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THE real estate market continues to be seasonably dull, but there are many promises of activity to come. Considering the severity of the panic last fall, and the long, continued difficulty of borrowing money on real estate, there has been surprisingly little liquidation. Of course, it was inevitable that foreclosure suits should be more numerous than they were during a period of real estate activity and of easy money, but the number of foreclosures have been few compared to similar periods in the past. Moreover, their effect upon values has been comparatively small. The necessary liquidation has not been accomplished without a diminution in the prices at which certain classes of property have been held; but considering the steady increase in values in almost every part of the city from 1900 to 1907 the subsequent recession has been very slight and has not amounted to much more than the abatement of certain notions as to selling prices which were always excessive. Bargain hunters have not reaped the harvest they might have expected, and from this point of view the dullness which afflicts the market is a sign of strength. Better inactivity accompanied by firmness than activity as the result of weakness. The time will come when buyers will regain sufficient confidence to purchase property freely at prevailing prices, and when that time does come the strength which real estate values have recently maintained will count very much in favor of real estate as a form of investment. There can be no doubt that on the whole capitalists who invested their money in New York real estate from 1905 to 1907 have suffered less from the financial trouble and business inactivity than have capitalists who invested their money in any other way, and there can be no doubt that one of the causes which has contributed most effectually to this result is the conservative manner in which the business of lending money on real estate is now being managed. No speculative movement to increase the selling price of any kind of property can succeed without the aid of lending institutions, and the panic of last fall was in part the result of the over-abundant facilities which certain banks had afforded to speculation in stocks during 1906. But real estate values in this vicinity have not of late years been inflated by any excessive leniency on the part of money-lending institutions. The conservatism with which this branch of the real estate business has been handled is largely responsible for the comparative firmness of real estate values. The pace was moderated as soon as there were any signs of inflation; and the consequence was that the reaction did not have to be severe.

THE recent foreclosure of an apartment hotel on Madison Avenue, south of 34th Street, calls attention to the peculiar situation in which apartment hotels in that vicinity have been placed by the business growth of the city. It is only four years ago that the side streets between Sixth and Madison Avenues south of 34th Street were very much in favor as locations for apartment hotels; and about twenty-five fireproof buildings of this description, most of them at least eleven stories high, were erected within a few years. The comparative quietness of this neighborhood, and its convenience to the shops, restaurants and theatres made it seem an ideal location for a good class of private hotels. So for awhile it proved to be, and so in some measure it still is; but according to present indications, it will not continue to be so very much longer. Of late years the tendency of im-

provement has entirely changed. Large numbers of loft and business buildings have been erected on the very streets on which some of the most expensive of these hotels are standing, and these new business buildings have been for the most part very successful. There can be no doubt that little by little all the side streets south of 34th and even 42d Street will be given over to various kinds of business, and that the predominantly commercial character of these streets will make them much less available for residential hotels. Many loft buildings on a street means that the roadway is blocked with trucks, the sidewalks cumbered with boxes, and a general atmosphere of bustle and noise. For this reason business structures of this class tend to drive out every sort of residential buildings and tends also to injure a neighborhood for retail trade. There can be no doubt that in the course of a few years this neighborhood will be far less adapted to apartment hotels than it has been until recently. Transformations of this kind are continually taking place in New York; but they rarely take place as quickly as they have in this instance.

DURING the few weeks of its existence, the Taxpayers' League, recently organized under the leadership of the Allied Real Estate Interests, has already accomplished excellent work. It has aroused public opinion among the owners of real estate in reference to the manner in which their interests are endangered by the steady and enormous increase in the municipal budget. As long as the assessed valuation of real estate was increasing by leaps and bounds, the increase in expenditures did not mean any immediate enlargement of the tax bills; but now that a period of smaller increase in real estate values is at hand, the continued enlargement of the municipal expenditures will mean just so much money out of the pockets of the taxpayers. Considering the high level of assessed values, the tax rate is already one of the heaviest in the country, and it promises during the next few years to become heavier still. Evidently, unless the taxpayer of New York does something to protect himself, he will find the value of his property diminished, because of the heavier public burdens which it is obliged to bear. The question is, What can he do? The step which it is proposed to take immediately is to appear before the Board of Estimate and Apportionment during the discussion of the new budget and to urge the necessity of economy. This will undoubtedly be a very useful thing to do; and it should be followed by good results. A very strong case can be urged not only in favor of a closer scrutiny of the municipal expenditures, but also in favor of a budgetary reform. The fact of the enormous increase in municipal expenditures, amounting to over 60 per cent. in eight years, is patent; but nobody is in a position to state precisely where the leakage occurs. It is known, of course, in general, that the city does not get its money's worth in its expenditures, particularly in the matter of salaries. Its wages fund is constantly being increased in bulk and in detail; but, at the same time, no economies and reductions are made. During a period of bad business, when business men are economizing to the last penny, the city does nothing to diminish its payroll. The heads of the departments act as if their chief business was to spend their appropriations in any event, and try the next time to get as much more as they can. Their estimates and system of accounting conceal, rather than reveal, the details of their disbursements. The whole system is such that no one, not even the members of the Board of Estimate, are in a position to place their finger on different parts of the city's work and say that there is where the leakage is occurring. No doubt the Bureau of Municipal Research is working along the right lines and will, in the course of time, help considerably to locate examples of departmental extravagance; but it is evident that in the long run the evils of the existing situation can be remedied only by some radical changes, both in the financial and the administrative machinery of the city.

