,350. nom

Deeraw st, s s, 115 w Clinton st, 25x100. Alfred T Drury to Mary
 E Drury. nom

Degraw st, n s, 160 e Hoyt st, 20x72x20.4x76.

Degraw st, n s, 240 e Hoyt st, runs n 71 x n w 100.9 x n 46.9 x e
 225 x s 30 x w 69.7 x s 100 to Douglass st x w 55.4. Sub to en-
 croachment.

Degraw st, n s, 332.10 w Bond st, 36.10x100.

Douglass st, s s, 212.6 e Hoyt st, 37.6x70.
 Chas E McDonnell, D D, to St Agnes R C Church. nom

Doscher st, w s, 180 s Pi kin av, 20x79.4, h & l. Frederick Hornby
 to Cath C wife Arthur P Webb. Mort \$1,500. nom

Douglass st, n s, 80 e Smith st, 20x100, h & l. Johanna E Schoe-
 maker to Edward Iavin. Mort \$2,500. nom

Downing st, w s, 328 s Gates av, 20x101.1, h & l. Gertrude A wife
 Richard L Walsh to Lucy J Mendez. nom

Eldert st, n w s, 140.3 n e Hamburg av, 20x100, h & l. Andrew J
 Fagereng to Franz Wibben. nom

Ellery st, n s, 160 e Marcy av, runs e 62.6 x n 100 x w 116.9 x s e
 31.7 x e 35 x s 75. Robert Wagner and Reinhold Boehringer to
 Henry Roth. Mort \$1,000. nom

Floyd st, s s, 90 w Tompkins av, 25x100. Henry Oser to Elise Oser.
 Mort \$5,000. 5,500

Fulton st, n s, 102.1 e Ashford st, 25.6x114.10x25x120. Ignatz Mar-
 tin to Annie Kessler. Mort \$4,500. nom

Garfield pl, s s, 140 w 5th av, 20x100, h & l. Walter R Lusher to
 Augustus F Gardner. Mort \$3,000. nom

Same property. Augustus F Gardner to Chas S Taber. Mort \$4,500.
 nom

Garfield pl, s s, 275 w 6th av, 19x100, h & l. Charles McLoughlin,
 Larchmont, N Y, to Wm L Dowling. Mort \$6,500. exch

Garfield pl, n s, 119 e 6th av, 28.6x134, h & l. Jennie M Kelly to
 James Moore. Mort \$8,750. nom

Glen st, s s, 122.9 e Euclid av, 22.9x100, h & l. Mary E wife James
 Bolton, Roycefeld, N J, to John Banker and Louise his sister joint
 tenants. B & S. C A G. Mort \$2,000. nom

Graham st, e s, 136 n Lafayette av, 70x99.5. Eugene, Francis, Bern-
 ard and John Coghlan children John Coghlan, Westmeath, Ireland,
 to Thomas Coghlan. Q C. nom

Graham st, e s, 136 n Lafayette av, 20x91.5. Thomas and John Kelly
 and Bridget Norris children Bridget Kelly, a sister Owen Coghlan,
 James P Kelly, John W and Martin Costello, Mary D McLynn,
 Thomas and John Coghlan to Matilda Holler. 2,300

Gravesend Neck road, n w cor East 16th st, 76x155x75x142.10.

East 16th st, w s, 240 s Av V, 20x75.

East 16th st, w s, 300 s Av V, 40x75.

East 16th st, e s, 100 s Av V, runs s 200 x e 100 x n 80 x e 0.1 x n
 w 127.8 x w 57.3.

Gravesend Neck road, n s, 42.3 w East 17th st, 51.6x119.6x58.5x
 103.1.

Gravesend Neck road, n e cor East 17th st, runs e 84.6 x n 82 x e 20
 x n 120 x e 71.7 x n 52.4 x s 184.8 to st x s 213.1.
 Geo H Magill and Frank G Walthers to Napoleon Du Brue, Cincin-
 nati, Ohio. 3,695

Hancock st, n s, 228 e Throop av, 19x100. Wilfred Burr to Joseph
 C Taylor. Mort \$7,000. nom

Hart st, n s, 40 e Nostrand av, 20x75. John A Waddell to Jessie A
 Waddell his wife. Mort \$3,500. gift

Henlock st, No 273. Wm H Baker with Mary E Mulligan. Agree-
 ment as to payment of taxes, &c, pending continuance of agree-
 ment.

Henry st, e s, adj land Austin P Stockwell, Coney Island, abt 1-6 acre.
 Hope M Corchies to Mary Rosenbaum. Q C. nom

Herkimer st, n s, 340 e Rochester av, 18.8x100. Marie Van Dyke
 Brown to Chauncey B Graham. Mort \$5,000, taxes, &c. nom

Himrod st, n w s, 139.7 n e Wyckoff av, 15x100. John Deinhardt to
 Oscar Weber. Mort \$2,200. See Snydam st.

Hort st, n e cor Wyckoff st, 20x90. Hermann H Krudop to Emily H
 Wilhelm. Mort \$5,600. exch

Hurlbold st, No 274. Emma Ulmer to Gustave Friedberger. Gen-
 eral assignment, especially as to rents to amount of \$700.

Java st, s s, 475 e Manhattan av, 25x100, h & l. Mary and William
 Crooke to Martha wife Christopher Treber. Mort \$1,300. 2,400

Jay st, e s, 300 n Willoughby st, 2 lots each \$25x107.6. Amelia I
 Eirkett to Matilda Patterson. Mort \$45,000. nom

Johnson st, s s, 47.3 w Fleet pl, 25x75, h & l. Emma L Souville and
 Ada W Wright to Henrietta Steffen. B & S. 2,450

Kerilworth pl, w s, 560 s Av G, 60x130x61.10x145. Carl O Hubach
 to Wm S Colver. nom

Kerilworth pl, n e s, 620 s e Av G, 40x100. Ella E Hall to Adolph
 Neef. nom

Leonard st, e s, 100 s Boerum st, 25x100, h & l. Annie Zirn to
 Samuel Cohen. Mort \$4,000. nom

Lincoln road, s s, 245 e Bedford av, 20x105. John Wilson to Fannie
 S Keane. Mort \$4,500. nom

Lozan st, e s, 146.6 n Glenmore av, 17.10x100, h & l. Annie Cam-
 pion, New York, to Barbara Brueckman. Mort \$1,600. nom

Lorimer st, e s, 25 s Jackson st, 25x100, h & l. Dorothea W Harz
 and Auguste Kolb children and heirs George Harz to Geo C W Harz.
 3,000

Lynch st, n w s, 200 s w Marcy av, 20x100, h & l. John D Smith,
 Newark, N J, to Annie Friend. Mort \$3,000. 3,800

Madison st, s s, 119 w Lewis av, 19x100, h & l. Isabelle G Price to
 Arrelia F Watson. Mort \$4,500. nom

Marion st, No 384, s s, 16.8 e Hopkinson av, 16.8x75, h & l. John B
 Goode to John McAree. All liens. nom

Same property. John McAree to Martha Goode. Q C. nom

Melrose st, n w s, 250 s w Knickerbocker av, 25x100, h & l. Philip
 Gebbach to Johannes Weinmann. Mort \$2,000. 4,200

Midwood st, n s, 304.6 e Bedford av, 20.6x100. Wm A A Brown to
 Grace H Rauchfuss. exch

Midwood st, n s, 325 e Bedford av, 20x100. Wm A A Brown to
 Emily Rauchfuss. exch

Midwood st, n s, 304.6 e Bedford av, 40.6x100. Release mort. Bond
 and Mortgage Guarantee Co to Wm A A Brown. 8,500

Mill st, n s, 146.6 w Hicks st, 22.6x100, h & l. Antonio Cafenazzo,
 New York, to Giuseppe Attanasio and Concetta Iorio. Mort \$800. 350

Milford st, w s, 219.6 s Liberty av, 30.6x100. Fredk W Gross, Jr,
 to Charles Goldstein. Mort \$1,500. nom

Milton st, s s, 270 e Franklin st, 25x100, h & l. Mary R Lawless to
 Chas M Lawless. All liens. nom

Monroe st, n s, 168.9 e Stuyvesant av, 18.9x90, h & l. Henry C and
 Geo A Needham to Jessie L wife Geo W Vail. nom

Monroe st, s s, 80 e Classon av, 20x60, h & l. Le Grand L Clark to
 John C Wolf. Mort \$4,500. See Wyckoff st. 8,000

Monroe st, n s, 230 w Throop av, 20x100. Caleb S Fordham trustee
 will Hannah E Wood to Ida M Gates. Mort \$1,000. 2,600

Monroe st, n s, 157.6 w Lewis av, 19.2x100, h & l. Claus Henry to
 Wilhelmina S Disbrow. 1-3 part. All liens. nom

Montgomery st, n s, 120 w Troy av, 120x127.9. Wm J Curtis trustee,
 Sunmit, N J, to Geo F Beatty. 702

Montgomery st, n s, 57.4 w Troy av, 62.8x127.9x33x131.2. Same to
 Philip Coss. 259

Navy st, No 204.

Nassau st, No 67.
 Hugh J Begly to Mutual Loan Assoc. General assignment, es-
 pecially as to rents to amount of \$225.

Navy st, w s, 75 s Lafayette st, 25x100. Ann Murphy to Margaret
 E Gallagher. nom

Navy st, e s, 200 s Lafayette st, 25x100. Same to same. nom

Ocean Parkway, s w cor Elmwood av, 100x150. Release mort Sarah
 L Watson formerly Dubois et al exrs John V N Bergen to Thomas
 Hooker. 3,000

Same property. Release mort. Duane S Eversen, New York, to
 Thomas Hooker. 2,500

Ocean pl, n e cor Atlantic av, 18.6x80, h & l. Foreclos. Frank D
 Creamer to Mutual Benefit Loan and Building Co. Mort \$2,250. 750

Old Brooklyn & Jamaica plank road, the part thereof which begins
 where s s old road intersects line drawn parallel with Hopkinson
 av, 100 e from e s said av, extending along old road to point 130 e
 from e s Hopkinson av x n on a line parallel with said av 130 e
 therefrom to intersection with line drawn parallel with n s Marion
 st and 60 n therefrom, x w 30 x s on line parallel with e s said av
 100 e therefrom to beginning. Brooklyn, Queens Co & Suburban R
 Co to Gertrude Berkeley. Q C. nom

Osborn st, e s, 200 n Dumont av, 100x100.

Watkins st, w s, 200 n Dumont av, 50x100.

Contract. Jessie O'Connor with Frederic Neugass. 2,600

Pacific st, n s, 250 w New York av, 80x200 to Atlantic av. Release
 mort. Charlotte A Snedecor, Bloomfield, N J, to James R Ross. 1,400

Same property. Cath A Smith, Glen Ridge, N J, to same. Q C. nom

Same property. Ella L wife Wm R Adams, Annie K wife Winchester
 B Smith, Eliza J Smith and Clara V White to same. 4-5 part. 12,720

Same property. Foreclos. Frank D Creamer to Eliza J Smith. 1-5
 part. Mort \$900. 70

Same property. Cath A Smith et al exrs Wm V Smith to James R
 Ross. 1-5 part. 3,180

Pacific st, n s, 105 w Bond st, 20x90. Ingeborg Marcossen to Mag-
 dalena Blatt. 4,700

Pacific st, n s, 145 e Vanderbilt av, 25x100. Joseph Corcoran to
 Emma B Goubeaud. Mort \$1,000. nom

Powell st, w s, 100 s Livonia av, 52x100.

Sackman st, e s, 260 s Livonia av, 21x100.

Isaac Tuck to Fannie M Feinstein. Mort \$1,000. nom

Penn st, s e s, 230 s w Bedford av, 15x100, h & l. Wm L Dowling,
 Geo O Walbridge and Geo M Henderson to Arthur W Cherrington,
 New York. Mort \$2,000. 3,000

Pilling st, n w s, 170 n e Bushwick av, 20x100, h & l. Wm F Post
 to East Brooklyn Co-operative Building Assoc. Mort \$3,500. nom

President st, s s, 500 w Brooklyn av, 50x125.7. Eastern Parkway Co
 to Harry Howard. Mort \$1,000. nom

President st, n s, 137.6 e Utica av, runs n 87.3 x s 89.2 to st x w 18.5.
 Joseph Godfrey to Lulu Schoentjahn. 150

Prince st, e s, 62 n Myrtle av, 38x50, h & l. Nisan Hess to Lipman
 Arensberg. nom

Prospect st, w s, 284 n Vernon av, runs w 95 x n 7.3 x w 80 x s 49.1
 x e 175 to st x n 42. Emma B wife and John Isley to Emma F
 Roberts. Q C. 2,100

Prospect Park West, n w s, 75.4 n e Montgomery pl, with property

on n s. Party wall agreement. Wm G Gilmore with Edwd L Snyder. 300

Richardson st, s s, 150 w Humboldt st, 25x124.2x25.2x120.9. Saml McCarrick, Sully, South Lakota, Mary wife Charles Mair to Eliza McCarrick. 550

Ryerson st, n w cor Park av, 19.5x—x—. Rose Reis to Celestia W Baker, New York. Mort \$3,500. See Av I. exch

Sandford st, w s, 110 s Wiloughby av, 10x100, h & l. Thomas Patterson, Mineola, L I, to Mary Gutterup. Mort \$2,500. nom

Schaeffer st, s e s, 150 s Evergreen av, 25x100, h & l. Conrad Belloff to Karolina Kautod. Mort \$4,000. nom

Schaeffer st, s e s, 175 s w Evergreen av, 25x100, h & l. Same to John M Reichert. Mort \$4,000. nom

Seeley st, s s, 537.6 e 18th st, 12.6x150. Matthew J McCue to Henry Langill. nom

Seigel st, s s, 120 e Humboldt st, 25.8x100, h & l. Ray Reisenberger and Henry Roth to Simon and Benjamin Epstein and Harris Rosenfeld, New York. Mort \$1,500. 3,000

Spencer Court, w s, 60.6 s De Kalb av, 19.9x100. Anna A Craft widow devisee Alanson Craft to Cora E Sandford. Mort \$4,500. 7,000

Sumpter st, s s, 200 w Ralph av, 25x91.4x25x94.1. Anna M Gaugier to Charles Collins, Harrison, N Y. Mort \$2,780. nom

Sterling pl, n s, 332 e Nostrand av, 18x127.9, h & l. Robt W Gleason to Chas G Street, Jr. Mort \$4,125. 7,250

Stewart st, n w s, 103.1 n e Broadway, 16.8x100. Wm L and Chas C Savage trustees will Henrietta C Booth for Mary E Howell to Clarence F Kaltenbach. 1,800

St Johns pl, s s, 175.6 w 8th av, 18.10x100, h & l. Alfred Rauchtuss to Wm A A Brown. Mort \$7,000. exch

Strong pl, e s, 175 s Harrison st, 25x100, h & l. Maurice Strauss, New York, to Bertha wife Maurice Strauss. 1/2 part. All liens. nom

Strykers pl, plot begins at point on s w cor thereof, adj land District School No 1. Town of Gravesend, runs n 140.7 to Strykers pl x e 107.4 x s 138.8 x w 106.7. 7

Gravesend av, n w cor lands now or late Wm K Voorhies, runs n w 788.6 x n w 54 x s e 807.6 to av x s w 36.9. nom

Lawrence Van Sicken to Margaret Van Cieklen. nom

Sumpter st, s s, 120 w Rockaway av, runs s 100 x w 20.4 x n — x w 0.2 x — to Sumpter st x 20.6 to beginning. Simon Gittelson, Jersey City, N J, to Andrew Coetz. Mort \$2,000. 70

Sumpter st, n s, 350 e Hopkinson av, runs n 69.1 x n e 65.9 x s e 25 x s w 58.6 x s to st x w 25. John Huh to Heinrich, Peter W and Claus H Rohde. nom

Same property. Release mort. Joseph Von Hatten to John Huth. nom

Suydam st, n w s, 492.11 s w Wyckoff av, 25x100x24.10x100. Oscar Weber to John Deinhardt. Mort \$1,300. See Himrod st. exch

Suydam pl, e s, 153.9 s Herkimer st, 32x120. Virginia L Egbert to Daniel D Fennell, Sr. nom

Taylor st, s e s, 163 n e Bedford av, 21x100. Augustus C Becker to Mary E and Frank T Burke joint tenants. Q C. nom

Same property. Roberta B Becker by Augustus C Becker guardian to same. 8,500

Van Buren st, n s, 501 e Lewis av, 17x100. Walter R Lusher to Chas S Taber. Mort \$4,000. nom

Wallabout st, n s, 100 w Harrison av, 29.6x100x28x100, h & l. Second German Baptist Church Assoc, Brooklyn, E D, to Congregation Leches Yoscher. 7,250

Warren st, n s, 280 w Hoyt st, 20x100, h & l. Robert Hutchinson to Charles and Amalia Schmidt tenants by entirety. 3,300

Warren st, s s, 348.5 w Nevins st, 20.4x100. Anna B Mantel to Jacob Blatt. 3,500

Weinfeld st, n w s, 495 n e Bushwick av, 20x100, h & l. Valentin Neuberger to Robert Evans. 3,850

West st, north cor 40th st, runs n 157.4 x w 100 x n — x s w 39.10 x s e 190. Mary Clemore, New York, to Kate wife John J Monks. nom

Same property. John J and Kate Monks to Mary Cremore. nom

Willow pl, e s, 36.4 n State st, 21x75x20.10x75. Terence Meehan to Elizabeth M McKenna. nom

Wyckoff st, s s, 50 w 3d av, 20x100, h & l. John C Wolf to Le Grand L Clark. See Monroe st. 5,000

4th st, n e s, 97.10 s e 6th av, 20x95, h & l. nom

4th st, n e s, 137.10 s e 6th av, 20x95, h & l. nom

Edmund Perkis to Joseph C Taylor. Morts \$19,000. nom

3d st, w s, 173.3 n w 6th av, 18.4x95, h & l. Thomas Rosecrans to Elizabeth M Stackhouse. B & S. Mort \$4,500. nom

East 5th st, e s, 400 n Av D, 60x125. nom

East 5th st, e s, 480 n Av D, 20x125. nom

Ocean Parkway, w s, 300 s Av C, 60x125. nom

Ocean Parkway, w s, 380 s Av C, 20x125. nom

Comptroller State-New York to C Annie Sherman. Tax deed. —

East 5th st, w s, 139.11 s Fort Hamilton av, runs w 72.6 x s 3 x w 27.6 x s 19 x e 100 to st x n 22, h & l. Thos H Sherman to Hannah Bednall. Mort \$1,800. nom

7th st, s s, 137.11 e 7th av, 19.3x100, h & l. Nelson T Cleverley to Sadie A M wife Nelson T Cleverley. Mort \$3,800. nom

East 8th st, e s, 100 s Av D, 40x100. Release mort. Bond and Mortgage Guarantee Co to Chas C Manger. 2,100

East 8th st, e s, 100 s Av D, 30x100. Chas C Manger, New York, to Margaret Mosher, Newark, N J. nom

North 10th st, s w s, 75 s e Berry st, 25x74.8, hs & ls. Mary A wife Melvin J Bogarcus, South Durham, N Y, a child and heir Oscar Neyen to Georgianna Engel and Martha Neyen. 1-3 part. 1,000

East 12th st, plot begins at division line lands grantor and grantee herein at intersection with line drawn at right angles to Coney Island av, 280 n Av R, runs n e 154 to centre line East 12th st x s 60.11 x w 141.6. nom

Kings Highway, s s, at intersection division line lands grantor and grantee herein runs e 75.6 x s 103 x again e 62.9 x s 160.1 x w 26.10 x n w 257.3. nom

Wm T Yale to John G Kreyer. nom

Same property. Release mort. Wm G Gilmore to Wm T Yale. 750

East 12th st, e s, 100 s Av H, 40x100. Chas R Thomas to Clare F Thomas. Mort \$2,400. gift

East 13th st, w s, 500 s Av U, 20x100. Harry Bird to John H Hayes. nom

East 13th st, w s, 100 s Av X, runs s 397.1 x n e 409.5 x e 96.2. Andrew Erzinger to Edward P Byrne and Andrew G Beam. Mort \$350. 700

East 15th st, w s, 100 n Av N, 40x100. John H Stover, Waltham, Mass, to Joseph and Aaron Arndt. nom

16th st, n s, 142 e 8th av, 18x100, and property on s s. Jane Farrell with Lewis Hurst. Party wall agreement. —

East 16th st, e s, 360 s Av T, 20x100. Harbor and Suburban Building and Savings Assoc to Gianbatista Perazzo and Agostino Raggio. 200

East 17th st, e s, 35 s Av C, 40x100, h & l. Jesse T Halstead to Rena V wife Robert E Anthony, Jr. Mort \$3,000. nom

18th st, s s, 240 e 10th av, 60x100.2. Braxton st, s s, 97.10 e 10th av, 80x100. Wm H Langley to Owen J McGowan. 2,100

East 18th st, e s, 325 s Beverly road, 50x100. Delbert H Decker to Andrew C McKenzie and Fredk S Benedict. Mort \$1,700. nom