THE Record and Guide doubts whether anything effectual and permanent can be accomplished in the way of municipal economy unless co-operation to that end can be secured from the heads of departments. At the present time these gentlemen spend the money appropriated for the running expenses of the city. The budget, as a whole, is the result of their calculations as to the needs of their departments; and in making these calculations they are actuated by only one motive—and that is to secure just as much money as they possibly can. They know that in any

event their estimates will be largely cut by the Board of Estimate, and they know that they are obliged to put up strong arguments on behalf of an increased allowance. On the other hand, they also know that they are sure of being able to secure a repetition of their current appropriation, and they have no object in considering carefully how much further they can make that appropriation go. In their dealings with the Board of Estimate they occupy a stronger position, in case they always make the Board pay more money for additional work, because in no other way can they secure the additional allowance which they covet. In short, the heads of departments have no reason to economize; no reason to insist that the city gets good value for every dollar they spend on its behalf. They are in a position to conceal extravagance, while they can make a big parade of any lack of means, necessary, perhaps, for some good purpose. Doubtless something can be done to lead them to economies by a more detailed system of appropriation, and by a more careful watch upon departmental expenditures and work. But such methods, useful though they may be in checking and revealing existing sources of extravagance, will never avail to bring about a thoroughly economical system of municipal expenditure. As long as the heads of departments have no motive for economy they will always manage to avoid a really thrifty administration of their offices. The only way in which they can be given a motive for economy is to make the heads of the more important departments partly responsible for the whole administrative and financial conduct of the city's affairs. The Board of Estimate should be so constituted that the men who spend the money should have their responsibility to the taxpayers for appropriating it, and the men who appropriate it should have some responsibility both to their colleagues and the public for its proper expenditure. This is the system which has worked so well in Galveston and in other Western cities, and we trust that it will be adopted by the revisers of our municipal charter.

SAFE AND ECONOMICAL CONSTRUCTION.

To the Editor of the Record and Guide:

THE aim in building construction generally, in this and other large cities particularly, is to assure durability with economy, the maximum of safety and efficiency, with a minimum of expenditure. Much is being written in advocacy of the use of reinforced concrete, cement blocks, or sand-lime products in building construction. It is largely theoretical that these newer materials or methods of construction can appeal to the architect or builder in general. The persistency with which they are advertised by those interests most directly benefited by their use, in the trade journals, in magazines, and special pamphlets and circulars, has its inevitable influence upon the mind of the building public, with the result that not a few of those who have experimented with these new materials in putting up costly structures, are nursing severe losses and keen disappointments.

It is conceded that in certain parts of structures, or in a certain class of structural work, concrete or reinforced concrete may be used safely and profitably. No one will argue that the different elements which go to make concrete are not all-sufficient as a building material, when those elements are combined and adjusted according to an exact formula. If this exactness be not accomplished, the work becomes defective and sooner or later will inevitably show in the structure, perhaps affecting it at some vital point and with disastrous results.

The disposition which has appeared in some quarters to criticize the attitude of the present building code revision committee toward the use of concrete in construction must be admitted to be both thoughtless and selfish. One needs only to review experiences in concrete construction and to consider all the conditions that are factors in its successful use, to realize that a very liberal attitude is permitted under present practices. To quote a practical engineer, versed in building construction, who is friendly to concrete when and where it may be successfully employed, "We have not yet perfected any machinery, nor are we able to devise a system of supervision of the labor essential in making concrete, or of inspection of the work as it progresses, to warrant in general any greater liberality in its use for building purposes than is permitted by our present building code."

Centuries of use, in all parts of the world and in all climates, have demonstrated in a practical way the superiority of masonry construction in every respect. Many noted structures of brick and tile—built ages ago—may be seen to-day as sound and as useful in every way as when first built. It is, without doubt, because the good qualities of burned clay products as building materials are so well known and so well established, that the advocates of brick and tile have deemed it almost unnecessary to advertise them or in any way to urge their efficiency upon the public, feeling satisfied that experience will

answer the claims so assiduously being made by those who seek to prove concrete an adequate substitute.

In all building enterprises, whether the type be taxpayer or mammoth office building, private residence or tenement house, the architect or engineer must give first consideration to the factors of expense, practicability and durability.

That brick masonry is safe construction is proved as already stated, by the hard test of years. No other known material so successfully resists all climatic conditions, the ravages of fire and water, and even such catastrophes as earthquake, tornado or flood. Its use demands no technically expert inspection. Any defects or unsoundness in the material, or its faulty use, may and will be easily detected by even an inexperienced eye.