East 18th st, e s, 161 s Beverly road, 50x100. Same to Andrew C McKenzie. Mort \$1,700. nom

19th st, s s, 88 w 4th av, 22x100. Richard Rippe to Albert Katzmarek. 3,450

21st st, n s, 200 w 7th av, 25x100.2. William Cleverley to Nels Nelson. nom

East 27th st, w s, 100 n Av I, 197.3x107.4x158.2x100. nom

East 27th st, e s, 180 n Av I, 100x100. Sarah Levy to Henry A Nolan. Mort \$1,596. nom

East 29th st, w s, 210 s Av F, 40x100. Benbow Ferguson to Geo P Wardell. Mort \$2,800. nom

Same property. Geo W Wakeman to Eagle Savings and Loan Co. Morts \$2,200. nom

31st st, s s, 210 w 4th av, 16.8x100.2, h & l. Francis G Quinn to Geo W Wakeman. nom

Bay 34th st, n w s, 320 s w Benson av, 20x96.8. Annie Gorman, New York, to Maria Castagneto. Mort \$1,530. nom

East 37th st, w s, 237.6 n Av J, 40x100. Peder Norgard and Jorgen K Jorgensen to Escher L Wilson, Rockville Centre, L I. Mort \$3,400. exch

East 37th st, e s, 187.6 n Av H, 60x100. Frank Young to Martha Young his wife. Mort \$2,500. gift

38th st, s w s, 60 s e 12th av, 40x95.2. Charles Tange, New York, to Agnes Boyd, New York. All liens. nom

38th st, s s, 255 w 12th av, 25x95.2. Henry J Herbert to Wilbur W Morlock. 4,500

38th st, s w s, 230 n w 12th av, 25x95.2. Same to Kathleen E Seaman. nom

40th st, n s, 190.1 w Fort Hamilton av, 18x95.2, h & l. Morris Building Co to Edward Tracy. nom

41st st, n s, 100 w 5th av, 40x100.2, h & l. Simon and Henry F Heuchel to William Blair. Mort \$3,500. 12,000

41st st, n s, 180 w 5th av, 20x100.2, h & l. Same to Heinrich Hochwald. Mort \$3,500. 6,000

41st st, n s, 280 w 5th av, 20x100.2, h & l. Simon and Henry F Heuchel to James and Francis J Ball. Mort \$3,500. 6,000

East 43d st and Troy av, centre line block at intersection with line 97.6 n Av I, runs e 60.9 x n w 91.11 x s 68.11. Germania Real Estate and Impt Co to Michael F Fennell. nom

East 43d st, w s, 140 s Av J, 40x100. Germania Real Estate and Impt Co to Joseph A Hoff, Hoboken, N J. nom

45th st, s w s, 260 s e 16th av, runs s w 79 x s e 161.6 to road Flatbush to New Utrecht x n 51.4 x again n 50.6 x n w 94.9. Sarah C Wenz to Anna Garner. Mort \$560. nom

46th st, n s, 100 w 12th av. —

45th st, n s, 300 w 12th av. —

Agreement as to procuring water. Alice L and James Dawes with Borough Park Co. —

48th st, s w s, 320 n w 16th av, 40x100.2. Release mort. Title Guarantee and Trust Co to Wm H Reynolds. 2,750

Same property. Wm H Reynolds to Emilie Faris. See 84th st. nom

49th st, n e s, 100 n w 13th av, 40x100.2. Albertus D Raynor to The Borough Park Co. Mort \$600. exch

50th st, s s, 260 e 14th av, 20x100.2. Wm H Reynolds to The Borough Park Co. B & S. nom

50th st, n s, 175 e 8th av, 25x100.2. Ellen T Paxton to John and Carrie Rattiger. 4,000

50th st, n e s, 220 s e 15th av, 40x100.2. Borough Park Co to Fred Z Birdsall and Sophia David. nom

50th st, n e s, 180 s e 15th av, 40x100.2. Wm H Reynolds to same. nom

50th st, n e s, 180 s e 15th av, 40x100.2. Release mort. Title Guarantee and Trust Co to Wm H Reynolds. 3,300

50th st, s w s, 140 s e 14th av, 40x100.2. Release mort. Title Guarantee and Trust Co to Wm H Reynolds. 3,000

51st st, n e s, 250 s e 5th av, 25x100.2. Robt H Wilson to Frank Gelston. Mort \$600. nom

51st st, s w s, 299 s e 5th av, 20.6x100. Margaret Katen, now Rice, admrx Garret Katen to Margaret K Rice. B & S. 3,881

53d st, n s, 300 e 6th av, 100x100.2. David Dalton to Samuel Morrison. All liens. nom

53d st, n s, 400 e 6th av, 100x100.2. Same to Jennie E Morrison. nom

53d st, n s, 145.3 e 3d av, 18x100.2, h & l. Frederick Perry a devisee under will Eli W Perry, Gertrude M Perry devisee will Chas E Perry, Carrie A wife and Wm E Prendergast and Wm A Perry to Mary Cross. 3,350

54th st, s w s, 170 s e 16th av, 40x100.2. Henry J Herbert to Ulysses and Wm L Brown, firm Brown Bros. nom

East 55th st, e s, 135 s Lenox road, 40x100. Murdina Weymar to Eagle Savings and Loan Co. Mort \$2,250. nom

57th st, n s, 462 w 2d av, 76x100.2, h & l. Maria Castagneto to Will-Theophilus Fowler. 10

57th st, n s, 360 w 2d av, 7.3x100.2. —

57th st, n s, 462 w 2d av, 114x100.2. —

Release mort. Same to Elizabeth Demaine. 10

57th st, n s, 462 w 2d av, 76x100., h & l. Maria Castagneto to William Lane. Mort \$12,000. nom

57th st, n s, 348.3 w 2d av, 19x100.2, h & l. Maria Castagneto to Annie Gorman, New York. Mort \$3,300. nom

58th st, s s, 280 e 5th av, 20x100.2, h & l. James G Carroll to Gustav Bergstrom and Charles Holmberg. nom

60th st, n e s, 220 n w 15th av, 40x100.2. —

60th st, n e s, 380 n w 15th av, 40x100.2. —

60th st, s w s, 260 n w 15th av, 40x100. —

Release mort. The Borough Park Co to Edward Johnson. 3,000

61st st, n s, 310 e 16th av, runs e 40 x n 55.2 x w 34.8 x n 45.9 x w 4.1 x s 100. Martin Jaeger, Bloomfield, N J, to Hans C Pfalzgraf. nom

63d st, s s, 340 w 16th av, 40x82.6. John P McNamara widower to Henry Ross. 250

Same property. John P and Mary McNamara to same. 250

67th st, s s, 240 w 14th av, 20x125. Emma Kinnberger to Oliver R Bonner. nom

80th st, n s, 340 w 22d av, 60x100. —

80th st, n s, 120 e 23d av, 60x100. —

Release mort. The Bensonhurst Co to Wm H Reynolds. 1,920

80th st, n e s, 300 n w 23d av, 60x100. Release mort. Title Guarantee and Trust Co to Wm H Reynolds. 3,500

80th st, n e s, 160 s e Bay Parkway, 60x100. Release mort. Title Guarantee and Trust Co to Wm H Reynolds. 3,750

82d st, n s, 180 e 2d av, 80x— to centre of block, h & l. Wm S Dowling to Frank E A Stoney. Mort \$5,000. nom

84th st, s w s, 180 n w 23d av, 60x100. Lewis H Lipman, Philadelphia, Pa, to Henry Hyams. nom

84th st, n e s, 100 s e 22d av, 60x100. Annie T, Anna C and Mary L Burkart to New York Building Loan Banking Co, New York. Morts \$2,900. 4,930

84th st, s w s, 300 s e 23d av, 40x100. Emilie Faris to The Bensonhurst Co. See 48th st. nom

85th st, n e s, 300 n w 23d av, 60x100. Rose A Canfield, New York, to Marion Smith. Mort \$840. val consid and 50

86th st, n e s, 160 s e Bay Parkway, 40x100. The Bensonhurst Co to Henry Muller. nom

HARRY ALEXANDER,

Astor Court Building,
West 33d & 34th Streets, Near 5th Avenue.
TELEPHONE, 3767-38th.

ELECTRICAL ENGINEER AND CONTRACTOR.

87th st, s w s, 100 s e Narrows av, 25x100 to 88th st. Elizabeth wife and Chas G Gutschow to Isabella D Murphy. 1,550
 Av H, n e cor East 35th st, 100x107.6. Germania Real Estate and Impt Co to August F Fahlbusch. nom
 Av I, s w cor East 34th st, runs s to Flatbush av x n w to Av I x e to beginning. Celestia W Baker to John Reis. Mort \$2,500. See Ryerson st. exch
 Av I, n w cor East 35th st, 20x107.6. Geo T Harrison to Belle Chalmers. Mort \$3,500. 6,000
 Av L, s w cor East 89th st, 60x100. Henry F Koch to Charles and Mathilde Spreen tenants by entirety. 1,175
 Av U, s s, 40 w East 12th st, 20x100.
 East 12th st, e s, 286.7 n Av U, 20x96.7x20x97.4.
 Av U, n e cor Homecrest av, 40x105.
 East 12th st, e s, 140 n Av V, 20x120.
 East 12th st, e s, 340 s Av U, 40x120.
 East 14th st, w s, 400 s Av U, 40x100.
 East 12th st, w s, 220 s Av U, 40x104.6x40x102.9.
 Av U, s s, 171.7 e East 17th st, 71.7x100.
 East 18th st, e s, 100 s Av U, 20x100.
 East 19th st, w s, 280 s Av U, 40x100.
 East 16th st, e s, 240 s Av U, 20x100.
 Av V, s e cor East 19th st, 145x100.
 East 19th st, w s, 140 s Av V, 40x100.
 Release mort. Alletta A Stillwell to Harbor & Suburban Building and Savings Assoc. 2,800
 Albany av, s s, extends from Rutland road to Fenimore st, 200x92.6.
 Grace C Taber, Jamaica, L I, to Walter R Lusher. Mort \$1,100. exch
 Atkins av, e s, 170 n Hegeman av, 40x100. Wm H Jackson, New York, to Anton Stroh. 520
 Atlantic av, n s, 75 w Nichols av, runs n 124.1 x w 12.6 x n 160 x e 87.6 to Nichols av x n 142.2 x n w — to e s Lincoln av x s 337.2 x e 75 x s 103.8 to Atlantic av x e 25 to beginning. Thomas C Van Pelt to Terence F Ferguson. 1/2 part. B & S. C a G. Mort \$5,800. See Putnam av. 800
 Ray Ridge av, s w s, 180 n w 14th av, 60x100.
 Bay Ridge av, s w s, 360 n w 14th av, 60x100.
 David F Lewis to Frank P Anderson. See Jefferson av. 3,000
 Belmont av, s w cor Essex st, 95.9x100x95.3x100. Release mort.
 Albert H W Van Siclen to Mary Parker. 1,500
 Same property. Mary Parker to Betsey Berwin. 1,700
 Belmont av, No 481, n w cor Watkins st. Contract. Julius Busch with Rubin Rapport. 3,000
 Blake av, n s, 75 w Berriman st, 25x100. Sarah L Van Dolah and Ann M Bean to Wm A Macedis. Q C. nom
 Bushwick av, n e s, 41.9 n w Decatur st, 20.9x100. Peter Neeb to Peter W Hudtwalker. Mort \$2,000. nom
 Carlton av, s e cor Prospect pl, 22x80, h & l. John C McGuire to Margt J Crosby. 7,000
 Central av, s w s, 25 s e Hancock st, 18.9x82.8. Foreclos. Frank D Creamer to Henry Elias Brewing Co, N Y City. Mort \$3,000. 2,150
 Christopher av, e s, 149 n Glenmore av, 19x100, h & l. Ernst-Marx-Nathan Co, New York, to Abraham Weingert. Mort \$900. 1,530
 Classon av, w s, 43.9 s Quincy st, 18.9x74, h & l. Geo E O'Hara to Lucy A Elliott, Cranford, N J. Mort \$6,500. exch
 Coney Island av, e s, 200 n Av I, 40x100. John H Stover, Waltham, Mass, to Nathaniel R Walker, New York. nom
 Coney Island av, w s, 220.7 s Av D, 40x128.2x40x125.2. Emeline and Fredk S Savage to Henry Malkan. Correction deed. nom
 De Kalb av, s s, 25 e Schenck st, 58.6x100x61.2x100. Thomas Frazier to Amelia C Pangborn. Mort \$3,000. nom
 Driggs av, s e cor Kingsland av, 25x100, h & l. Charles Buehl, Lawrence Witzel, Henry Hoch and Emma L Koenig to Lorenz Maier, New York. Mort \$7,000. 12,500
 Evergreen av, north cor Woodbine st, 100.11x61.10x100x48. Release mort. Annie H Halbert to The Second German Baptist Church Assoc, Brooklyn, E D. nom
 Same property. Carrie A Halbert widow to same. 1/2 part. 3,200
 Same property. Walter E Watts and ano trustees for Evelyn A Halbert will Adrlan M S Halbert to same. 1/2 part. 3,200
 Flushing av, s s, 75 w Tompkins av, 25x100, h & l. Blume Katz to Charles Schirmeister. Mort \$2,000. 3,975
 Fort Hamilton av, west cor 79th st, 101.8x85.9x100x103.9.
 Fort Hamilton av, south cor 79th st, runs s w 203.4 to 80th st x s e 132.1 to 7th av x n 214.4 to 79th st x n w 18.7.
 7th av, n e cor 80th st, 107.2x181.8x100x143.1.
 79th st, s w s, 260.2 e 7th av, 80x100.
 7th av, east cor 79th st, runs s e 353.6 x n e 100 x n w 392.1 to 7th av x s 107.2.
 John L Nostrand to Cornelius Furgueson, Jr. 1-3 part. 6,000
 Fountain av, w s, 122.8 n Pitkin av, 20x100, h & l. Emil Reineking to John and Mary Wolljung, tenants by the entirety. Mort \$1,200. 1,720
 Franklin av, w s, 40.8 s De Kalb av, 19.7x76.10. East Brooklyn Co-operative Building Assoc to Wm F Post. 5,000
 Gates av, s s, 230 e Ralph av, 20x100, h & l. C Corinne Swayne to Lena H Edelblum. Mort \$5,750. 7,000
 Gates av, east cor Irving av, 25.8x50, h & l. Augustus F Gardner to Ellen Ward. Mort \$4,350. nom
 Glenmore av, s e cor Crescent st, runs s 120 x e 100 x n 20 x w 20 x n 100 to av x w 80. Bernhard J Pink to Emil Reineking. nom
 Grand av, e s, 203.5 n Lafayette av, 21.10x100, h & l. Frederic R Coudert to Peter McDonagh. B & S. nom
 Grand av, e s, 160 n Lafayette av, 21.7x100, h & l. Alice E Thompson to Peter N Schmeelk. Mort \$3,000. nom
 Grant av, w s, 165.5 n Atlantic av, 25x125. Jabez M Lyle to Marie wife Frank Kurka. 2,500
 Grant av, w s, 190.5 n Atlantic av, 25x125, h & l. Frank Kurka to Marie Kurka. 2,235
 Gravesend av, n e cor Village road, runs n 177 x e 86.1 x n 130.4 x e 161.2 x s 85.6 x s 149 to road x s, s w and w 607.9 to beginning. Sarah E Cole to S Stryker Williamson. 1/2 part. 2,750
 Hamburg av, n e s, 50 s e Noll st, 26x80. Release dower. Agnes Funsch widow to John Elch. 313
 Same property, h & l. Sophie and Adam Funsch by Agnes Funsch guardian to same. All title. Mort \$2,750. 4,400
 Hamburg av, west cor Starr st, 25x100, h & l. Albert Merz exr Henry Weller to Eliza Kleine. 9,500
 Same property. Lizzie Weller to same. nom
 Howard av, e s, 20 n Hancock st, 20x80. Henry A Nolan to Sarah Levy. Mort \$2,000. nom

Howard av, w s, 80 n Hancock st, 20x75, h & l. Flora Glassman, New York, to Mary W Carpenter, White Plains, N Y. Mort \$3,500. nom
 Hudson av, s e cor Plymouth st, 23.4x75. Adelaide B Stanton extrx Philip V R Stanton, Evelyn L Murray, Philip Stanton and Addie M Dreissigacker to Wm J Gilfillan. 4,450
 Same property. Bolton Ruxton and ano exrs John W Ruxton to same. All estate, real and personal, of which Philip V R Stanton died seized. Same to Adelaide B Stanton extrx Philip V R Stanton. 835
 Jefferson av, s s, 80 e Lewis av, 21x100, h & l. Frank P Anderson to Daniel F Lewis. Mort \$8,500. See Bay Ridge av. nom
 Kingsland av, w s, 390 s Nassau av, 25x100, h & l. Lawrence Witzel and Emma L Koenig to Elizabeth Lane. Mort \$4,500. 7,800
 Kingston av, w s, 120 s Fernald st, 40x94.6. Hanorah T and Chris McCormick to Antonio and Lucca Vesper. 350
 Knickerbocker av, west cor Stanhope st, 25x100. Wm A A Brown to The Brown Realty Co. Mort \$7,500. nom
 Knickerbocker av, n e s, 67.3 s e Grattan st, 25x81.4. Fredk H Kosner to Henry E Child. Mort \$6,000. nom
 Lafayette av, n e s, 1,300 s e United States av, 25x180.4x25x180.3. Addie S Yates, South Hadley, Mass, to Nellie Marlow. Q C. nom
 Manhattan av, e s, 125 n Freeman st, 25x100, h & l. Sylvester Brush to Leopold Lustig. 4,900
 Marcy av, e s, 18.4 n Lexington av, 16.4x66.11, h & l. Foreclos. Frank D Creamer to Henry R Hagner. Mort \$3,000. 500
 Marcy av, e s, 18.4 n Lexington av, 16.4x66.11, h & l. Henry R Hagner to Robt B Renwick. Mort \$3,000. nom
 Marcy av, w s, 173 s Macon st, 37x110. Annie S wife of Chas W Betts to Hamilton Trust Co. Mort \$24,000, &c. Q C. nom
 Maspeth av, n s, 56 w Kingsland av, runs w 44.11 x n 88.4 x e 44.10 x s 85.4, h & l.
 Maspeth av, n s, 125.11 w Kingsland av, 25.1x88.4x25x90. Julia Burns to Cath A Burns. Mort \$1,500. gift
 Maspeth av, s s, 580 e Gardner av, runs s e 215.10 x e 112.2 x s 200 to Newtown Creek x e 250 x n w, w and again n w to Maspeth av x w 19. Sarah E, Mary A and Margt J Maurice, Maspeth, L I, to Mary A Wilson. 1887. 5,000
 Meeker av, s e s, 108 s w Kingsland av, 20x64.8x22.5x54.7, h & l. Peter Rugen to Bertha Seibert. Mort \$2,000. 4,000
 Myrtle av, n s, 47.8 w Charles pl, runs n w 95.5 x s w 13.7 x s e 86.4 to av x s e 20. Adolph Langenberg to Alexander and George Langenberg. 1/2 part. 1,500
 Narrows av, s e cor 70th st, 35.7x100.2x27x102.10. Simon J Harding to Augustus F Gardner. Mort \$400. nom
 Nassau av, s s, 100 e Newel st, 25x100, h & l. Patrick McTiernan to Liborio and Antonino Abruzzo. Mort \$6,000. nom
 New York av, n w cor Atlantic av, 28x79.10, h & l. Frank L and Lillian E Tapscott exrs Lavinia S Tapscott to Embury McLean. Mort \$15,000. 20,000
 New York av, e s, 24.7 n Atlantic av, 12x100, h & l. Adeline G wife Saml M Weekes to Simon F Randall. nom
 New York av, e s, 347.6 s Av G, 40x100. Germania Real Estate and Impt Co to John R Corbin and Christian Baur. nom
 Norman av, s w cor Banker st, runs w 37.9 x s w 52 x s e 103.2 x e 43.9 x n 115.7.
 North 15th st, s w cor Wythe av, 125x100.
 Elizabeth Sacchi, N Y, to Mary E and Gustavus A Sacchi. B & S. Sub to life estate grantor of 1-3 part. nom
 Norman av, s w cor Banker st, runs w 37.9 x s w 25 x s e 116.1 x e to st x n 115.7. Mary E and Gustavus A Sacchi, N Y, to Richd M Henry and Charles Meyers. nom
 Nostrand av, w s, 95 n Hancock st, runs w 100 x n 5 x w 0.3 x n 22.6 x e 100.3 to av, x s 27.6. Otto Singer to C Oliver Sabine. Mort \$13,000. exch
 Nostrand av, w s, 40 n Sterling pl, 60x100. C Olivia Sabine to Otto Singer. exch
 Nostrand av, n e s, 68.8 s e Wallabout st, runs n e 78.7 x s 15 x s e 10.6 x s w 76.2 x n w 25. George Fleer to Charles Kinken. Mort \$5,000. See 2d av. exch
 Ocean av, w s, 230 n Av L, 50x151.7. Cyrus A Dunham, Syracuse, N Y, to Eastern Stone Co. 6,000
 Ocean av, s w cor Elmwood av, 100x150. Thomas Hooker to Lena Wallum, Union Hill, N J. 6,000
 Park av, n s, 54.1 w Ryerson st, 25x—x25.6x—. Release mort. Benj F Carver, New York, to Rose Reis. 3,000
 Park av, n s, 275 w Sumner av, 25x100. Foreclos. Frank D Creamer to Christiana Grau. 6,800
 Pitkin av, n w cor Thatford av, 25.1x100. Michael Seitz to David Toback. Mort \$2,000. nom
 Putnam av, s e cor Irving pl, 20x80, h & l. Michael Dowling to Mary A Kerr, New York. 5,150
 Putnam av, n s, 143 e Classon av, 21x80. Adele J Mead to Angelina L Combs. Q C. Mort \$3,000. 250
 Putnam av, n s, 250 w Tompkins av, 0.6x100. Release mort. East Brooklyn Savings Bank to Auguste Reinhart. nom
 Putnam av, n s, 147 e Marcy av, 26.6x100. Terence F Ferguson to Thos C Van Pelt. All title. Mort \$10,000. See Atlantic av. nom
 Putnam av, n s, 250 w Tompkins av, 0.6x100. Auguste Reinhart to Thos B Bryant. 275
 Railroad av, w s, 208.8 n Atlantic av, 20x100, h & l. Wm J Reineking to Ann Washington. Mort \$3,200. nom
 Railroad av, e s, 458.2 n Atlantic av, runs e 87.6 x n 45 x w 87.6 x s 50. Ann Washington to Wm J Reineking. exch
 Ridgewood av, n s, 85.8 e Pine st, 20.2x93.1x20x94.8, h & l. Wm J Bowen to Sarah E Griffin. Mort \$2,000. nom
 Schenck av, w s, 100 s Glenmore av, 20x100. Release mort. Ernst Henken to Joseph Vogel. nom
 Shepherd av, e s, 319.10 s Ridgewood av, 16.7x101.10, h & l. Morris Building Co to Wm D McGurn. nom
 Shepherd av, w s, 205 n Pitkin av, 18x100. Harry F Small to Alex H Small. Mort \$1,500. nom
 Same property. Alex H Small to Harry F Small. Mort \$1,000. nom
 Shepherd av, w s, 275 s Blake av, 50x100. Theodore Kiendl to John Wieland. Mort \$600. 1,200
 St Marks av, s s, 140 w Classon av, runs w 300 x s 128.6 x e 314 x n 57.2 x n 73.1. Isabel M Helm, New York, to A Rogers Lee. B & S. 17,000
 St Marks av, No 690, s s, 140 w Nostrand av, 20x125.3. Geo H Cook to John N Stearns. Q C. Mort \$9,000. nom
 St Marks av, s s, 92.4 w Franklin av, runs s 91.1 x n e — x n 82.2 x w 20. Simon F Randall to Martin J Suydam. Mort \$2,500. nom

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Stone av, e s, 125 n Sutter av, 25x100, h & l. Noah Rahinsky to Annie Roehomowitz. Mort \$2,700. 3,350
Stuyvesant av, w s, 22 s Hancock st, 26x100, h & l. Henry Roth to Robert Wagner and Reinhold Boehringer. Mort \$12,000. nom
Surf av, e s, at dividing line lots 640 and 639 map Sea Gate, Norton Point Land Co, runs n e 127.7 x e or s e — x s or s w 112.6 x w or n w 100. Norton Point Land Co to Jacob L Ely. 4,500
Thatford av, s w cor Glenmore av, 25x100. Bridget Ratigan to Israel Neufeld. 775
Throop av, w s, 50 s Hopkins st, 25x80, h & l. Gerdrud Schmidt to Reinhart and Franz Bosshart. 6,000
Tompkins av, n e cor Ellery st, 25x60, h & l. Julia Meyer, Emily and Frederick Stuft heirs Frederick Stuft to Christiana Stuft widow. All Hens. nom
Tompkins av, w s, 149.5 n Quincy st, runs w 100.5 x n 15.2 x n w 100.10 to av, x s 21.2. Chas H Wetzal to Lewis Sylvester. Mort \$4,000. nom
Vernon av, n s, 118.9 w Marcy av, 18.9x100, h & l. Elizabeth F Speir, Flushing, L I, to Mary C Dunn. 4,300
Waverly av, e s, 144.5 n Fulton st, runs e 94.2 x n 16.4 x w 5 x n 0.2 x w 89.1 to av x s 16.6, h & l. Annie wife Patrick O'Neill to Minnie A de Hoog. Mort \$5,000. 6,000
Wyckoff av, west cor Stanhope st, 25x97.8x25x96.7. Wm A A Brown to The Brown Realty Co. Mort \$7,500. nom
2d av, west cor 80th st, 109.4x200.
1st av, south cor 80th st, 109.4x200.
Wm L Watrous to Wm H Peters. Mort \$12,000. 1,500 and exch
2d av, w s, 25 s 13th st, 25x97.10. Charles Kinken to George and Henry Fleer. See Nostrand av. exch
2d av, n e cor 83d st, 100x140, h & l. Wm L Dowling to Henry Crawford. Mort \$8,000. exch
3d av, n e cor 58th st, 22.2x80. Emily H Wilhelm to Hermann H Krudop. Mort \$11,000. exch
3d av, n w cor 56th st, 25x100. Wm H Peters to William L Watrous. Mort \$10,000. exch
3d av, n w s, 75 s w 22d st, 25x100. Maria Menz widow to Frank A Selle. 100
12th av, w s, 57.1 s 38th st, 38.1x80. Henry J Herbert, New York, to Beatrice G Chandler. 8,000
12th av, n e cor 86th st, 100x100. Release mort. Union Dime Savings Institution to Walter L Johnson. 1,000
Same property. Release mort. Bay Ridge Park Improvement Co to same. 400
17th av, e s, 282 n Bath av, 50x96.8. George Rosenthal, New York, to Joseph Hasseli. nom
25th av, east cor Benson av, runs n e 700 to 86th st x s e 193.4 to Bay 40th st x s w 700 to Benson av x n w 193.4.
Benson av, south cor 25th av, runs s w 734.3 x e 41.2 x s 57.6 x n e 336.8 x n e 51.8 x e 76.5 to Bay 40th st x n e 330.6 to Benson av x n w 193.4.
Benson av, south cor Bay 40th st, runs s e 158.10 x w 282.1 to Bay 40th st x n e 231.5.
Matilda Patterson to Amelia I Birkett. Mort \$13,850. exch
Interior lot, 90 e Suydam pl and 185.9 s Herkimer st, runs e 30 x n 32 x w 30 x s 32. Mary J Balz and Edwd W Terhune to Virginia L Egbert. 325
Interior lot, 90 e Suydam pl and 137.9 s Herkimer st, runs e 30 x s 16 x w 30 x n 16. Mary J Balz to Edward W Terhune. 150
Lots 481 and 483 on Sectional Map No 4 Village Fort Hamilton.
Sophronia M Fickett, Frances E Herbert and Carrie E Hine children and heirs Henry E Fickett to Nellie Marlow. Q C. nom
Lot 566 map A, East New York, 30-100 part thereof, Bacons survey.
Comptroller State New York to Phoebe M Van Buren. tax deed
Same property. Phoebe M Van Buren to Elizabeth H Shelton, East Orange, N J. Correction deed. nom
Lot 133 block D map heirs Susanna Stone, 18th Ward. Eduard Glass to Oscar Weber. Mort \$1,300. nom
Lot 5 block 85 assessment map School District No 6, Gravesend.
People of State of New York to Anna Igel. Letters patent
Lots 6 block 108 and lot 8 block 83, assessment map School District No 6, Gravesend. People State of New York to Hope M Voorhies. letters patent
Lot 9 block 83, same map. Same to same. letters patent
Plot begins at s e cor land John G Kreyer, runs s w 180.2 to centre line East 12th st x n 182.3 x e 112.2 x s e 120.6.
Coney Island av, s e cor land John G Kreyer, runs n 38.1 x e 88.6 x s w 96.4.
John G Kreyer to Wm T Yale. nom
Same property. Release mort. John W Haaren and Ernst A Meinken and John H Haaren exr Ernst A Haaren to John G Kreyer. 200
Same property. Release mort. Germania Savings Bank, Kings Co, to same. nom

MISCELLANEOUS.

All real property of which John Murphy died seized in the City of Brooklyn. Release dower. Ann Murphy widow to Margt E Gallagher. nom
General release, especially as to monies loaned on notes. Mary R Berkowitz to Kalman Berkowitz. nom
Legacy bequeathed to assignor herein under will of his mother, Mary Barker, amounting to \$50. General assignment. Jesse S Barker to John A Lent.

MORTGAGES.

NOTE.—The arrangement of this list is as follows: The first name is that of the mortgagor, the next that of the mortgagee. The description of the property then follows, then the date of the mortgage, the time for which it was given, and the amount. The general dates used as headlines are the dates when the mortgage was handed into the Register's Office to be recorded. Whenever the letters "P. M." occur, preceded by the name of a street, in these lists of mortgages, they mean that it is a Purchase Money mortgage, and for fuller particulars see the list of transfers under the corresponding date. Whenever the rate is not given, read as 6 per cent.

October 13, 14, 16, 17, 18, 19.

Abruzzo, Liborio and Antonino to Patrick McTiernan. Nassau av, P M. Oct 12, 5 years, 6%. \$2,600
Ahlers, Peter H to Frank H Knight. Atlantic av, n s, 80 w Pleasant pl, 17x98.7. Oct 16, 5 years, 5%. 1,000
Arensberg, Lipman to Nisan Hess. Prince st. See Cons. Oct 13, 2 years, 5%. 4,500

Baker, Grace L to William R Nichols. Hawthorne st, s s, 148.7 e Flatbush av, 20x75.4. Oct 7, due Oct 1, 1900, 6%. 500
Baker, Celestia W to Eva E Deadman. Av I, north cor Flatbush av. See Cons. Oct 17, 1 year, 6%. 500
Ball, James and Francis J to Simon and Henry F Heuchel. 41st st, P M. Oct 17, installs, 6%. 2,000
Barrie, Frank to Thos E Colby. Leonard st, w s, 50 s Jackson st, 20x70. Oct 17, 5 years, 5%. 1,500
Baur, Christian and John R Corbin to Flatbush Trust Co. Flatbush av, n e s, 76.10 n w East 29th st, 20x65.10x24.2x52.3. Oct 13, 1 year, 5%. 4,000
Beck, Rudolph J and Mary J to Ellen O'Neill. Bergen st, s s, 270 w Kingston av, 20x100. Oct 17, 3 years, 4%. 4,000
Bedell, Myra to Luther G Corwith. East 29th st, e s, 50 n Ditmas av, 40x100. Oct 12, 3 years, 6%. 500
Bednall, Hannah to Thos H Sherman. East 5th st w s. P M. Oct 18, 3 years, 5%. 200
Bennett, Mary widow to Chas W Church, Jr. Concord st, w s, 852 s Atlantic av, 100x100, New Utrecht. Oct 18, due Oct 1, 1900, 6%. 250
Bergstrom, Gustav and Charles Holmberg to James G Carroll. 58th st. P M. Oct 16, 3 years, 5%. 3,300
Same to same. Same property. Sub to last mort. Oct 16, installs, 6%. 1,700
Berlenbach, Theresa and Frank to Title Guarantee and Trust Co. Vanderbilt av, e s, 121 n St Marks av, 20x80. Oct 13, 3 years, 5%. 6,500
Blatt, Jacob to Anna B Mantel. Warren st. P M. Oct 16, 3 years, 5%. 2,000
Blatt, Magdalena to Herman Kubal. Pacific st. P M. Oct 14, 2 yrs, 5%. 2,000
Bliss, John to Annie W wife Chas S Dunn. Irving pl, w s, 250 s Gates av, 28x101. Oct 13, installs, 5%. 3,000
Birdsall, Fred Z and Sophia David to Title Guarantee and Trust Co. 50th st. P M. Oct 14, 3 years, 5%. 3,750
Same to Borough Park Co. Same property. Sub to last mort. Oct 14, installs, 6%. 1,685
Bosshart, Reinhart and Franz to Gertrud Schmidt. Throop av. P M. Oct 16, 5 years, 5%. 3,500
Bowen, Wm T and Catharine to Frederick Hornby. Lincoln av, w s, 100 n Glenmore av, 200x100. May 23, demand, 6%. 12,500
Bower, James, Jr, to Title Guarantee and Trust Co. 59th st, s w s, 100 s e 17th av, 40x100. Oct 13, demand, 6%. 1,200
Brierley, John T and Sarah E to Title Guarantee and Trust Co. West st, w s, 80 s 39th st, 40x100. Oct 13, 3 years, 5%. 2,000
Same to William and Julius Manger. Same property. Sub to last mort. Oct 13, installs, 5%. 1,037
Brooks, Mary M A to Daniel T Stevens. West 17th st. P M. Oct 12, installs, 6%. 550
Brown Realty Co to Title Guarantee and Trust Co. Knickerbocker av, west cor Stanhope st. P M. Oct 16, 3 years, 5%. 7,500
Same to same. Wyckoff av, west cor Stanhope st. P M. Oct 16, 3 years, 5%. 7,500
Same to same. Consent of stockholders to above mortgages. Oct 16.
Brown, Wm A A to Title Guarantee and Trust Co. Knickerbocker av, s w s, 25 n w Stanhope st, 25x100. Oct 16, 3 years, 5%. 5,000
Same to same. Wyckoff av, s w s, 25 n w Stanhope st, 50x99.11x30x97.8, 2 lots. 2 morts, each \$5,000. Oct 16, 3 years, 5%. 10,000
Burns, Thos J to Title Guarantee and Trust Co. 11th st, n s, 179.2 w 5th av, 16.8x100. Oct 18, 3 years, 5%. 500
Berwind, Johann C and George Loeblein to Title Guarantee and Trust Co. Glenmore av, n s, 25 e Ashford st, 27.6x100. Oct 19, 3 years, 5%. 3,750
Same to same. Glenmore av, n e cor Ashford st, 25x100. Oct 19, 3 years, 5%. 5,250
Buck, formerly Weck, Maria D to John Frank. Rockaway av, e s, 80.7 n Prospect pl, runs e 60 x s 49.6 to East New York av x e 25 x n 62.10 x w 73.4 to Rockaway av x s 25. Oct 14, 1 year, 5%. 200
Clark, Julia to Cecelia von Warzewska. Willoughby av, n s, 245 w Tompkins av, 20x100. Oct 19, 3 years, 5%. 4,500
Candidus, Panteleon L to Title Guarantee and Trust Co. Bainbridge st. P M. Oct 10, 3 years, 5%. 1,400
Carter, William to Title Guarantee and Trust Co. Rockwell pl, w s, 243.10 n Lafayette av, 16.10x46.11x16.8x44.4. Oct 13, 3 years, 5%. 850
Chalmers, Belle to Geo T Harrison. Av I, n w cor East 35th st. P M. Oct 17, installs, 6%. 500
Same to same. Same property. P M. Oct 17, installs, 6%. 1,000
Same to Eagle Savings and Loan Co. Same property. Oct 17, installs. 6,480
Chandler, Beatrice G to William Ziegler. 12th av, w s, 57.1 s 38th st, 2 lots. P M. 2 morts, each \$2,450. Oct 9, 3 years, 6%. 4,900
Same to Emma W Herbert. Same property. P M. 2 morts, each \$1,150. Sub to morts \$4,900. Oct 9, installs, 6%. 2,300
Cherrington, Arthur W, New York, to Wm L Dowling, Geo O Walbridge and Geo M Henderson. Penn st. P M. Oct 10, installs, 6%. 750
Clark, Le Grand L to Title Guarantee and Trust Co. Wyckoff st. P M. Oct 4, due Oct 10, 1900, 5%. 2,750
Clark, Mary F and John to Robt W Lawrence et al trustees for Oakwood Seminary. Van Buren st, n s, 243.8 e Reid av, 18.4x100. Oct 16, 3 years, 5%. 2,000
Cogswell, Lavinia and Handley P to Alice E White. 53d st, n s, 186 w 3d av, 17x100.2. Oct 14, 3 years, 6%. 700
Congregation Leches Yoscher to Williamsburgh Savings Bank. Walabout st. P M. Oct 13, 1 year, 5%. 4,000
Same to Harman Winegarten, Jacob Pener, Sam Eisler and Don Eisler. Same property. Sub to last mort. Oct 15, installs, 5%. 2,400
Corbin, John R and Christian Baur to Title Guarantee and Trust Co. Flatbush av, n e s, 96.10 n w East 29th st, 20x79.5 to East 29th st x24.2x65.10. Oct 17, 3 years, 5%. 4,000
Same to same. Flatbush av, n e s, 116.10 n w East 29th st, 20x93 to East 29th st x24.2x79.5. Oct 17, 3 years, 5%. 4,000
Same to same. Flatbush av, n e s, 136.10 n w East 29th st, 20x106.7 to East 29th st x24.2x93. Oct 17, 3 years, 5%. 4,000
Same to same. New York av, e s, 347.6 s Av G, 40x100. Oct 17, demand, 6%. Building loan. 3,000
Cordes, Harm H L and Catharina to Avery T Brown and Charles W Cornell trustees Caroline I Satchell. Nostrand av, w s, 23.1 s Canarsie lane, 25x80x26.7x80. Nov 12, due Nov 1, 1902, 5%. 3,500
Same to same. Nostrand av, s w cor Canarsie lane, 23.1x80x24.3x80. Oct 12, due Nov 1, 1902, 5%. 4,000

The Roebling Construction Co.

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121 LIBERTY STREET,

Telephone, 4475 Cortlandt.

NEW YORK.

FOR BUILDINGS.

Crawford, Henry to Wm L Dowling. 2d av, n e cor 83d st. P M. 5,000
 Oct 11, installs, 5%.

Same to Charles McLoughlin. Same property. Oct 11, demand, 1%.

Collateral mortgage. gold, 1,230

Crosby, Margt J to John C McGuire. Carlton av, s e cor Prospect
 pl. P M. Oct 2, 3 years, 5%. 6,000

Cross, Mary to Anna Fithian. 53d st, n s, 127.3 e 3d av, 18x100.2.
 Oct 10, 2 years, 5%. 850

Same to John C Schenck. 53d st, n s, 145.3 e 3d av, 18x100.2. Oct
 10, 3 years, 5%. 2,500

Dapper, Joseph C and Alexandra to Chas W Church, Jr. East 9th st,
 w s, 240 s Av M, 20x100; Atlantic av, n s, 321.8 e 3d av, 50x125.
 Oct 2, 1 year, 6%. 200

Dunne, Mary A and Michael to Ella J West. Gates av, n w s, 300 s w
 Central av, 25x57.3x25.1x59.1; interior lot, beginning at centre blk
 Gates av and Linden st and 300 w Central av, runs s w 25 x s e 41.5
 x n e 25 x n w 40. Sept 23, due Oct 1, 1902, 5%. 800

Dunn, Mary C to Ann Masterson. Vernon av. P M. Oct 16, 3 yrs,
 5%. 1,500

Darrin, Ira G to Frank and Wm F Dunning trustees Benj F Dun-
 ning, Decatur st, s s, 225 w Patchen av, 25x100. Oct 19, due Jan
 17, 1903, 5%. 2,900

Ehrlich, Celia to Title Guarantee and Trust Co. 85th st, s w s, 100
 n w 21st av, 100x100. Oct 16, 1 year, 6%. 1,250

Eich, John and Helene to Catharine Lutz. Hamburg av, n e s, 50 s e
 Noll st, 25x80. Oct 11, 3 years, 5%. 3,500

Engesser, Henry, New York, and Chas M, Fredk B, Geo D and Herbert
 L Pratt all mortgagees. Agreement to subordinate mort made by
 Mary Nebe. Sept 15. nom

Epstein, Simon and Benjamin, also Harris Rosenfeld to Ray Reisen-
 berger and Henry Roth. Seigel st. P M. Oct 14, installs, 6%. 700

Erdmann, Lena to Johanna Meckauer. Glenmore av, s s, 100 e Atkins
 av, 18.6x100. July 28, installs. 1,050

Estersohn, Frank and Yetta to Tobias Burger. Boerum st, s s, 125 w
 Humboldt st, 25x100. Oct 12, due Jan 1, 1905, 5%. 3,000

Evans, Robert to Valentin Neuberger. Weirfield st. P M. Oct 17,
 due Jan 1, 1903, 5%. 3,000

Falcone, Nicola to Meta Freidden. Carroll st, s w s, 60.1 n w 3d av,
 20.2x74.10x20.1x76.8. Oct 16, 1 year, 5%. 400

Paris, Emilie and Edwin L to The Borough Park Co. 48th st, s w s,
 320 n w 16th av, 40x100.2. Oct 18, installs, 6%. 1,400

Same to Title Guarantee and Trust Co. 48th st. P M. Oct 18, 3
 years, 5%. 2,750

Farrell, Jane to Saml F Streit trustee. 16th st, n s, 142 e 8th av,
 18x100. Sept 14, 3 years, 5%. 3,500

Feinstein, Fannie M to Ida Tuck. Powell st. P M. Oct 13, 3 years,
 5%. 500

Same to same. Powell st. P M. Oct 13, 3 years, 5%. 500

Same to same. Sackman st. P M. Oct 13, 3 years, 5%. 1,500

Fennelle, Daniel D, Sr, to Title Guarantee and Trust Co. Suydam pl,
 e s, 153.9 s Herkimer st, 2 lots, each 16x120. P M. 2 morts, each
 \$1,500. Oct 18, 3 years, 5%. 3,000

Finnegan, Mary and Margaret Heffernan to M M Canda Co. Green-
 wood av, s e cor East 4th st, runs s 88.4 x e 50.6 x still e 12 x n
 100 to av x w 31.4. Sept 25, due Dec 21, '99, 6%. 317

Fielding, Fannie, formerly Bennett, and R W Fielding to Chas J
 Patterson. 17th st, n s, 198.1 w 8th av, 35.3x90; Prospect av, s s,
 270 w 8th av, 16x90.4. Oct 14, 3 years, 5%. gold, 1,000

Flynn, Mary C to Germania Savings Bank, Kings County. Adelphi
 st, w s, 50.11 n Willoughby av, 24.10x100. Oct 17, 1 year, 5%. 2,000

Ford, Blanche and Henry C to Title Guarantee and Trust Co. 70th
 st, s s, 235.4 w Fort Hamilton Parkway, 60x100. Oct 12, 3 years,
 5%. 2,000

Ford, Mary C G daughter and devisee Mary W Gardner and Wm W
 Ford to Title Guarantee and Trust Co. Jefferson av, n s, 450 w
 Ralph av, 50x100. Oct 19, 2 years, 6%. 1,000

Fox, Delia, formerly Mullery, to Title Guarantee and Trust Co.
 Sackett st, s e cor Hicks st, 19.3x100. Oct 16, 3 years, 4 1/2%. 4,500

Fox, Mary C widow and David M, James J and Maurice W Fox to
 Title Guarantee and Trust Co. Baltic st, s s, 225 e Smith st, 50x
 100. Oct 14, 3 years, 5%. 2,500

Frosch, Amanda and Herman to Brooklyn City Co-operative Building
 and Loan Assoc. 14th st, n e s, 98 n w 3d av, 24x100. Oct 13,
 installs. 500

Fryer, Agnes to John D Holsten. 51st st, s s, 100 w 5th av, 100x
 100.2. Oct 13, 7 months, 6%. 500

Flatley, Mary and John to Title Guarantee and Trust Co. 14th st, s
 w s, 457.10 n w 4th av, 20x94.4x20x94.10. Oct 19, installs, 6%. 500

Gardner, Augustus F to Walter R Lusher. Garfield pl, s s, 140 w 5th
 av, 20x100. Oct 16, due Oct 1, 1900, 6%. 500

Gates, Ida M and Theodore B to Title Guarantee and Trust Co. Mon-
 roe st. P M. Oct 13, 3 years, 5%. 2,000

Gelston, Frank to Robt H Wilson. 51st st. P M. Oct 18, 1 year,
 6%. 750

Gilfillan, Wm J to Caroline and Charlotte Hewlett. Hudson av, s e
 cor Plymouth st. P M. Oct 16, due Nov 1, 1902, 5%. 2,000

Goubeaud, Emma B to Joseph Corcoran. Pacific st, n s, 145 e Van-
 derbilt av, 25x100. Oct 19, 3 years, 5%. 500

Grau, Christiana widow to Caroline Broistedt. Park av. P M. Oct
 17, due Dec 9, 1902, 5%. 5,000

Gregg, Chas G and Wm F to Geo C Debevoise. 54th st, n s, 140 w
 5th av, 20x100.2. Oct 14, 3 years, 5%. 3,500

Griffin, Sarah E and David H to Wm T Bowen. Ridgewood av. P M.
 Sept 15, installs, 6%. 1,500

Groh, Gesine, formerly Hilke, to Brooklyn City Co-operative Building
 and Loan Assoc. Convent st, s e s, 25 s w King st, 25x100. Oct
 12, installs, 5%. 3,700

Gutting, George to Williamsburgh Savings Bank. Hart st, s e s,
 170.10 s w Evergreen av, 6 lots, each 25x97.6. 6 morts, each
 \$6,000. Oct 13, 1 year, 5%. 36,000

Gardner, Augustus F to Wm E Horwill. Narrows av, s e cor 70th st,
 35.7x100.2x27x102.10. Oct 19, due Nov 1, 1902, 6%. 800

Holler, Matilda wife Frank S to James Fallon. Graham st. See
 Cons. Oct 19, due Nov 1, 1902, 6%. 1,500

Henningsen, Louisa widow to Fredk C Goppoldt. New York av, n w
 cor Av F, 60x102.6. Oct 14, 2 years, 6%. 1,000

Henry, Robert to Mary P Thatcher. Stone av, s w s, 58.1 n w Sump-
 ter st, 19.2x27.7x13.9x41. Oct 13, due Oct 1, 1902, 6%. 300

Hentschel, John and Theresa to S Liebmanns Sons. Bushwick av,
 north cor Cooper st, 75x100. Oct 13, 1 year, 4 1/2%. 4,500

Herlet, Charlotte and Vincent to Otto E Reimer. Lewis av, s w cor
 Lexington av, 50x100. Oct 9, demand, 6%. 1,000

Hildt, Chas F and Catharina L to David Drissler. Classon av, s w
 cor Pacific st, 48.9x79.10. Oct 13, due Jan 1, 1905, 5%. 5,000

Hornby, Frederick to Title Guarantee and Trust Co. Sheridan av,
 w s, 180 s Liberty av, 2 lots, each 20x100. 2 morts, each \$1,500.
 Oct 17, 3 years, 5%. 3,000

Same to same. Sheridan av, w s, 260 s Liberty av, 20x100. Oct 17,
 3 years, 5%. 1,500

Same to James Gascoine individ and with ano exrs John G Cozine.
 59th st, n s, 380 e 4th av, 2 lots, each 20x100.2. 2 morts, each
 \$4,000. Oct 17, 3 years, 5%. 8,000

Same to same. Pennsylvania av, n w cor Pitkin av, 20x100. May 1, 3
 years, 5%. 5,000

Same to same. New Jersey av, n w cor Pitkin av, 20x85. May 1,
 3 years, 5%. 4,000

Horstmann, August G mortgagor with Wm H Ames. Extension of
 mortgage. Oct 10. nom

Johnson, Walter L to Henry C Davison. 12th av, east cor 86th st,
 100x100. Oct 12, 3 years, 6%. 2,000

Johnson, Walter L to Fredk C Dexter. 83d st, s s, 300 w 12th av, 80
 x100. Oct 12, due July 1, 1902, 6%. 3,000

Kaltenbach, Clarence F to East New York Savings Bank. Stewart
 st. P M. Oct 9, 1 year, 6%. 1,600

Kalzmarek, Albert and Mary to Richard Rippe. 19th st. P M. Oct
 16, due Nov 1, 1905, 5%. 2,300

Keane, Fannie G and Joseph M to John Wilson. Lincoln road. P M.
 Oct 16, 2 years, 5%. 1,900

Kemm, William and Pauline to Wm C Canning. Berriman st, w s,
 100 s Glenmore av, 25x100. Oct 12, due Oct 15, 1904, 5%. 1,100

Kessler, Annie to Ignatz Martin. Fulton st. P M. Oct 17, 1 year,
 6%. 1,500

Kidd, Geo W to Greenpoint Savings Bank. Manhattan av, e s, 270 s
 Norman av, 25x100. Oct 17, 1 year, 5%. 4,000

Kleine, Eliza to Elise Z Zahn. Hamburg av, west cor Starr st. P M.
 Oct 16, due Dec 31, 1902, 5%. 5,000

Kotlowitz, Morris mortgagor with Francois Ballay. Extension of mort.
 Oct 18. nom

Kotz, Barbara widow to Dime Savings Bank, Williamsburgh. Graham
 av, w s, 75 n Frost st, 25x100. Oct 16, 1 year, 5%. 2,000

Kropp, Chas C to V Loewers Gambrianus Brewing Co. Sheepshead
 Bay road, s w cor West 5th st, runs s 160 x w 5 to old road x n
 152.3 to Sheepshead Bay road x e 29.6. Oct 13, 1 year, 6%. 3,000

Kunzer, Joseph mortgagor with Mary R Bennett. Extension of mort.
 Oct 10. nom

Lange, Henry and Adele J to Title Guarantee and Trust Co. Lincoln
 road, s s, 401 e Rogers av, 36x105. Oct 17, 3 years, 5%. 2,500

Lantelme, Margaretta and Joseph to Albert Schiffers. Hinsdale st,
 w s, 100 n Sutter av, 50x100. Oct 11, 1 year, 6%. 475

Lawless, Chas M to Pauline Poppitz. Milton st, s s, 270 e Franklin
 st, 25x100. Oct 16, 3 years, 5%. 3,000

Lee, A Rogers to Isabel M Helm, New York. St Marks av. P M.
 Oct 17, 2 years, 5%. 17,000

Little, John to Stephen M Hoyer. Lots 34 and 35 map of old lot 6 com-
 mon lands of Gravesend. Sept 25, 1 year. 50

Lundqvist, Chas W to Maria J Livingston. 58th st, n s, 399.9 e 7th
 av, 20.1x100.2. Oct 18, 3 years, 5%. 1,500

Luntz, Dora, New York, to Fredk E Clark. Belmont av, s s, 75 w
 Watkins st, 25x100. Oct 11, due Oct 1, 1904, 6%. 2,000

Lustig, Leopold and Julia to Alexander J McCollum. Manhattan av,
 e s, 125 n Freeman st, 25x100. Oct 14, 4 years, 5%. 3,900

Levy, Sophia mortgagor with John Lannig. Extension mort. Oct
 10. nom

Langill, Henry and Georgianna to Matthew J McCue. Seeley st. P
 M. Oct 19, installs, 5%. 600

Same to Title Guarantee and Trust Co. Same property. Oct 19, 3
 years, 5%. 1,000

Litchfield, Cleveland to Geo H Roberts. Albemarle road. P M. Oct
 19, 2 years, 5%. 2,000

Macedo, Wm A to Prospect Home Building and Loan Assoc. Blake
 av. See Cons. Sub to mort \$1,250. Oct 19, installs. 1,000

Maneely, Andrew to South Brooklyn Savings Inst. Sands st, n s, 50 w
 Charles st, 28x97.6. Oct 19, 1 year, 5%. 2,000

Madden, James J to Wm F Corwith. Freeman st, n s, 175 e Man-
 hattan av, 25x100. Oct 12, 2 years, 6%. 500

Maier, Lorenz and Augusta to Charles Buehl. Lawrence Witzel,
 Henry Hoch and Emma L Koenig. Driggs av. P M. Oct 16, 2
 years, 5%. 1,000

Manwaring, David W to Chas L Bogle as trustee. Linden Boulevard,
 s s, 75 w Nostrand av, 75x132.6; Linden Boulevard, n s, 195.7 w
 Clove road, 100x135 to Ridgewood av; also land in New York Co.
 1-6 part. Sept 26, 1 year, 6%. 1,500

Martin, John J and Mary F to Frederick Bonawitz. Greene av, n s,
 334 e Throop av, 19x100. Oct 14, 3 years, 6%. 1,000

Martin, Joseph to Chas L Patton, New York. Raymond st, s w cor
 Tillary st, 69.6x105x84.9x93.5. Oct 5, due Oct 16, 1900, 6%. 2,000

Marwede, Rudolf to Obermeyer & Liebmann. Evergreen av, No 700.
 Oct 17, demand, 6%. 200

Maywald, Henry and Eliz A to Daniel W Moore. Flatbush av, s w s,
 520 s e Av G, 20x100. Oct 16, installs, 6%. 1,300

Mellor, William, Rahway, N J, to Belle J Stewart. Berriman st, e s,
 210 n Lake st, 40x100. Oct 19, 3 years, 6%. 500

Meng, Mary G to Caroline W Stuart. Shepherd av, w s, 50 n Pitkin
 av, 18x100. Oct 2, 3 years, 5%. 1,200

Mennig, Charles to Sophia Loffler. McDonough st, s s, 320 w Sara-
 toga av, 2 lots, each 20x100. 2 morts, each \$5,000. Sept 27, 3
 years, 5%. 10,000

Mertz, Joseph and Caroline to John Hahn. Bogart st, n w cor Moore
 st, 25x85.9x25x84.10. July 1, 1 year, 5%. 800

Meyer, Henry A with Flatbush Trust Co. Agreement as to priority
 of mortgages by Frederick W Kaiser. Oct 13. nom

Meyer, Henry A with Title Guarantee and Trust Co. Agreement as to
 priority of mortgages by Frederick W Kaiser. Oct 16. nom

Minton, Augusta wife John J to James W Elgar. Greene av, s e s,
 405.4 s w Central av, 19.8x100. Oct 12, secures notes. 1,200

Mooney, Frank E to Chas M, Frederic B, Geo D and Herbert L Pratt.
 East 12th st, w s, 565 s Av N, 40x100. Oct 13, installs. 2,085

Moore, Benjamin to The Emigrant Industrial Savings Bank. Stuyve-
 sant av, e s, 40 s Putnam av, 20x95. Oct 13, 1 year, 4%. 6,000

Mosher, Margaret and Edgar C to Title Guarantee and Trust Co.
 East 8th st. P M. Sept 20, 3 years, 5%. 2,100

Same to William and Julius Manger. Same property. Installs, 5%.
 1,100

Mudgley, Thomas to Williamsburgh Savings Bank. South 4th st, s s,

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CLIFFORD L. MILLER, NEAR JEROME AVENUE, N. Y.

USED IN
Sloane Residence, N. Y. Life Building,
Germania Life Building, New York Hospital,
Exchange Court Building,
Appellate Division Supreme Court, N. Y.

161st STREET,

134.2 e Havemeyer st, 19.2x102.11x19.2x104.11. Oct 14, 1 year, 5%.	2,000
Murphy, Isabella D to Elizabeth Gutschow. 87th st. P M. Oct 14, 1 year, 5%.	500
McDonagh, Peter and Bridget A to Title Guarantee and Trust Co. Grand av. P M. Oct 12, 3 years, 5%.	2,500
McDonald, Anna, Elizabeth, Marie M, Henrietta H and Fannie Rhodes and Susan Hunnewell to Elias H Seaman. South Oxford st, w s, 128 s Lafayette av, 21.8x100. Oct 5, 3 years, 5%.	500
McGurn, William D to Elizabeth Prosser et al exrs Thomas Prosser. Shepherd av. P M. Oct 18, 3 years, 5%.	1,600
McKenna, Julia A to Catherine Gaynor. Quincy st, s s, 185 e Nostrand av, 20x100. Oct 14, 3 years, 5%.	1,000
McKenna, Rose and John F to Fanny P Brainerd. 39th st, s s, 250 w 6th av, 25x100. Oct 17, due Aug 26, 1900, 6%.	200
McKeon, Henry to Mary Nisbet. Sands st, n s, 225 e Jay st, 25x100. Oct 11, 1 year, 5%.	3,000
McLoughlin, Charles mortgagor with John McLoughlin. Extension of mortgage. Oct 13.	nom
McNeely, Chas W and John A to John D Grover. Franklin av, e s, 20 n St Marks av, 19x80; Washington av, w s, 172.2 s Flushing av, 50x100; 11th st, n e s, 159.1 n w 4th av, 16.8x100. Oct 17, 1 year, 6%.	4,350
Same to John D Grover. St Marks av, s s, 95 e Franklin av, runs e 60 x s 126 x w 55 x n 37.1 x w 5 x n 88.11 to beginning; Clermont av, w s, 107 s De Kalb av, 25x73.4. Oct 17, 1 year, 6%.	1,200
Namm, Gussie to Chas M Whitney, Jr. Broadway, No 674, s w s, 140 s e Bartlett st, runs s e 80.5 to alley x w 20 x n e 20.6 to beginning, error. June 2, 2 years, 6%.	1,000
Neef, Adolph to Title Guarantee and Trust Co. Kenilworth pl. P M. Oct 17, 3 years, 5%.	2,300
O'Brien, John J to Chas M, Frederic B, Geo D and Herbert L Pratt. Prospect pl, s s, 157 e Schenectady av, 18x100. Oct 10, installs.	1,420
Parkin, John to Title Guarantee and Trust Co. Beverly road, s w cor East 15th st, 50x100. Oct 6, demand, 6%.	4,500
Pearce, Wm R to Clementine S Patchen. Degraw st, n s, 100 w New York av, 21.6x127.9. Oct 13, 3 years, 5%.	7,000
Plaisantin, Marianna to Zella Bogardus. Lawrence av, n s, 350 w 3d st, 100x100. Oct 17, 6 months, 6%.	800
Plant, William J to Mary L Plant. Adams st, e s, 100.9 n Prospect st, runs e 51 x s 0.9 x e 49.6 to alley x n 24 x w 100.6 to Adams st x s 23.3; Adams st, e s, bet Prospect and York sts, lot 220 map Joshua and Comfort Sands, 25x100. Oct 13, 4 years, 5%.	3,000
Post, Wm F to East Brooklyn Co-operative Building Assoc. Franklin av. P M. Oct 13, due Oct 14, 1902, 6%.	3,750
Quereau, Jennie wife Eugene M to Huldah Woodford. Park pl, n s, 565 e Underhill av, runs n 122.8 x s e 20.8 x s 112.7 to pl x w 18. Oct 17, due Oct 1, 1902, 6%.	1,850
Randall, Simon F to Title Guarantee and Trust Co. New York av. P M. Oct 17, 3 years, 5%.	3,000
Rauchfuss, Emily to Title Guarantee and Trust Co. Midwood st. P M. Oct 16, 3 years, 5%.	4,500
Rauchfuss, Grace H and Alfred to same. Midwood st. P M. Oct 16, 3 years, 5%.	4,500
Reineking, Emma and Emil to Bernhard J Pink. Osborn st, w s, 125 s Liberty av, 25x100. Sept 1, demand, 6%.	3,000
Reineking, Emil to Bernhard J Pink. Glenmore av, s e cor Crescent st. P M. Oct 14, due April 1, 1900.	4,200
Reineking, Wm J to Ann Washington. Railroad av. P M. Oct 11, due Oct 14, 1900, 6%.	700
Reynolds, Chas G to Mary, Virginia Kelby. Sterling pl, s s, 260 w New York av, 20x120.3. Oct 11, 3 years, 5%.	4,500
Same to Evelyn S wife James W Ridgway. Sterling pl, s s, 240 w New York av, 20x120.3. Oct 11, 3 years, 5%.	4,500
Same to Margt F Barnett. Sterling pl, s s, 220 w New York av, 20x120.3. Oct 11, 3 years, 5%.	4,500
Riley, Robert D to Hugh W Hamlyn. 58th st, n e s, 220 s e 11th av, 40x100.2. Sept 27, 3 years, 6%.	2,500
Rochomowitz, Annie to George Tonkonogy. Stone av. P M. Oct 16, 1 year, 6%.	165
Rosenberg, Max to Hattie G and Augusta C Kendrick. Varet st, n s, 125 w Humboldt st, 25x100. Oct 14, 3 years, 5%.	1,750
Ross, Wm S to Title Guarantee and Trust Co. Hawthorne st, s s, abt 995.7 e Flatbush av, 30x106. Oct 12, 3 years, 5%.	3,750
Ronzoni, Emanuele to Angelo Gabino. Sackett st, s s, 140 w Columbia st, 20x95. Oct 10, 2 years, 5%.	1,400
Saer, Frank to Samuel Arons. 60th st, n s, 320 e 12th av, 50x100.2. Oct 16, installs, 6%.	1,500
Samter, Abram and Caroline to Title Guarantee and Trust Co. Bridge st. P M. Oct 14, due Oct 17, 1902, 5%.	5,000
Same to John M Clancy. Same property. Sub to last mort. Oct 9, 1 year, 6%.	1,000
Schlegel, Valentine and Mary to Calvin W Withey. Leonard st, w s, 75 s Meserole st, 25x100. Oct 13, installs, 6%.	75
Schmidt, Charles and Amalia to Robert Hutchinson. Warren st. P M. Oct 17, 2 years, 5%.	1,300
Schmidt, Clara A and Wm F to Madison Co-operative Building and Loan Assoc. Monroe st, n s, 24 w Lewis av, 19x100. Oct 12, installs, 5%.	3,000
Schrader, Mary to Christina Huber. Hopkins st, n s, 449.2 e Throop av, 30x100. Oct 14, 1 year, 5%.	200
Scott, Frank M to Austin D Ewen trustee of Mary A Allen will of Geo Ricard. Congress st, s s, 80 w Columbia st, 2 lots. P M. 2 morts, each \$2,250. Oct 17, 3 years, 5%.	4,500
Seals, Wm H, Jr, to Elsie A Patchen. Rutland road, s s, 320 w Bedford av, 20x100. Oct 12, 1 year, 6%.	1,400
Same to Wm D Niper. Rutland road, s s, 300 w Bedford av, 20x100. Oct 12, 1 year, 6%.	1,000
Seaman, Kathleen E to William Ziegler. 38th st. P M. Aug 20, 3 years, 6%.	2,750
Same to Emma W Herbert. Same property. Sub to last mort. Aug 20, installs, 6%.	1,150
Seibert, Bertha to Peter Rugen. Meeker av. P M. Oct 9, 2 years, 5%.	700
Shadbolt, Elizabeth and Robert to Emma Schauf. Hart st, n s, 162.6 e Tompkins av, 18.9x100. Oct 16, due April 14, 1900, 6%.	300
Sibley, George to Title Guarantee and Trust Co. 54th st, n s, 160 w 5th av, 20x100.2. Oct 17, 3 years, 5%.	3,350
Sidley, Florence S and Elliott J to Chas M, Frederic B, Geo D and Herbert L Pratt. 55th st, n e s, 200 s e 14th av, 50x100.2. Oct 16, installs.	3,000
Singer, Frank L to Title Guarantee and Trust Co. Kosciusko st, n s, 233 e Sumner av, 20x100. Oct 13, 3 years, 5%.	4,500
Singer, Otto to Title Guarantee and Trust Co. Nostrand av. P M. Oct 17, demand, 5%.	4,000
Small, Harry F to Title Guarantee and Trust Co. Shepherd av. P M. Oct 12, due Sept 12, 1902, 5%.	1,500
Smith, Mervie B and Geo M to New York Hay Co. Stuyvesant av, w s, 75 s Lafayette av, 25x50. Oct 7, 1 year.	401
Stackhouse, Elizabeth M and Geo E to Thomas Rosecrans. 3d st. P M. Oct 18, installs, 5%.	2,700
Steffen, Henrietta to Chas H and Mary Ross. Johnson st, s s, 47.3 w Fleet pl, 25x75. Oct 18, 3 years, 5%.	800
Stewart, Marie and John C to C Oliver Sabine. Bay 28th st, south cor 86th st, 60x96.8. Oct 17, 3 months, 6%.	200
Stoney, Frank E A to Wm L Downing. 82d st. P M. Oct 11, installs, 6%.	2,800
Strauss, Ascher to Philip Lagro, New York. Thatford av, e s, 247.2 n Glenmore av, 17.7x100. Oct 13, 1 year, collateral security.	1,560
Taylor, Joseph C to Wilfred Burr. Hancock pl. P M. Oct 6, installs, 6%.	2,000
Toback, David to John L and Eliza P Heaton. Pitkin av, n w cor Thatford av. P M. Oct 9, 5 years, 6%.	3,000
Same to Michael Seltz. Same property. Oct 9, installs, 5%.	1,500
Tracy, Edward to Elizabeth Prosser et al exrs Thomas Prosser. 40th st, n s, 190.1 w Fort Hamilton st, 18x95.2. Oct 18, 3 years, 5%.	2,100
Universal Gas Meter Co to Alletta A Stillwell. 24th st, s s, 175 e 3d av, 50x100. Oct 12, due Oct 1, 1902, 5%.	1,200
Same to same. Consent of stockholders to above mortgage. Oct 12.	
Vail, Jessie L to Henry C Needham. Monroe st. P M. Oct 16, 3 years, 5%.	3,300
Van Pelt, Thos C to Terence Ferguson. Putnam av, n s, 147 e Marcy av, 26.6x100. Oct 16, due Nov 1, 1900, 5 1/2%.	3,700
Wardell, Geo P to Chas M, Frederic B, Geo D and Herbert L Pratt. East 29th st, w s, 210 s Av F, 40x100. Oct 9, installs.	4,500
Ward, Ellen to Augustus F Gardner. Gates av, east cor Irving av. P M. Oct 13, installs, 6%.	600
Ward, Joseph to Joseph Fallert Brewing Co. Halsey st, No 1204, s e cor Hamburg av. Leasehold. Oct 19, demand.	3,000
Wakeman, Geo W to Francis G Quinn. 31st st. P M. Oct 6, installs, 6%.	600
Webb, Cath C and Arthur C to Frederick Hornby. Doscher st. P M. Sept 1, installs, 6%.	480
Weber, Oscar to John Deinhardt. Himrod st. P M. Oct 16, 5 years, 6%.	1,500
Weidner, John F to Ferdinand Rubin. Locust av, n s, 60.9 w from w s lot 9 map No 3 of South Greenfield, runs n 102 x e 40 x s 102 x w 40. Oct 6, 3 years, 5%.	500
Weimann, Johannes and Lina to Anna T Moitrier. Melrose st. P M. Oct 14, 3 years, 5%.	3,500
Weingert, Abraham to Ernst-Marx-Nathan Co. Christopher av. P M. Oct 14, installs, 6%.	230
Wenke, Louis to Rubsam & Horrmann Brewing Co. 39th st, n s, 335 w 4th av, 25x100.2; 39th st, n s, 275 e 3d av, 25x100.2. Oct 9, demand, 6%.	2,500
Wexler, Morris and Rosey to Morris Berger. Cook st, n s, 150 e Manhattan av, 2 lots, each 25x100. 2 morts, each \$3,000. Oct 4, demand, 6%.	6,000
White, Jane G widow and Susanna E Wyckoff et al heirs Daniel T White to German Savings Bank, Brooklyn. Grand av, n s, 185.5 s e Driggs av, runs n e 41.6 x s e 1.4 x n e 53.10 x s e 18.3 x s w 93.9 to st x n w 19.6. Oct 16, due Dec 1, 1900, 5%.	4,000
Williamson, S Stryker to Sarah E Cole. Gravesend av, n e cor Village road. P M. July 1, 3 years, 5%.	2,750
Wilson, Esther L, Rockville Centre, L I, to Peder Norgard and Jorgen K Jorgensen. East 37th st. P M. Oct 12, installs, 5%.	1,090
Wleeke, Wm H to Anthony D Kaufmann. Bushwick av, n w cor Seigel st, 80x50. Oct 16, due Oct 1, 1900, 6%.	600
Wolffung, John and Mary to Frederick and Mathilda Reinhold. Fountain av, w s, 122.8 n Pitkin av, 20x100. P M. Oct 18, due Jan 1, 1903, 5%.	1,600
Worlock, Wilbur W to William Zeigler. 38th st. P M. Oct 16, 3 years, 6%.	2,750
Same to Emma W Herbert. Same property. Sub to last mort. Oct 16, installs, 6%.	1,250

MORTGAGES—ASSIGNMENTS.

October 13, 14, 16, 17, 18, 19.

Anglo-American Savings and Loan Assoc to Edward Ashforth.	6,686
Barr, Thos T to Nassau National Bank.	nom
Boyden, Annie, Northampton, Mass, to Hampshire County National Bank, Northampton, Mass.	2,000
Broadway Bank of Brooklyn to Selma A Young.	2,000
Brooklyn Trust Co guard Edward D Moore to Edward D Moore.	2,500
Bergen, Theodore V et al exrs Isaac E Bergen to Julia E Carroll.	2,500
Bowen, Wm T to Benson H and Joel B Goodman.	nom
Brown, Emily M extrx Emma Savage to Emily M Brown, New London, Conn.	2,000
Baylis, Willard N to Chas E Brush.	2,522
Bernstein, Max to Otto E Reimer.	2,500
Same to The State Bank, New York.	nom
Blank; Jacob and Henning N Bohlen to Helene M Fischbeck.	2,200
Coomb, Samuel H to Virginia C McDougall trustee Jane E Steadman.	3,000
Devlin, Geo W to Geo D Mabon.	1,500
Donnellon, Cornelius E to James B Potter et al exrs M L Potter.	13,750
Everit, Caroline L et al exrs Thomas Everit to Caroline L Everit.	1,400
Same to same.	940
Herbert, Henry J to Emma W Herbert.	nom
Herbert, Emma W to H C Anderson and ano exrs Annie B Anderson.	nom
Hoye, Stephen M to Lowry Somerville.	700
Kelly, Franklyn to Francis S McDivitt.	150
Lantelme, John B to Albert Schiffers.	475
Litchfield, Cleveland to Brooklyn Trust Co.	3,500
Manning, Mary J to John Wieland.	nom
Michel, Leopold to Charlotte Wills extrx John Wills.	4,700
Mabon, Geo D to Libbie A Devlin.	1,500
Morrisey, Edith M to Elizabeth Sorensen.	1,500
Murphy, Chas A to Title Guarantee and Trust Co.	7,500

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Murphy, Ann to Margt E Gallagher.	6,000
Mance, Josephine to Otto E Reimer.	400
Nichols, Annie B to Rosinia Russell.	1,500
Niper, Wm D to Carrie A McKean.	1,000
Osborne, Ella G and ano exrs Wm J Osborne to Title Guarantee and Trust Co.	3,500
Pfalzgraf, John A to Herman Schroeder.	nom
Pierrepoint, Robt L to Title Guarantee and Trust Co.	15,000
Pitbladdo, Thomas trustee Ann Robley to Ann Robley.	nom
Poppele, Rachel to John F Hinck.	4,051
Reppenhagen, Peter H and ano exrs Peter Alsgood to Herman berg.	3,000
Rauscher, Katharina to John Dill, Jr.	2,000
Rawson, Jerusha H to Florence R Hayes.	1,000
Same to same.	2,500
Same to Edward S Rawson.	4,000
Same to same.	2,000
Raymond, Ernest to John F Pearson.	370
Same to Herman Schroeder.	nom
Reimer, Otto E to Nathan T Sprague.	5,000
Reegen, Peter to Charles and Margaretha Brenner.	nom
Reynolds, Wm H to Castle Bros.	3,550
Sharkey, Mary E and Martha E to Brooklyn Development Co.	16,929
Smith, Frances E to Thos C Milard.	fwy
Smith, Frances E to Thos C Millard. 1890.	800
Schmutsch, Heinrich to Title Guarantee and Trust Co.	7,000
Simpson, Geo F trustee Thomas Simpson to Geo F Simpson trustee Thomas Green.	7,000
Scanlan, Joseph H to Eliz M Ford.	3,600
Schreiber, Geo J to Emma R Butcher.	7500
Smith, Wm H and ano exrs Thomas Smith to Ida M wife Theodore B Gates.	1,012
Stewart, Horatio S to Frank E Suter.	nom
Senger, John to William Albert.	4,000
Sorensen, Elizabeth to Edith M Morrisey.	3,000
Smith, Jas W and ano exrs Amelia Smith to Eleanor J Smith individ and as trustee for Sidney T Smith.	3,000
Sloane, Walter H to Chas A Murphy.	nom
Stevens, Minnie L to Title Guarantee and Trust Co.	1,850
Tetzner, Frederick J to William Beet.	605
Title Guarantee and Trust Co to Eliza Ross.	3,750
Same to same.	6,000
Same to Ida Miller.	1,400
Same to Edwd T Hunt exr Thomas Hunt. Assigns 3 morts, each 000.	\$6.- 18,000
Same to same.	8,000
Same to same.	7,500
Same to same.	5,500
Same to Lewis D Mason.	5,000
Same to Ida G Lyman.	2,500
Same to Fred R Dalzell.	8,500
Same to same.	4,250
Same to Chas S Baylis.	2,250
Same to same.	2,000
Same to Sarah B Shaw.	5,000
Same to Annie M Reid.	2,500
Same to same.	5,500
Same to Mathilde Martini.	1,400
Same to same.	1,600
Same to National Savings Bank, Albany.	3,600
Same to same.	6,500
Same to Grace M Johnson.	1,000
Same to Marine Society of City of New York.	2,700
Same to Emma A Morton.	4,750
Same to Courtlandt P Dixon as guardian.	2,250
Same to Albert and Eliz F Leffingwell.	2,100
Same to Brooklyn Savings Bank.	15,000
Wieland, John and Mary Jane, formerly Manning, to Adolph Kiendl.	450
Wood, Henry C and Frederick Schneider exrs will Anna Seebeck to Dorothea Kahl.	nom
Wood, Lily H to Effe V V Knox.	1,600
Wood, Cynthia A guard Daisy C Wood to Effe V V wife Chas H Knox.	1,000
Ward, Ellen to Henrietta Griggs.	1,800
Williams, Brister to Edward G Ward.	1,000

NEW BUILDINGS.

The first name is that of the owner; ar't stands for architect; b'r for builder.
All roofing material is tin, unless otherwise specified.

1906—West 5th st, n w cor Neptune av, 1-sty brk carhouse, 746.8x75; gravel roof; cost, \$30,000; Coney Island & Brooklyn R R Co, De Kalb and Central avs; ar't, A Barbaresi, 251 East 116th st, New York; b'r, A Pasquini, 1123 Broadway, New York.

1907—Ralph av, w s, 207 n Park pl, frame shed, 5x16, tar paper roof; cost, \$20; Gus Grindrod, 508 Ralph av.

1908—Richardson st, s s, 100 w Lorimer st, 1-sty frame store, 25x28, gravel roof; cost, \$100; Henrietta Sypher, 42 Richardson st; ar't, J M Baker, 21 Hart st.

1909—59th st, s s, 240 w 13th av, 2-sty frame dwell'g, 20x30, 1 family; cost, \$1,400; Catharine Meyer, 66th st and 11th av; ar't and b'r, Charles Steckel, 65th st and 7th av.

1910—Huron st, n s, 200 e Manhattan av, 3-sty frame tenem't, 25x56, 6 families, gravel roof; cost, \$4,000; James Rogers, 185 Huron st; ar't, P Tillion, 121 Meserole av.

1911—Denton pl, e s, 155 n 1st st, 1-sty brk dwell'g, 17x30, 1 family, tar and gravel roof, galvanized iron cornice; cost, \$900; Joseph Borgia, 14 Denton pl; ar't and b'r, J Pape, 398 Rutland road.

1912—67th st, n s, 320 e 14th av, 1½-sty frame stable, 24x21, tar and felt roof; cost, \$200; Louis E Schumway, on premises; ar't, W H Abbott, Jr, 1180 5th av.

1913—Grand av, e s, 21 s Prospect pl, six 4-sty brk flats, 17.6x69, 8 families, galvanized iron cornice; total cost, \$48,000; C G Baxter & Co, 373 Fulton st; ar't, Irving B Beels, 371 Fulton st.

1914—Bay 16th st, w s, 170.9 n Cropsey av, 2-sty and attic frame dwell'g, 35.6x30, 1 family, shingle roof, hot air; cost, \$4,000; Henry Henjes, Cropsey av cor Bay 19th st; ar't, C Schubert, Bath av near Bay 19th st.

1915—Bay 31st st, e s, 220 n Cropsey av, 2-sty and attic frame dwelling, 37.6x37.6, 2 families, shingle roof, hot air; cost, \$5,000; J W Trowbridge, Hotel St George; ar't, same as last; b'r, E G Vail, Jr, Bay 19th st and Bath av.

1916—82d st, s s, 400 e 12th av, similar dwell'g, 24x35; cost, \$400; N L Johnson, 82d st and 11th av; ar't, same as last.

1917—Thatford av, e s, 50 n Sutter av, 3-sty brk shop, 40x80, gravel roof, galvanized iron cornice; cost, \$7,500; Leo Ratner, Belmont av cor Watkins st; ar't, C Infanger, 2590 Atlantic av.

1918—Sterling pl, s s, 290 e Schenectady av, 1-sty frame dwell'g, 19x36, 1 family; cost, \$500; Mary A Feeny, 1360 Douglass st; b'r, James Ryerson, 1748 Degraw st.

1919—60th st, s s, 420 w New Utrecht av, four 2-sty brk dwell'gs, 17.6x40, 2 families, galvanized iron cornice; total cost, \$11,200; ow'r, ar't and b'r, Thos H Sherman, 20th st and Terrace pl.

1920—Pacific st, s s, 31.6 w Nostrand av, three 5-sty brk flats, 20.2x76.6, 5 families, gravel roof, steam heat, galvanized iron cornice; total cost, \$33,000; E J Maguire, 52 Herkimer st; ar't, A S Hedman, Arbuckle Building.

1921—78th st, s s, 324 w 5th av, 2-sty frame carriage house and stable, 20x29; cost, \$1,000; Manley Bros, on premises.

1922—Neptune av, s s, 220 w Highland av, 2-sty and attic frame dwell'g, 22x43, 1 family, shingle roof; cost, \$5,000; Charlotte P Munn, Hotel Majestic, New York; ar'ts, Parfitt Bros, 26 Court st; b'rs, Ferguson & Brown, 1357 Rogers av.

1923—Nautilus av, n w cor Highland av, similar dwell'g, 26x48; cost, \$5,000; ow'r, ar'ts and b'rs, same as last.

1924—Fennimore st, s s, 105 e New York av, twelve 2-sty frame dwell'gs, 17x26.10, 1 family, shingle and tin roof; total cost, \$18,000; Borough Homes Co, 45 Broadway, New York; ar't, Oscar Lowinson, 39 Cortlandt st, New York.

1925—57th st, s s, 140 e 3d av, two 4-sty and basement brk dwellings, 20x71, 1 family, galvanized iron cornice; total cost, \$18,000; R Wilhelm, 191 58th st; ar't, Thos Bennett, 198 53d st.

1926—Metropolitan av, s s, 300 e Catherine st, brk kiln, 25x20; cost, \$1,250; Charles Graham, 1018 Metropolitan av.

1927—Surf av, n s, 40 w Warehouse av, 2-sty frame hotel, 30x68, gravel and felt roof; cost, \$3,800; L Vastola, Mermaid av and West 15th st; ar't, E H Brinckerhoff, Bowery and Schweickerts walk.

1928—Osborne st, e s, 175 s Pitkin av, 1-sty frame shop, 24x23; cost, \$200; Henry Lieb, Osborne st and Belmont av; ar't, L Danancher, 277 Milford st.

1929—Surf av, east cor Neptune av, 2-sty and attic frame dwell'g, 43 x37, 1 family, shingle roof, hot air; cost, \$7,000; Martha J Simpson, Sea Gate; ar'ts, Parfitt Bros, 26 Court st; b'rs, Ferguson & Brown, 1357 Rogers av.

1930—Watkins st, e s, 50 n Riverdale av, 2-sty frame dwell'g, 25x25, 2 families; cost, \$500; Abraham Dubbroff, on premises; ar't, L Danancher, 277 Milford st.

1931—East 24th st, e s, 165 n Voorhies av, 2-sty and attic frame dwell'g, 26.2x43.2, 1 family, shingle roof, steam heat; cost, \$5,300; James Beattie, Emmons and Voorhies avs; ar'ts, Jeffery & Umbrecht, Syracuse, N Y; b'r, F C Reynolds, Voorhies av and East 26th st.

1932—Surf av, n e s, opposite junction of Beach 45th st and Atlantic av, 2-sty and attic frame dwell'g, 43x37, 1 family, shingle roof, hot air; cost, \$7,000; ow'r, ar'ts and b'rs, same as No 1929.

1933—Liberty av, s s, 70 e Alabama av, frame blacksmiths shop, 20x30, gravel roof; cost, \$125; Catherine Hucking, 6 St Felix st.

1934—Union av, e s, 91 n North 8th st, 1-sty frame stable, 21x38, gravel roof; cost, \$380; Geo H Hill, 165 Rutledge st; b'r, A Zink, 163 North 3d st.

1935—Rutledge st, n s, 190.3 e Kent av, 1-sty brk stable, 29x65, gravel and felt roof; cost, \$1,500; L A & T A McMillan, 206 Hooper st; ar'ts, Johnson & Helmle, 220 South 8th st; b'rs, Libby & Keese, 519 Flushing av.

1936—5th av, w s, 25 s 65th st, 1-sty frame greenhouse, 11x150; cost, \$200; John M Keller, 451 66th st.

1937—Columbia Heights, e s, 200.4 n Pierrepoint st, 7-sty brk flat, 25x85.6, 7 families, steam heat, galvanized iron cornice; cost, \$75,000; Louis Horowitz, 116 Clinton av; ar't, F Jacobson, 54 West 18th st, New York.

1938—Van Sicklen st, e s, 450 n Av T, 2-sty and attic frame dwell'g, 38x33, 1 family, shingle roof, steam heat; cost, \$4,500; Richard De Nyse, Kings Highway and Van Sicklen st; ar't and b'r, P J Van Note, Bay 35th st, Bensonhurst.

1939—Pennsylvania av, w s, 100 n Fulton st, similar dwell'g, 27.6 x36; cost, \$5,830; Lina Bookman, Cypress av, Cypress Hills; ar't, C Infanger, 2590 Atlantic av; b'r, Reicket, 129 Bradford st.

1940—Etna st, s w cor Chestnut st, five 2-sty frame dwell'gs, 18.9x40, 1 family; total cost, \$7,500; Barbara Lauer, 16 Hill st; ar't, C Infanger, 2590 Atlantic av; b'r, E W Lauer.

1941—Glenmore av, n s, 25 w Cleveland st, 1-sty frame stable, 13x21, shingle roof; cost, \$30; Thomas Bulger, on premises; b'r, E Farrington, 334 Linwood st.

1942—Sterling pl, No 891, 1-sty brk studio, 17.6x18, gravel roof, galvanized iron cornice; cost, \$150; Mrs Lillian Maxim, on premises; ar't, A S Hedman, Arbuckle Building.

1943—Metropolitan av, n s, 100 e Vandervoort av, 1-sty frame factory, 32x36, gravel roof; cost, \$150; Henry Feltman, 207 Cornelia st.

1944—51st st, n s, 250 e 5th av, 3-sty brk dwell'g, 25x56, 3 families, galvanized iron cornice; cost, \$8,000; Frank Gelston, 166 52d st.

1945—61st st, s s, 60 e Cowenhoven lane, 1-sty frame dwell'g, 20x25, 1 family; cost, \$500; Helen Stafford, on premises; ar't, C S Haviland, 67th st and 13th av.

1946—Devoe st, n s, 250 e Catherine st, 1-sty frame shed, 25x25, gravel roof; cost, \$100; Charles Graham, 1018 Metropolitan av.

1947—Wallabout st, s s, 144.8 w Harrison av, 4-sty brk factory, 84x80, felt and gravel roof, steam heat, brk cornice; cost, \$25,000; Chas Pfizer & Co, 81 Maiden lane, N Y; ar't, Th Engelhardt, 905 Broadway; b'r, John Rueger, 250 Moore st.

1948—St Nicholas av, w s, 80 s Ralph st, two 3-sty frame dwell'gs, 20x50, 3 families; total cost, \$6,000; ow'r and b'r, August Bauer, 271 St Nicholas av; ar't, L Berger, 300 St Nicholas av.

ALTERATIONS.

1827—Stockholm st, s s, 325 e Irving av, repairs on stable; cost, \$10; C Cook, 310 Stockholm st.

1828—Nassau st, s s, 100 e Gold st, new brk wall in front basement; cost, \$200; S A Campbell, 166 High st; b'r, W Gibbons, 205 Nassau st.

LAFARGE PORTLAND CEMENT

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1829—Fulton st, No 363, interior alterations; cost, \$25; Martin P Mead, 36 Monroe pl; b'r, C Johnson, 622 Bogart st.

1830—Fulton st, s w cor Elm pl, 1-sty iron extension, 7.6x50; cost, \$700; Francis E Borden, trustee, 24 W 29th st, New York.

1831—Leonard st, e s, 225 n Calver st, frame piazza; cost, \$100; P O'Neill, 479 Waverly pl; ar't, J P Card, Corona, L I; b'r, H Truss, Corona, L I.

1852—6th av, No 663, shore building; cost, \$65; Mrs Celine Schwarz, on premises; b'r, N Nelson, 347 20th st.

1833—Cooper st, s s, 200 w Knickerbocker av, 1-sty frame extension; cost, \$100; T Littlewood, Otsego, N Y; b'rs, Rose Bros, 2 Hinsdale st.

1834—Glenmore av, n s, 36 w Milford st, frame piazza; cost, \$100; Charles Endelman, 875 Glenmore av; b'r, Geo Mall, 344 Stanhope st.

1835—Frost st, No 33, move house to rear of lot; cost, \$250; Dominico Di Monte, on premises; ar't, P Tillion, 121 Meserole av.

1836—55th st, s s, 275 e 14th av, add frame sty; cost, \$300; Robt Frothingham, 1442 55th st; b'rs, Bates & Grady, 59th st and New Utrecht av.

1837—East 26th st, w s, 280 n Voorhies av, frame porch, 10x30; cost, \$100; Peter Wimmer, Sheepshead Bay; b'r, N B Russell, Shore road near Sheepshead Bay.

1838—Elton st, w s, 100 n Liberty av, 2-sty frame extension, 24.6x10; cost, \$400; Nicholas Catapana, on premises; ar't, C Infanger, 2590 Atlantic av.

1839—Herkimer st, s w cor Albany av, 1-sty brk extension, 20x58; cost, \$3,500; Martin Suydam, 587 Franklin av; ar't and b'r, T A Remsen, 436 Prospect pl.

1840—Broadway, Nos 1855 and 1857, rebuild cellar wall and 4 chimneys; cost, \$200; Ella H Leffmann, 743 Hancock st; b'r, G W Pipe, 1510 Fulton st.

1841—Linden Boulevard, No 59, storm door and piazza; cost, \$100; M L Holman, on premises; b'r, A Donner, Nostrand av and East Bway.

1842—1st av, s w cor 55th st, new sill; cost, \$100; John Mumm, 688 10 av; ar't, C Holmes, 140 5th st.

1843—Broadway, w s, 5 s Halsey st, 1-sty brk extension, 20x20; cost, \$300; John Rueger, 250 Moore st.

1844—Court st, n w cor Pacific st, new front and floor; cost, \$90; Milford Wood, 18 Sidney pl; b'r, F M Bacon, Lawrence st near Fulton st.

1845—Watkins st, w s, 200 n Newport av, 2-sty frame extension, 12 x16; cost, \$200; Frank Grossbath, 446 Watkins st; ar't, L Danancher, 277 Milford st.

1846—Manhatan av, No 619, 1-sty frame extension, 20x15; cost, \$400; Alex Campbell, on premises; ar't, P Tillion, 121 Meserole av.

1847—Leonard st, w s, 175 s Meserole av, 1-sty frame extension, 3x13.6; cost, \$100; John Bremer, on premises; ar't, P Tillion, 121 Meserole av.

1848—Sullivan st, s s, 175 w Conover st, raise building and add sty on foundation; cost, \$2,000; Richard Mc Nerney, 147 Sullivan st; ar't, D J Lynch, 97 Coffey st.

1849—West st, n w cor Green st, interior alterations on factory; cost, \$3,000; New York & Boston Dyewood Co, on premises; ar't, Oscar Lowinson, 39 Cortlandt st, New York.

1850—Crospey av, s e cor Bay 37th st, interior alterations and new frame towers and cupola on roof; cost, \$6,000; Joseph N Oliver, Memphis, Tenn; ar't, C Werner, 26 Court st; b'r, P J Van Note, Bensonhurst.

1851—Myrtle av, n s, 49 e Harman st, 1-sty frame extension, 18.10x37; cost, \$200; Edward E Bunce, 501 Madison st; ar't, E Dennis, 591 Liberty av.

1852—Roebing st, e s, 100 s South 1st st, repair frame building; cost, \$50; Alice McDonald, 199 Roebing st; b'r, J Van Wagner, 199 Roebing st.

1853—Degraw st, No 100, repair brk dwell'g; cost, \$45; Mary Stemmuter, on premises; b'rs, P & W Integlia, 79 Degraw st.

1854—Court st, No 214, interior alterations; cost, \$1,000; P J Kelly, Court and Warren sts; ar't, J G Glover, 186 Remsen st.

1855—Beard st, n s, 125 e Van Brunt st, interior alterations; cost, \$50; Arthur B Hagerty, 550 Henry st.

1856—Central av, w s, 140 s Gates av, new bakers oven; cost, \$350; Henry Wellner, 402 Central av; b'rs, Dumbleton & Sons, 619 Carlton av.

1857—North 8th st, No 214, 3-sty frame extensions, front and rear, 25x3 and 25x10; cost, \$1,200; Domenico Russo, 58½ Mulberry st, New York; ar't, Hugo Smith, 836 Broadway.

1858—Rockaway av, w s, 80 n Chauncey st, repair damage by fire; cost, \$900; Rudolph Noethinger, 28 Rockaway av.

1859—Hawthorne st, n s, 400 w Rogers av, 1-sty frame extension, 14 x20; cost, \$300; Sidney Walther, 109 Hawthorne st; ar't, F Engel, 149 Vernon av.

1860—Dean st, s s, 417 w Vanderbilt av, 4-sty brk extension to warehouse, 30x70; cost, \$7,000; P F Reilly, 588 Dean st; ar't, G F Rooten, 68 Fort Greene pl.

1861—Bainbridge st, n s, 95 w Stuyvesant av, 2-sty brk extension, 20x20; cost, \$4,000; Mrs W H Mott, 137 Bainbridge st; ar't, W E Clayton, 137 Bainbridge st.

1862—Graham av, n e cor Engert av, 1-sty frame extension, 31.8x49.6; cost, \$2,000; Louis Herth, 540 Graham av; ar't, F Holmberg, 1153 Myrtle av.

1863—Degraw st, No 104, repairs; cost, \$42; Margaret Hess, 550 Henry st; b'r, J Higgins, 164 Spencer st.

1864—Degraw st, No 102, repairs; cost, \$20; W Fink, 172 Degraw st; b'r, same as last.

1865—Flushing av, s s, 62 e Beaver st, add 2 frame stories; cost, \$2,500; G Sautter, 12 Beaver st; ar't, H Vollweiler, 483 Hart st.

1866—Hall st, No 107, substitute flat for peak roof; cost, \$200; Frank Spedick, on premises; b'r, Geo H Sissingham, 126 Carlton av.

1867—Osborne st, w s, 100 n Belmont av, 2-sty frame extension, 10x20; cost, \$600; Bernard Firstman, on premises; ar't, L Danancher, 277 Milford st; b'r, Morris Kronenberg, 91 Thatford av.

1868—Noble st, n e cor West st, new store front and interior alterations on offices; cost, \$3,000; American Manufacturing Co, 65 Wall st, N Y; ar't, W Higginson, 108 Fulton st.

JUDGMENTS.

In these lists of Judgments the names alphabetically arranged, and which are first on each line, are those of the judgment debtor. The letter (D) means judgment for deficiency. (*) means not summoned. (+) signifies that the first name is fictitious, real name being unknown. Judgments entered during the week, and satisfied before day of publication, do not appear in this column, but in list of Satisfied Judgments.

Oct.

17 Adams, "Andrew" D F—W F Clayton, 110.07

17 Alexander, Pauline—H B Clafin Co., 157.40

17 Applegate, "John" H—Exrs of H Newman, 418.75

13 Bradt, Linnie K admr Merritt B Bradt—E M Hobby (D) 801.88

16 Baldwin, Smith S—Schoverling, Daly & Gales, 153.90

16 Ballweg, Susanna and Hermann—C Hestermann (D) 203.95

17 Baumann, Minnie—C Valentine, 158.36

17 Butler, Maria—Catholic Benevolent Legion, 63.50

17 Bartlett, Geo A—Mutual Benefit Loan and Building Co. (D) 688.50

17 Behan, Fannie—Nannie Nelson, 594.14

18 Buckley, Eliza—W J Ripp, 129.07

18 Bratten, Hilda M—F G Isles, 57.57

19 Bassler, Arnold—Eastern Brewing Co., 510.07

19 Brown, Louis H—T H Van Brunt, 68.52

13 Condict, Silas A—Jennie E B Reynolds, 14,952.45

14 Coffin, Frederick R—Germania Life Ins Co, 427.98

17 Colyer, Josephine—Exrs of J Ehlers, 2,815.64

17 Conklin, Henry A—R Hodgson, 462.31

18 Cooper, Frank A—P W Schmitz, 292.85

18 Connor, Peter—A Mowbray, 109.07

18 Cook, Geo H—T Donlon, 2,537.89

18 Clement, Theresa—Aspell & Co, 176.57

18 Conkling, Frederick—J F Poppke & Son, 214.37

19 Curtin, Anna M—J McMurrrough and ano., 90.47

13 Delap, Joseph M—N Y & Brooklyn Casket Co, 916.67

14 Dykman, William N recvr Commercial Bank—S L Keeney et al, 122.85

16 Dougherty, Geo W—O H Wenderoth, 112.28

16 Dougherty, Wm A—the same, 205.54

17 Durgee, Mary J—H J Hagner (D) 236.70

17 Dougherty, Patrick—H Clausen & Son Brewing Co, 391.39

18 De Baum, Wm S—A Quackenbush, 114.32

18 d'Auxy, Charlotte A L—Morning Journal Assoc, 73.00

19 Dowdell, James H—W Reimer, 61.70

17 Ennis, William J Weber, 109.07

18 Eldert, Albert H—National Casket Co., 722.67

18 the same—the same, 312.58

17 Finley, Ernst H—New York Printing Co., 29.22

43 Goodheim, Jacob—W T Paal, 91.07

17 Gill, George and Frank—Gasteiger & Schaefer, 116.56

17 Gray, T R—D A Diefendorf, 109.20

17 Gallaudet, Mary—Herbrand & Orf, 47.82

17 Gildersleeve, George—First National Bank, Yonkers, 180.71

19 Gallagher, Catharine—C F Myers, 109.80

13 Herlet, Vincent—Mary & H Loeffler, 50.00

16 Higgins, Algernon S, Jr, and Ida M—G S Kutz, 1,040.61

16 Hubbard, Mary G, Mary C and Armilla P—Exrs of Phebe B Birch, 353.94

17 Hume, Henry J—W L Morehouse, 87.07

17 Hues, Josephine L—Ella A Young, 45.28

18 Heidemann, Estello—T H Wheeler & Co., 508.97

18 Johnson, Mary J—Nassau Elec R R Co, 97.07

19 Jacobson, Daniel—Eastern Brewing Co., 120.29

13 Kojan, Edward—Crospey & Mitchell, 840.54

16 Kutner, Rudolph H—N Y & N J Telephone Co., 43.18

16 Kessel, Charles—the same, 45.94

16 Kaebl, John—Wilhelmine Backhaus, 335.57

18 Kreisler, B & Sons—C S Phillips et al., 2,573.00

19 Krisko, Andrew—Eastern Brewing Co., 335.57

19 King, Chas L—H S Donaldson and ano., 108.48

13 Lehman, George—J Volk, 33.07

17 Lester, Thomas—J McKenna, 75.67

17 Lack, Christine V—J Poppke and ano., 75.15

18 Ludlow, Harriet F—J H Gass, 276.76

16 Matthei, Henry—F H Leggett et al., 73.24

16 Martin, "George"—H J E McCaffrey, 99.30

16 Monell, Chas E—Exrs of Phebe B Birch, 353.94

18 Mintz, Mark—J M Stoddart Co., 149.03

18 Mohrmann, George—A Baum, 48.07

19 McPhee, David—Eastern Brewing Co., 91.53

19 Mulligan, Michael E—the same, 130.82

19 McPartland, George—M McCue and ano., 60.47

19 Monsette, Oliver J—J G Wilson, 25.86

19 McGowan, Elizabeth—H C McGowan, 74.48

18 Nilson, Anna—F G Isles, 57.57

14 Power, Elizabeth—F F McKnight, 279.89

18 Puels, Joseph—A Abraham et al., 208.81

16 Rawson, Geo S—N Y & N J Telephone Co., 100.37

16 Riley, Edward F—W L Morehouse, 87.07

19 Reddall, Frederic—E S Werner, 247.67

16 Schwendach, John—Kath Spellman, 36.69

16 Skinner, Frank C—Mary E Lawrence, 134.07

17 Smith, James G—C E Hoag, 195.50

18 Storey, Edward A—F S Metcalfe, 4,079.43

19 Stewart, Samuel J—W R Pabst, 73.43

19 Solomons, Joseph R—L L Ruppert and ano., 374.21

19 Schulz, Christopher—Froelich Bros Co., 180.43

13 Tebbe, Louis F—Globe Security Co., 65.00

18 Tilden, Geo H—A R and A H Clark, 1,155.57

13 Brooklyn Heights R R Co—Margt Erfurt, 1,129.82

13 New York, City of—J F Dwyer, 103.61

13 Moore & Rittenhouse—International Contracting Co., 271.62

14 Commercial Bank, William N Dykman recvr of—S L Keeney et al, 122.85

14 Seigel-Cooper Co—Margt Quirk, 111.75

16 New York, City of—P C Williams et al., 160.47

16 Charles E Monell Co—Exrs of Phebe B Birch, 353.94

17 Otto Huber Brewery—I Pomeranz, 616.63

17 Manhattan Institute of Electro Therapeutics—W Murray, 965.46

18 Sea Beach Land Co and Sea Beach R R Co—J C Myers, 89.72

18 Brooklyn Heights R R Co—T F Stoothoff, 9,141.46

19 New York, City of—E C Swezey, 948.82

19 Nassau Elec R R Co—Sophie Freese, 698.92

13 Uppington, Mary T—City of New York, 61.32

18 Ungerman, Benjamin—S B Barkin and ano., 304.77

17 Vazzoler, Cesare—Admr of Maria Vazzoler, 1,895.60

17 Vreeland, David L—A H Haacke, 185.92

13 Wichmann, Herman—C A Stewart, 323.31

14 Wilson, Sarah—W A Bryce, 118.02

SATISFACTION OF JUDGMENTS.

Oct. 13, 14, 16, 17, 18, 19.

Berkowits, Kalman—J U Shorter et al., 1898, 215.25

Bradshaw, Nicholas—J H Ahern, 1899, 159.21

Beveridge, Marion by Martin L Lee admr of—Exrs D Beveridge, 1899, 1,578.62

Cunningham, Estate of Jane—Sarah Cook, 99, 85.02

Eglington, Francis L—Equitable General Proving Co., 1898, 47.83

Flynn, Mary C, Regina and Wm J—Annie D Flynn, 1899, 8,241.13

Gilroy, Thos F—W S Badger, 1898, 191.00

Lee, Martin L admr Marion Beveridge—Exrs of D Beveridge, 1899, 1,578.62

Martin, John J—F H Clark, 1899, 384.58

Mehling, Sebastian—Moffett & Kramer, 1898, 45.32

O'Connor, Patrick—L R Welles Comr., 1896, 102.90

Ravenhall, Peter J—G Kemp, 1899, 653.74

Schoenecker, Andrew—J H Baker and ano., 1893, 221.51

Seitz, Michael—J Manheim, 1898, 77.00

Stanton, Philip V R et al—United States Trust Co., 1893, 105.77

Same—same, 1892, 68.34

Same—J T Mareau, 1895, 1,064.39

Stantin, Adelaide B extrx Philip V R—W J Gilfillan, 1897, 2,315.30

Same—Trustees J W Ruxton, 1896, 2,060.00

Brooklyn Heights R R Co—E Sena, 1899, 75.94

Same—same, 1899, 614.19

Same—H Goldstein, 1899, 396.78

Nassau Elec R R Co—F Holzwarth, 1899, 10,637.07

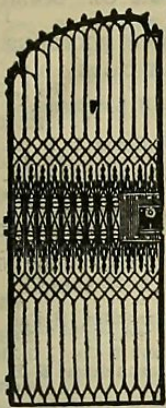
Brooklyn Heights R R Co—Edith Leschinsky, 1899, 394.77

Vala, Frank—C H Wandell, 1899, 29.07

Wilson, Pulaski C—F J Munson, 1886, 519.33

Same—Jeremiah T Story, 1884, 188.07

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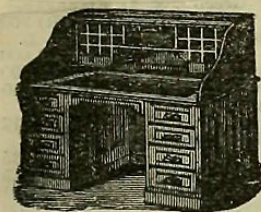
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MECHANICS' LIENS.

Oct. 13.

58th st, s s, 20 w 7th av, 120x100. Geo L Kumpf agt A G Kalb\$41.25
Osborn st, e s, 25 n Dumont av, 25x100. Charles Schirmeister agt Frederick Neugass and Hyman Spirota... ..260.00

Oct. 17.

St Marks av, Nos 1725 to 1731, n s, 302.10 e Parkway, 72x127.10. H J Brown & Son agt Samuel Rockwell. Continuation of lien.160.60

Oct. 18.

Franklin av, w s, 101 s St Johns pl, 80x100. Halsted Lumber Co agt Wm Brown and Chas A Murphy and Annie Corringham.135.46
Clinton st, w s, extends from Atlantic av to State st, x100, "The Fougera." Philip Semmer Glass Co agt William Nelson and I Yrasda368.55
St Nicholas av, n w cor Stanhope st, 200x300. Stockinger Bros agt German Hospital Society and Leishelmer & Herber460.00

Oct. 19.

Lafayette av, No 1084, between Patchen and Reid avs. Burns, Russell & Co agt Minister, &c, Christ English Evangelical Lutheran Church and E Kuhnla.200.00
Av F, s w cor New York av, 100x100. George Martin agt L J Gougler139.50

BUILDING LOAN CONTRACTS.

Oct. 13.

4th av, corner of 40th st, 100.2x100. Charles Collins with Talitha Hatch; additional to loan contracted for Jan 25, '99\$3,500

SATISFIED MECHANICS' LIENS.

Oct. 12.

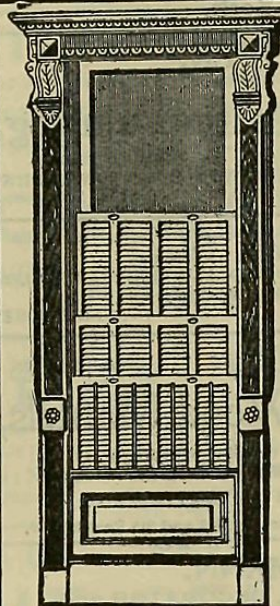
58th st, s s, 560 w 6th av, x—. Frank D Creamer agt Albert G Kalb and Geo L Kuntz. (July 18).....\$252.45

Oct. 13.

Sands st, No 44. William B Sing agt Wm W Davies. (May 1).....68.81

Oct. 14.

Stone av, e s, 175 n Belmont av, 75x200. David Guth agt James A Shepard and William Schleichtel. (Oct 12).....29.50



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SURE TO GET THEM. | Office, 61 WORLD BUILDING Factory, BURLINGTON, VT.

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- Oct. 16.
East 31st st, e s, 125 s Grant st, 54x100. George Feth agt John Gregorson. (July 27).....30.00
East 31st st, w s, 125 s Grant st, 54x100. Same agt same. (July 27).....60.00
- Oct. 17.
Troy av, e s, 237.6 n Av J, x—. Stewart F Barr agt Christian Hutter and Robt H Tyn-dall. (Aug 22).....100.00
Tillary st, No 55, cor Duffield st, 28x—. Geo Hofacker agt Michael Braun. (May 2).....422.00
North Henry st, w s, 175 s Norman av, 40x 100. Henry Reichert agt Martin Rourke. (Oct 4).....39.50
- Oct. 18.
60th st, n s, 160 e 13th av, 40x100.2. Alexander Young agt Alexander Biggio. (Sept 21).....84.00

GENERAL ASSIGNMENTS.

Oct. 13.

13 Henschel, E Levy (residing at 446 3d st, carrying on business of manufacturing knit underwear at 113 5th av), to John Clark.

APPROVED PAPERS.

Week ending Oct. 14, 1899.

REPAVING.

Melrose st, from Broadway to Flushing av; granite block.
Jefferson st, from Bushwick av to Irving av; granite block.
Beaver st, from Wall st to Flushing av; granite block.
Bogert st, from Flushing to Johnson av; granite block.

CHATELS.

NOTE.—The first name, alphabetically arranged, is that of the Mortgagor, or party who gives the Mortgage. The "R" means Renewal Mortgage.

Oct. 12, 13, 14, 16, 17, 18.

MISCELLANEOUS.

Ackerson, W B. 823 Lafayette av. I Z Garfield. Drugs, &c. \$2,500
Asher, A. 1433 Broadway. J W James. Drugs. 3,000

- Arras, H. 457 5th av. Nat C R Co. Register. 145
Acker, H E. 16 Stanhope. H Hissner. Milk Wagon. 30
Avete, V. T N Bowles. (R) 20
Begrin, V. 553 Stone av. W Shapiro and D Guth. Horse, &c. 75
Bennett, R R. Greene av. W B Davis. Coupes. (R) 1,200
Same...same. Coach. (R) 800
Same...same. Ambulance. (R) 500
Blomgren, J A. 9 9th. Anna H Kendahl. Smiths Tools, &c. 500
Blaney, J V. 469 6th av. E C Johnson. (R) 350
Bungert, K. 136 Wyckoff av. H Weiss. Truck. 69
Bennett, Z R. 54 Vesey, N Y. Mary C Bennett. Printing Plant. 1,500
Cantalupo, F. Archer Mfg. Co. (R) 114
Champ, H C. 22 Morton. Prentiss Tool Co. (R) 100
Cain, H I. 35 Vesey, N Y. Van Allens & B. (R) 950
Corrao, S. 151 Prospect. T J Colins. Barber Fixtures. 411
Carroll, T W. Pearl and Fulton. J E Carroll. Shelving, Books, &c. 2,500
Cooper, M. 194 Myrtle av. Nat C R Co. Register. 80
Cherry, Eliz B. 403 Franklin av. L H Finley. (R) 100
Same. L H Finley. (R) 100
Coombs, R T & Bro. 14 Water. Mary Seaman. Machinery. 750
Coons, Mary F. 210 Stuyvesant av. Columbia L A. Painters Plant. 100
Cruikshank, W J. 100 Fort Greene pl. V Linn & Son. Buggy. 290
Dall, W M. 228 Union av. G Frey & Co. Wagon. 48
De Martino, F. 213 Adams. G Cilento. Barber Fixtures. 75
Duckert, L. T N Bowles. (R) 181
Dickman, N. 87 Seigel. Bessie Bacek. Sewing Machines. 200
Dietz, E. 239 Centre, N Y. W Johnson. Presses. 275
Dunn, J J. Atlantic av. W B Davis. (R) 100
Drummond, R. 446 Pearl, N Y. Lovejoy Co. (R) 8,709
Englander, B. Thatford st, near Dumont av. E Rothschild. Cows. 60
Erasmil, M. 1173 Liberty av. G & H Flier. Butcher Fixtures. 300
Fleig, W. Johnson av, near Gardner av. H Garlichs. Horses, &c. 261

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Beyer. Office Fur., Horse, &c. 1,000

Fernandez & Collin. 307 7th av. Metropolitan 119

Store Fixture Co. Store Fixtures. 119

Franz, H. F. Livingston and Hoyt. T J Col- (R) 91

lins. (R) 91

Gratton, J. H. and A. Alexander. 305 Pearl. 105

Conner, F. & Co. Press. 105

Grob, V. 54 Throop av. A Heene. Bakery. 200

Grozinger, F. 186 Montauk av. Nat C R Co. Register. 80

Gatti, M. T. N. Bowles. (R) 215

Gold & Nicoll. 3d av. Lincoln Iron Works. (R) 8,912

Henken, Addie. 110 Wyckoff. H Thietbar. 300

Grocery, &c. 300

Highland Bicycle Club. Bushwick av and De Sales pl. J C F Horstmann. Pool Table, &c. 100

Hofert, Wilhelmina A. 223 Hamilton av. F. 1,000

Elfein. Drugs. 1,000

Hahn, G. 1341 3d av. Nat C R Co. Register. 170

Hanson, G. Jr. 598 Fulton. Metropolitan Store Fixture Co. Fixtures. 120

Hartmann, L. Amboy st and Pitkin av. Emma Rothschild. Cows. 85

Hulle, B. H. 191 Knickerbocker av. Augusta Whittington. Grocery. 200

Isaacs, M. Carrie Isaacs. (R) 1,050

Inglefinger, Louise. 149 East 63d, N Y. T J 245

Collins. Barber Fixtures. 245

James, J. W. 310 23d. Natl L A. Smith's tools. 40

Joyce, F. 360 Myrtle av. J A Walsh, Jr. Bicycles, &c. 100

Jones, A. W. 140 Sands. J W James. Drugs. 1,500

Jean, G. 426 Shepherd av. Nat C R Co. Register. 80

Kelley, M. Hicks st. W B Davis. (R) 103

Klein, J. 289 Grand. Metropolitan Store Fixture Co. Store Fixtures. 170

Korn, A. 645 Glenmore av. F C Oehler. Press. 40

Letter, W. 220 Manhattan av. W Biehl. Bakery. 800

Leonard, F. A. 828 Broadway. F J Hennessy. Medical Library, &c. 100

Lewis & Vonder Luhe. J Cunningham Son & Co. (R) 1,059

Landau & Edelstein. 1248 Myrtle av. I Levy. Machinery. 327

Loughlin, W. Jr, and G. 890 Fulton. D B Dunham. Brougham. 700

Luca, H & W Rope. 521 De Kalb av. F L Miller. Confectionery, &c. 2,000

Mackoff, M & F Baratt. Bushwick av and McKibbin. C H Reynolds & Sons. Horses, &c. 150

Marshall, J. C. 183 Washington av. Susan H Roberts. Barber Fixtures. 149

Matthews, S. K. 310 Broadway and 164 Havemeyer. Nat L A. Barber Fixtures. 45

Montague, G. B. 1 Williams pl. American Extract & Supply Co. Barrels, &c. 500

Montague, G. B and J R Strachan. 1 Williams pl. American Extract & Supply Co. Barrels, 500

Masson, J. D B Fleming. (R) 255

McGowan, C. 419 Pacific. L P Rubien. Presses. 150

Mayer, A. 685 Flushing av. Maria Mayer. Bakery. 785

McMullen, J. R. & G H O'Neill. D Donovan. Scow, &c. 1,133

National Athletic Club. H Wagner. (R) 45

O'Rourke, W. 612 Classon av. Nat C R Co. Register. 150

Pengel, H. 86th and Fort Hamilton av. Kings Co L A. Buggy, &c. 50

Pares, G. T N Bowles. (R) 262

Phail, G. A. 68 West. T E Schofnd. Machinery. 1,700

Pelletiere, E. Neck road, Gravesend. Archer Mfg. Co. Barber Fixtures. 105

Plant, W. J. H L Plant. (R) 3,800

Pitz, S. 177 Freeman. J Feram. Barber Fixtures. 500

Pickman, C. 205 Washington. J Wasserman. Watchmakers' Stock, &c. 200

Raabe, O. Mary Weber. (R) 600

Rohrbach, J. 756 Fulton. J Weiss, Barber Fixtures. 79

Rader, A. 100 Troutman. P Reinig. Wagon. 100

Scarmell & Ross. 57 Union. Joseph Ruppert. (R) 50

Spencer, S. A. P Barrett Mfg Co. Wagon. 209

Schroder, H. H. 190 Montauk av. Nat C R Co. Register. 80

Skelton, J. Q. 9 Central pl. W B Davis. Coach. 180

Spelman, J. J. 1041 De Kalb av. F C Goppoldt. (R) 115

Smart, A. J. 254 Jay. S Mayer. Tools, &c. 90
Sweet, Leprelette K. 159 Grand. F C Goppoldt. Printing Plant. 132
Straber, F. I Matthews Apparatus Co. (R) 25
Thiele, C & A W. 83 Marcy av. Carrie M Burrows. Bakery. 200
Thiele, A. W. 828 Marcy av. Carrie M Burrows. Butcher Fixtures. 250
Townsend, Minard. 204 Havemeyer. Millard Townsend. Horses, &c. 800
Thompson, W. A. 113 Clifton pl. F Merets. Horses, &c. 201
Wax, J. Wheeler & Wilson Mfg Co. Sewing Machines. 170

SALOON AND RESTAURANT FIXTURES.

Anderson, N. 323 Columbia. T Conville B Co. (R) 1,350

Boyle, R. V. 9 Hamilton av. S Liebmann. (R) 800

Bottmann, R. 467 Central av. Claus L B Co. (R) 1,200

Beckmann Bros. 49 Greenpoint av. Bernheimer & S. (R) 2,000

Boylan, M. J. 379 5th av. Long Island B. (R) 1,200

Curran, P. 658 Washington av. Malcolm B Co. (R) 550

Cullen, P. 282 Columbia. W L Flanagan. 550

Ditmas, S. 14 Dutch, N Y. Carstairs, McCall & Co. 1,668

Duffy, D. J. 497 Court. J Fallert B Co. 1,216

Gourlay, J. 266 Broadway. Bernheimer & S. 3,000

Gildea, D. 110 Franklin. E Ochs. (R) 900

Graf, Elise. 233 Ellery. J G Grauer. (R) 650

Hankap, J. 486 Flushing av. J Fallert B Co. (R) 2,000

Hogan, C. J. 1326 3d av. J Fallert B Co. (R) 2,545

Harighorst, D. H. 345 Jefferson av. S Liebmanns Sons. (R) 2,500

Hartmann, Lizzie. 267 Kent av. Bernheimer & S. (R) 2,000

Hamann, R. 1101 Myrtle av. F Munch B. (R) 2,000

Heinbockel, C. 706 Gates av. North Amer B Co. 1,000

Kennedy, J. 400 39th. Nassau B Co. (R) 500

Klug, J. 152 Kingsland av. M Seitz. (R) 1,450

Klaum, J. 836 De Kalb av. Excelsior B Co. 3,000

Laninger, E. J. 376 Hamburg av. L Eppig. 450

McCleary, C. 765 Wythe av. P McCleary. 700

Mohrman, G. 20 Elm pl. Excelsior B Co. (R) 3,000

Mahnken, Meta. 3031 Fulton. Rubsam & H. (R) 2,800

McTernan, P. 35 Atlantic av. P Ballantine. (R) 600

Merz, A. 613 Bushwick av. Danenberg & G. (R) 450

Same... same. (R) 500

Malone, Mary. Rockaway av and Hegeman av. J Fallert B Co. (R) 550

McCormack, W. 880 3d av. Nassau B Co. 2,028

McDonald, M. 858 Glenmore av. Diogenes B Co. 800

McWilliams, J. 192 Green. W L Flanagan. (R) 200

Myer, A. 318 Hamburg av. Obermeyer & L. (R) 1,000

Otto, P. 1271 Myrtle av. Claus L B Co. (R) 600

O'Toole, P. T. 636 Fulton. Excelsior B Co. 980

Pierce, T. E. Nostrand and Vernon avs. Congress B Co. 712

Picken, A. 222 Hamburg av. Rubsam & H. (R) 1,135

Raiser, C. 261 Maujer st. M Seitz. (R) 675

Roe, C & T. 156 Court. W Ulmer. 1,200

Schloer, M. 572 3d av. Isaac Barr. 800

Schmidt, W. 76 Main. Nassau B Co. (R) 1,900

Sabatto, P and G S. 61st st and New Utrecht av. Kips Bay Brewing Co. 500

Schneyer, J. 58 Bremen. S Liebmanns Sons B Co. (R) 600

Sutton, Charlotte J. 11 Alabama av. Rubsam & H. (R) 700

Schluter, C. H. 72 5th av. Beadleston & W. (R) 3,000

Seeholzer, A. J. 550 Central av. L Eppig. (R) 655

Tobalkof, D. Pitkin and Thatford avs. M Seitz. 400

Topp, J. D. 56 Gerry. Clausen & P B Co. (R) 1,000

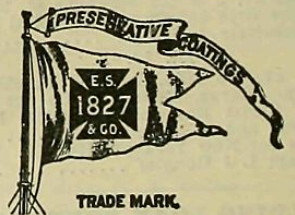
Voegel, A. 706 Gates av. North Amer B Co. (R) 1,000

Wilson, E. C. 205 Washington. J F Bullwinkel. Restaurant. 200

Williamsburgh Yacht Club. Flushing Bay. M Seitz. (R) 600

Walsh, J. W. 381 Fulton. Mary Edwards. 1,300

Whelan, M. 663 Myrtle av. E A & H T Luhrs. 385



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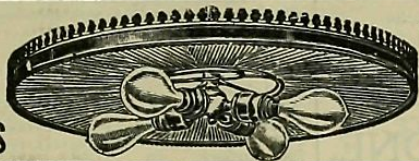
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- Brown, J M. 59 Pulaski. Cowperthwait Co. 105
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- Fletcher, E. same. 200
- Genoy, M. 1223 Fulton. Kings Co L A. 110
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- Fitzpatrick, Cath. 430 Gold. Mullins & Sons. 177
- Francis, Mary C. 86 1st pl. J Michaels. 102
- Foley, Anna. 574 McDonough. Brooklyn L A. 100
- Goettman, L. 322 South 4th. J Michaels. 101

- Giovanni, G. 396 5th av. Michaels Bros. 139
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- Hartt, G W. 416 Dean. Peoples L A. 190
- Hatch, Annie L. 243 59th. Nat L A. 200
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- Herrera, Matilda. 64 Orange. Mutual L A. 150
- Hogarth, Mamie. 52 Vermont. J McEnery. 197
- Hillery, Mary. 1150 40th. A Pearsons Sons. 197
- Heaney, Jennie. 281 Gold. Krakauer Bros. 110
- Hayden, C. 332 2d. Michaels Bros. 146
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- Hughes, Eliz. 190 Franklin av. Fidelity L A. 200
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- Killmer, R H. 129 Clifton pl. J McEnery. 156
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- Lennon, Mary. 55 Driggs av. J Michaels. 265
- Lapidus, L W. 542 1/2 Willoughby av. J McEnery. 765
- Leavitt, H V. 607 Bedford av. Cowperthwait Co. 115
- Longenecker, W R. 340 Gates av. Brooklyn F Co. 391
- Longwell, R. 73 Cumberland. Peoples L A. 150
- Leacock, Anna. 106 Lawrence. Mullins & Sons. 153
- Lublner, Rost. 366a 5th. L Baumann. 201
- McCure, B W. 282 Fulton. Cowperthwait Co. 120
- McGinness, B. 207 Kosciusko. L Baumann. 223
- Same. same. 75
- Mitchell, Mary A. 337 Marlon. Michaels Bros. 124
- Martin, Sadie. 118 Schaefer. A Pearsons Sons. 162
- Marsh, C H. 260 Havemeyer. F Dillon. 551
- McCormack, Mary C L. 306 Clermont av. Peoples L A. 180
- Merrill, Mamie. 317 Marcy av. A Schulz. 194
- Merwin, E S. 309 50th. S Baumann. 358

- Malmquist, Ebba. 501 Washington av. Michaels. 125
- Martin, Susan. 1112 39th. J Michaels. 134
- O'Hara, J. 157a Hull. Cowperthwait Co. 285
- Orson, Margaret D. 377 5th. S Baumann. 188
- Plyer, A M. 469 Jefferson av. L Baumann. 118
- Pollock, E H. 541 Putnam av. Kings Co L A. 125
- Palmer, H F. 90 Lewis av. Brooklyn L A. 150
- Quin, Margt. 426 Clinton. J McEnery. 150
- Robb, J. 348 6th av. Columbia L Co. 150
- Rockwell, H. 113 Columbia Heights. Irene C. Thompson. 500
- Ravenhall, Minnie. Little Neck road. Brooklyn F Co. 665
- Rand, M. 196 13th. Michaels Bros. 192
- Robinson, J. 131 Adelphi. Cowperthwait Co. 155
- Robertson, Harriet A. 452 6th. Brooklyn L A. 150
- Robins, D W. 104 Pulaski. F Grasmann. 136
- Sammies, H D. 395 Linwood. J Michaels. 126
- Selb, V. 544 Throop av. Columbia L A. 125
- Southwick, W H. 204 St Marks av. J Michaels. 143
- Schildwachter, J. 598 Marcy av. Brooklyn L A. 100
- Scott, W. 1149 40th. Michaels Bros. 170
- Servoss, R D. 1261 Fulton. Mutual L A. 100
- Shaver, Amy R. 136 Rutledge. Fulton Finance Assoc. 200
- Simpson, T C. 248 11th. Brooklyn F Co. 279
- Struller, E. 190 Clermont av. Kings Co L A. 125
- Stevens, R F. 42 Lefferts pl. W E Cadmus. 2,000
- Shaw, Matilda, wife W P. 20 Tompkins pl. Leila and Matilda Shaw. 4,000
- Shelton, F. 162 Garfield pl. J Baumann. 309
- Turner, Emily S. 222 Monroe. L Silverman. 500
- Thomas, D S. 403 Putnam av. J McEnery. 125
- Thompson, S F. 272 6th av. Brooklyn L A. 100
- Toy, Mary. 662 Gates av. Michaels Bros. 134
- Taylor, Hattie. 155 Albany av. J Michaels. 123
- Trayner, Mamie. 56 Herbert. F Grasmann. 115
- Thompson, May. 37 Duffield. J Michaels. 152
- Van Nortwick, L. 595 Greene av. Fidelity L A. 200
- Wild, Emilie. 394 Bergen. Mullins & Sons. 204
- Witherell, Rhoda. 310 12th av. Mullins & Sons. 120
- Washburn, Annie M. 250 De Kalb av. Fidelity L Co. 200
- Walsh, Ida. 316 Van Buren. J Michaels. 304
- Williams, L E. 381 Hudson av. J Michaels. 135
- Young, J H. 50 Elton. Brooklyn L A. 100
- Yeo, Muriel. 193 Garfield pl. Mullins & Sons. 131

BILLS OF SALE.

- Ajello, L. 1838 Fulton. N Ambrosino. Stock &c. 200
- Berner, E and L Klein. 126 Cook. J Klein. Bakery. 45
- Chevallier, Cath V. Julia C Alling. Fur. 100
- Feiner, M. 126 Court. K Cohen. Tailor Fixtures, &c. 1,250
- Ferano, J. 177 Freeman. S Pitz. Barber Fixtures. 800
- Folb, H. M Balaief. Soda Water Plant. 1,200
- Hirschfeld, M and C Allen. 183 Bedford av. Levy & Engels. Saloon. 3,300
- Krim, M. 341 Fulton. Max Samuel. Restaurant. 1/2 part. 1,000
- Lanning, J H. Putnam & Nostrand avs. Towns & J. Drugs. nom
- Millen, F L. 521 De Kalb av. H Luca & W. Rope. Crockery, &c. 3,000
- Markovitz, J. S Bernstein. Horse, &c. 75
- Michel, Anna. West St. H J Feldman. Hotel Fixtures, &c. 1,550
- Patterson, S B. 2951 Fulton. A H Patterson. Hardware. 650
- Renzelmann, Wilhelmine, admrx H C Renzelmann to Frank L Miller. Confectionery. 800
- Ward, G W. 41 Schenectady av. I Levin. Glue Plant. 300
- Zane, F S. 776 Franklin av, St Johns pl, and Franklin av and Bergen st and Underhill av. W H Sloane and C A Murphy. Building Material. nom

ASSIGNMENTS OF CHATTEL MORTGAGES.

- Finley, L H to C A Glyn. (Eliz B Cherry. Oct 20, 1898.) 1,000
- Johnson, E C to W T Holt. (J V Blaney, Oct 15, 1898.) 350
- Millen, F L to Wilhelmina Renzelmann. (H Luca and W Rope, Oct 13.) nom
- Savansohn, A to Mary Savansohn. (J Savansohn, Oct 10.) 1,000

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goes sail deliveries N. Y.\$23 00	26	00	
For steamer deliveries, N. Y., add \$4 00.				
Ordered cargoes average.....	25 00	26	00	
Flooring.....	24 00	26	00	
Step plank.....	35 00	40	00	
Siding.....	22 00	25	00	
Heart face boards.....	22 50	28	00	
Car orders.....	30 00	35	00	
North Carolina Pine—All grades				
sell at \$2 25 @ 2 40 advance				
over Norfolk list.				

No. 1. No. 2. No. 3. Box.

4-4 Wide edge, over				
12 in.....	\$24 00	\$18 00		
4-4 Narrow edge,				
under 12 in.....	17 00	16 00	\$12 00	\$10 00
4-4x8 in.....	18 50	15 50	13 00	10 50
4-4x10 in.....	19 00	16 00	13 50	11 00
4-4x12 in.....	22 00	17 00	14 00	11 50
5-4 Edge.....	18 00	16 00	12 00	10 50
5-4x10 in.....	21 00	17 00	13 50	11 50
5-1x12 in.....	23 00	18 00	14 00	12 00
6-4 Edge.....	20 50	16 50		
6-4x10 in.....	23 50	18 50		
6-4x12 in.....	24 50	19 50		
8-4 Edge.....	21 50	16 50		
8-4x10 in.....	24 50	18 05		
8-4x12 in.....	25 50	19 05		

Standard Lengths—10, 12, 14, and 16 in., but not to exceed 5 per cent of 10 feet.

TERMS—90 days, without interest, or 2 per cent. off for cash.

Ash, white.....	40 00	60 00	
Elm.....	27 50	30 50	
Oak, plain.....	36 00	48 00	
Oak, quarter sawed.....	60 00	80 00	
Oak, quarter sawed, extra thick	62 50	65 00	
Redwood.....	37 00	45 00	
Maple, clear.....	25 00	27 00	
Chestnut, clear.....	32 00	35 00	
Cypress, clear.....	34 00	38 00	
Black Walnut, good to choice.....	130 00	140 00	
Black Walnut, ordinary to fair.....	100 00	120 00	
Black Walnut, 3/8 inch.....	80 00	85 00	
Black Walnut, selected and			
seasoned.....	125 00	150 00	
Black Walnut, culls.....	35 00	40 00	
Black Walnut, rejects.....	55 00	60 00	
Perry, wide.....	110 00	125 00	
Perry, good.....	80 00	95 00	
Perry, ordinary.....	65 00	80 00	
White wood, inch.....	36 50	41 00	
White wood, 3/8 inch.....	28 50	32 00	
White wood, 1 1/4 @ 1 1/2.....	39 50	43 00	
do.....	40 50	44 00	
do.....	42 50	46 00	
4x4 to 7x7.....	37 50	42 00	
8x8 to 12x12.....	40 50	47 00	
Shingles, Pine, 16 inch, extra.....	2 75	3 00	
do.....	18 inch, extra.....	3 90	4 00
do.....	18 inch, clear		
butt.....	2 80	2 90	
do.....	16 inch, stocks.....	4 25	4 50
do.....	18 inch, stocks.....	4 75	4 80
Shingles, Cypress, 6x18, Hearts	5 25	5 80	
do.....	6x18, A.....	4 25	4 80
do.....	6x20, Hearts.....	7 50	7 75
do.....	6x20, Saps.....	6 25	6 50
do.....	Blved and Shaved.....		
do.....	6x20, Hearts.....	11 00	11 50
do.....	6x20, Saps.....	9 50	10 00
Cedar, Cuban—Medium to large	6 1/2	8	
Extra large.....	8 1/2	9	
Mahogany—Small.....	5	7 1/2	
do.....	Medium.....	8	9 1/2
do.....	Large.....	10	11
do.....	Extra large.....	12	14

PLASTER PARIS.

Caloined, ordinary city, per bbl	1 30	1 45
Caloined, city casting.....	1 50	1 70
Caloined, city superfine.....	1 70	2 10

PAINTS AND OILS.

Whiting, Gilders, &c., per 100 lbs	55	75
Whiting, common.....	45	65
Lead, white, American, in keg.....	5 3/4	6
Lead, English, in oil.....	8 3/4	9
Lead, red, American, in kegs.....	5 3/4	6
Litharge, American, in kegs.....	5 3/4	6
Litharge, bbls and 1/2 bbls.....	5 3/4	6
Ochre, French, dry.....	1	1 3/4
Venetian red, American.....	1 00	1 25
Venetian red, Eng., per 100 lbs	1 00	1 75
Tuscan red.....	7	10
Indian red.....	2	3
Vermilion, American.....	2	3
Vermilion, Eng. quicksilver.....	14	16
Carmine, American, No. 40.....	2 20	3 60
Orange, mineral.....	6 1/2	9
Paris green, in bulk and kegs ..	14	15
Sienna Ital., powdered.....	4 1/2	6
Umber, Amer. raw and powdered	2 1/2	2 7/8
Umber, Turkey, powdered.....	3 1/2	4
Drop Black, English.....	5	10
Drop Black, American.....	2 1/2	4
Prussian blue.....	30	
Ultramarine blue.....	8	25
Chrome green.....	15	20
do.....	do, common to extra	
Oxide zinc, American.....	4 1/2	5
Oxide zinc, French.....	7 1/2	10
Glue, low grade..... per lb.	7	9
Glue, cabinet.....	11	13
Glue, medium white.....	8	15
Glue, extra white.....	15	25
Glue, French.....	10	22
Glue, Irish.....	10	12 1/2
Putty in bbls. and 1/2 bbls.....	1 3/8	1 3/4
Putty in tubs.....	1 3/8	1 3/4
Putty in tin cans.....	1 1/2	2 1/2
Putty in bladders.....	1 7/8	2

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Colors in oil as follows:

Blue, Chinese.....	35	45
Blue, Prussian.....	30	35
Blue, ultramarine.....	15	25
Brown, Vandyke.....	9	12
Green, chrome.....	9	16
Green, Paris.....	11	22
Sienna, burnt.....	11	12
Sienna, raw.....	11	12
Umber, burnt.....	10	11
Umber, raw.....	10	11

SLATE.—Prices are per square, delivered in
 New York in car lots.
 Genuine No. 1 Bangor..... \$4 25 @ \$5 25
 No. 1 Chapman..... 3 60 @ 4 75
 No. 1 Red..... 7 25 @ 11 25
 Brownville and Monson Maine.. 4 25 @ 7 95

STONE—Wholesale rates, delivered at N. York

Nova Scotia in rough, per cu. ft.	90	@ 1 00
Ohio freestone, in rough.....	85	90
Minnesota freestone, in rough.....	80	90
Longmeadow freestone.....	80	90
Brownstone, Portland, Conn.....	1 00	1 10
Brownstone, Belleville, N. J.....	50	75
Scotch redstone.....	—	1 00
American redstone.....	—	1 05
Granite, rough.....	40	50
Lime stone, buff.....	65	80
Lime stone, blue.....	70	90

PIG IRON.
 No. 1 x foundry, Northern..... \$22 50 @ \$23 50
 No. 2 x foundry, Northern..... 21 50 @ 22 50
 Grey Forge, Northern..... 19 00 @ 20 00
 No. 1 x foundry, Southern..... 21 50 @ 22 50
 No. 3, Southern..... 19 00 @ 20 00

BAR IRON FROM STORE.
 National Classification.
 ROUND AND SQUARE IRON. Per lb.
 1 to 1 1/8 in..... base price, 2c.
 3/4 to 7/8 in..... 1-10c. Extra.
 2 to 2 7/8 in..... 2-10c. "

PLAT IRON.
 1 1/2 to 4 in. x 3/8 to 1 in. base price, 2c.
 1 to 1 1/8 in. x 1/2 in..... 6-10c. Extra.
 2 to 4 in. x 1 1/2 to 2 in..... 5-10c. "
 4 1/4 to 6 in. x 1 1/2 to 1 1/2 in. 4-10c. "

Norway Bars..... 3 25 3 70
 Norway Shapes..... 3 75 4 00
 Merchant Steel From Store. Per lb.
 Open-Heart and Bessemer Machinery.
 Toe Calk, Tire and Sleigh Shoes, base
 price in small lots..... 2.10 @ 2.25
 Best Cast Steel, base price in small lots
 Best Cast Steel, Machinery, base price
 in small lots..... 9c. 7c

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SHEET IRON FROM STORE.—BLACK.

		Common	R. G. Clean
		American.	American.
Nos. 10 to 16..... Per lb.	2.42	2.70	
Nos. 17 to 21.....	2.60	2.80	
Nos. 22 to 24.....	2.70	2.90	
Nos. 25 and 26.....	2.80	3.00	
No. 27.....	2.90	3.10	
No. 28.....	3.00	3.20	
RUSSIA, PLANISHED, ETC.			
Genuine Russia, according to assort-			
ment..... Per lb.	10 1/2 @	11 1/2	
Patent Planished..... Per lb.	A, 9 1/2 @	B, 8 1/2 @	net
Craig Polished Sheet Steel..... Per lb.	8 1/2 @		
Rails American Steel, at mill.....	26 00 @	28 00	
SOLDERS.			
Extra.....	14 1/2 @		
Half and Half.....	17		
No. 1.....	14 1/4		

SPELTER.
 Western by car lot..... 5 60 @ 5 65

TIN PLATES.—The following are approximat-
 ing basis quotations, and proper allowance
 made for special brands, small lots, etc.

Foreign Charcoal 1 ins—	I. C.	1. X.
Melny grade, 1/2 x.....	6 50	7 75
Allaway grade.....	5 75	6 75
Foreign Siemen's Steel (square, etc.)—		
Full weight.....	5 85 @	5 90
100 lbs.....	5 70 @	5 75
Foreign Bessemer Steel (square, etc.)—		
Full weight.....	5 80 @	5 85
100 lbs.....	5 70 @	5 87 1/2
Foreign Coke Tins, I. C., 14x20—		
Bessemer steel, full weight futures	5 60 @	5 70
Bessemer steel, 100 lbs.....	5 45 @	5 55
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ECONOMY & DESPATCH.**

Stonehenge for Sale.—Sir Edmund An-
trobis, who succeeded to the ownership of
Stonehenge so recently as April last, on
the death of his father, has decided to lose
no time in seeking to transfer that mys-
terious monument to the custody of the
nation. Lest it might be supposed that he
was influenced by archaeological, senti-
mental, or even philanthropic motives, the
advisers of the young baronet suggest that
a price ought to be obtained which will
bear comparison with the very large
amounts now given for works of art, and
in order to make this perfectly clear, Sir
Edmund asks of the government for this
relic of unfathomed antiquity, together
with some 1,300 acres of surrounding land
(subject to pasturage and sporting rights),
£125,000—a sum which does not unduly
err on the side of modesty. Whether an
eighth of a million sterling, or nearly £100
an acre, is or is not a fancy price for a
barren area on Salisbury Plain, it is evi-
dent that Stonehenge is unique, and for
the honor of England it is desirable to
make such a monument safe for all time
from the danger of falling into the hands
of speculators or advertisers. Doubtless,
the Chancellor of the Exchequer, who has
just bought the Netheravon estates, on
the same plain, of Sir Michael Hicks-
Beach, at the very satisfactory rate—for
himself as vendor—of 37 years' produce of
the gross rental as fixed by the arbitra-
tors, will entertain a kindly feeling to-
wards his brother-baronet land-owner, and
induce the Treasury to hasten to complete
the bargain.—Building News.

The Range of the Incendiary Locomo-
tive Spark.—Investigations made at Pur-
due University in Indiana do not bear out
the current belief that locomotive sparks
are the cause of the greater number of
the forest fires. In the Indiana experi-
ments a series of large pans were placed
at distances of 15, 25, 50, 75, 125, 175, 275
and 375 feet from a railroad, at a point
where there was a heavy grade, and where
many freight trains passed daily. Each
pan was covered with soft cotton cloth, so
that if live cinders reached them, the fact
would be known by scorched or burned
places in the cloth. When the experiments
were concluded, it was found that the
greatest number of sparks or cinders had
fallen in the pans fifty and seventy-five
feet from the track. The largest cinder
did not equal the size of a white bean,
while in no instance was the cloth in the
pans even scorched. The inference was
that if the cinders were hot when they left
the smoke-stacks, they had lost their heat
in traveling the fifty or seventy-five feet.
This would indicate that fires communi-
cated from locomotives are rare.—N. Y.
Evening Post.

The Longest Asphalted Street in the
World.—Philadelphia can boast of the
longest asphalted street in the world.
Broad Street has that unique distinction.
First, as already stated, it is the longest
asphalted street in the world; secondly, it
is the only street which is of even width
for eleven miles, and this width is the
greatest ever attained by any street for a
course of eleven miles. It is also the
straightest street, for from League Island
to the county line it does not vary an inch,
except where the great City Building
causes the street to turn around it. Seven
miles of the street are asphalted, but the
remainder is provided with a roadbed of
fine macadam, which is continued by the
old York road, which extends for about
twenty miles further on. A carriage can
drive on this street and road and make
only one turn in thirty-one miles. Broad
Street is 113 feet wide and measures 69
feet from curb to curb, and thirty-five men
can walk abreast on it.—Scientific Ameri-
can.

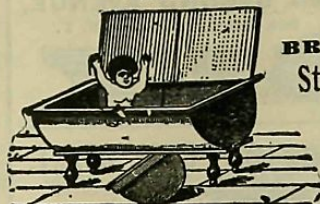
Fighting the Chicago Drainage Canal.—
The instant Gov. John R. Tanner signs the

permit which will authorize the Chicago sanitary trustees to open the Chicago sanitary canal, the City of St. Louis will apply for a federal writ of injunction to prevent the opening of the canal. All the local ammunition for an attack through the federal courts on Chicago's drainage and deep waterway scheme is ready. City Counsellor Schumacher has in hand an immense amount of material to back up his application for the injunction. Dr. Max C. Starkloff, St. Louis's Health Commissioner, has been making a series of bacteriological examinations of the waters of the Missouri, Mississippi and Illinois rivers, and now is arranging the results for court purposes. He has also gathered a large amount of scientific and other data on the pollution of streams and rivers and the effects of sewage on drinking waters. Congressman Bartholdt is prepared to demand the appointment of a Congressional commission to investigate the subject of pollution of navigable rivers as soon as the national House is called to order. The Bartholdt bill will certainly contain a clause prohibiting the opening of the sanitary canal under the permit granted by the War Department until the commission has made its report. It is held that General Alger, when Secretary of War, exceeded his authority when he gave the Chicago sanitary trustees permission to take water from Lake Michigan and send it down the Illinois Valley. St. Louis officials claim they have carefully investigated the federal statutes and find that General Alger stretched a law which authorizes the War Department to grant permission to builders of slips and basins to take water from navigable lakes and rivers. They say General Alger had ample authority to permit the filling of the sanitary canal with Lake Michigan water, for the excavation as far as Lockport is practically an extension of the Chicago harbor—a slip twenty-eight miles long—but they maintain Congress alone has the right to permit the opening of the gates of the controlling works at Lockport, so that there may be an outflow of Lake Michigan through the canal to the Des Plaines and Illinois Rivers.—St. Louis Correspondence Chicago Record, September 23.

Telegraphy Among the Ancients.—Three or four centuries before our era, Eneus invented several systems of signaling. In particular, he devised the first synchronic apparatus. At each station was installed a great vessel of uniform capacity, having in its side a hole of the same size for each vessel. At the surface of the liquid contained in the vessel was a float in which was fixed an upright rod divided into equal parts, each of which corresponded to one of the phrases to be telegraphed. The attendant at each station had a torch. When the first raised his torch he uncorked the hole in his vessel, allowing the water to escape and the float to sink; the attendant at the second station did the same, and this was repeated from station to station. When the division of the rod corresponding to the message to be sent had fallen to the level of the edge of the vessel, the first attendant lowered his torch, and replaced the cork; the others, imitating his action, could then read off on their rods the particular message sent by the first * * * In all such methods as these the messages were limited to words or phrases agreed upon beforehand. In the second century B. C., Cleomenes invented a method of doing away with this inconvenience by combining luminous signals so as form a code. Each station was furnished with several huge fire-vessels corresponding each to a group of letters of the alphabet. The one that was exposed so that it could be seen from the next station, while the others were hidden, indicated the group including the letter to be transmitted, which letter was then shown more closely by lanterns.

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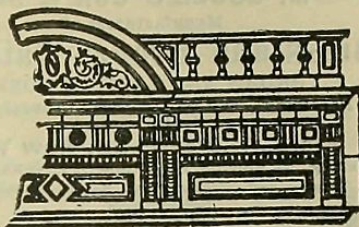


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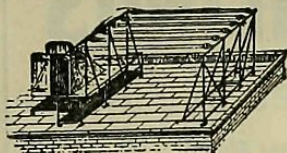
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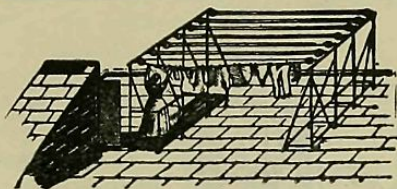


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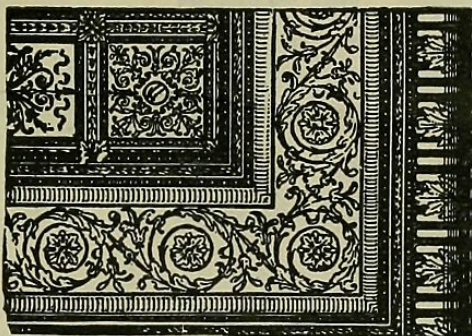
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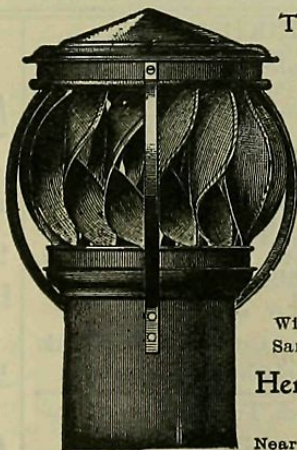
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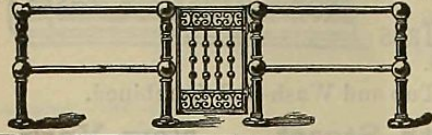
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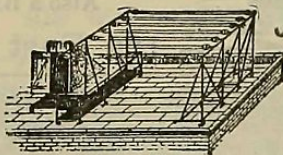
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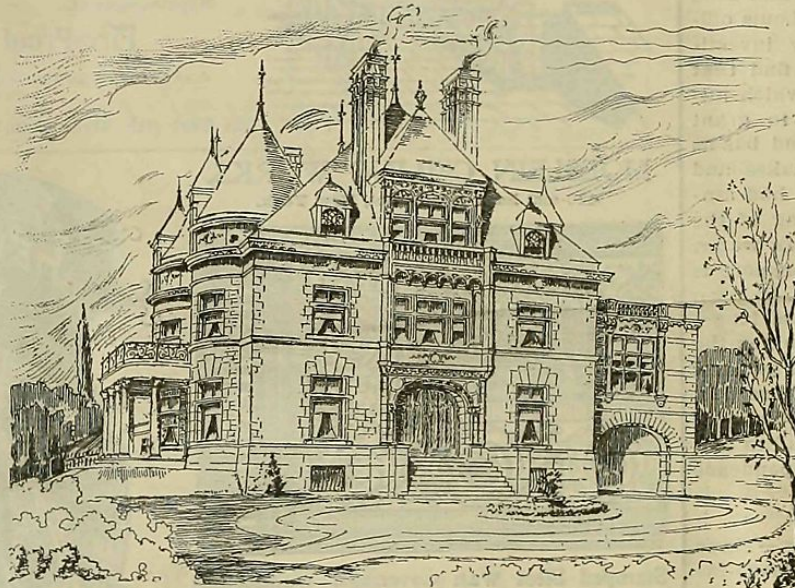
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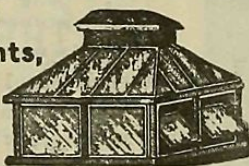


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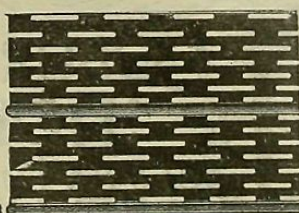
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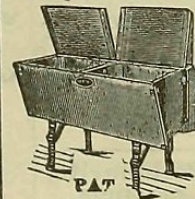
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