And brick masonry should be economical construction. The different elements necessary to the making of bricks are found abundantly in many localities. Unskilled labor is largely employed in their manufacture and handling and the finished product in the various necessary shapes and sizes, is easily and readily placed at the convenience of the builder, while in the event of alterations, repairs, or re-adjustment of a building becoming necessary, masonry construction permits such changes to be made successfully.

The conclusion may safely be drawn, therefore, that with modern methods and under normal conditions regarding labor, there is no construction that for safety, economy or durability can replace masonry construction—steel beams and girders protected and supported by walls of brick and tile.

WRIGHT D. GOSS,
President Empire Brick & Supply Co.

ORIGIN OF ELEVATORS.

The first number of the Otis Elevator Company's monthly Indicator says the embryonic stage for elevators was when freight hoists were used two or three centuries before Christ. The early outfits were operated by human power, these being succeeded by the simplest forms of hydraulic equipment, in which a ram supporting the carrying platform was worked up or down by the admission or ejection of water from a closed cylinder. Following this type in the hydraulic line came the geared hydraulic machine, in which the cylinder was retained, but the ram became a piston, traveling but a portion of the distance the car had to run, cables being introduced to connect the piston and car, these cables passing around multiplying sheaves to give the necessary car travel.

The early power elevators, other than the hydraulic, employed the winding drum for the cables, this machine being driven through the medium of spur gearing, the gearing being driven from a line of shafting by means of a belt or by a steam engine, without the use of line shafting.

The real beginning of the elevator as a passenger conveyor was when Elisha G. Otis exhibited at the World's Fair in the Crystal Palace in this city the first elevator which employed a device for preventing the falling of the car in case the cables should break. The Indicator says of the inventor:

Mr. Otis was a very conservative and conscientious manufacturer and for a considerable time made a practice of not entering into one contract until the last one taken was completed to everybody's satisfaction. Safety devices to prevent the falling of the car was provided, whether they were contracted for or not, as an evidence of the maker's intention to give the customer the best equipment available.

The remarkable changes in building construction resulting from the perfecting of the elevator are thus alluded to:

The introduction and development of electric elevators led to the improvement of other types, particularly the hydraulic. The increased speeds obtained, together with improvement of the safety features, resulted in New York City in what is undoubtedly the most remarkable change which has ever come about in any city in a like number of years. A glance at a photograph of the lower part of Manhattan Island taken in 1876 shows the present Postoffice building looming up in such proportions as to dwarf everything else in sight, excepting the Tribune building and Trinity and St. Paul church spires. A photograph taken a few weeks ago from the same point, fails to disclose the Postoffice at all, the same being completely hidden by the larger surrounding buildings, while Trinity and St. Paul's are both so completely overtopped by the nearby gigantic office buildings as also to be lost to view. From four and five-story buildings, which were then the rule, to six and seven-story "skyscrapers," have developed, with the aid of the elevator, the eighteen and twenty-story buildings which have become as common as the old four-story building, while the advent of the Otis Traction Elevator has made possible the forty-story skyscrapers which are now going up.

Not only is high commercial building indebted to the elevator, but the elevator also represents comfort and convenience in the modern apartment house and the private residence of the first class. It is now revolutionizing residential architecture as it did commercial architecture.

—The previous generation saw the development of the steam railroad, and the present generation has seen the rise of the electric cars. It is only twenty years since the electric car was pronounced a commercial success at Richmond, Va. The year previously the first electric car was experimented with here in New York. The General Electric Co. gives the credit for operating the first street railway system in the world to Frank J. Sprague, whose patents are now held by that company. The electric railway motor was invented by Thomas Davenport, a Vermont blacksmith.

CONSTRUCTION

INTERIORS OF REINFORCED CONCRETE BUILDINGS.

By J. P. H. PERRY, S. B.



THE question is often raised by prospective builders and owners regarding the interior finish obtainable with reinforced concrete construction. The building public seem to have the idea that a reinforced concrete building means something novel and unconventional, not only in its exterior appearance, but also in the interior fittings. This impression is most erroneous. If properly designed and constructed, a reinforced concrete building, be it warehouse, mill, factory, lofts or office building, permits of floors and ceilings, walls and columns, windows and doors, plumbing, heating and lighting of standard detail and appearance.

Figure 1, which shows the interior of the fourth floor of the C. Kenyon Company factory, 754 to 774 Pacific street, Brooklyn, which was built by the Turner Construction Company, No. 11 Broadway, in accordance with the plans of William Higginson, architect, illustrates this point admirably. For a clothing factory of most up-to-date fireproof construction, the ceiling is no different for all practical purposes from that found in steel or mill constructed buildings, excepting only that it is more fireproof. The concrete is just as it came from the forms, with the exception of a coat of cold-water paint. One advantage which it possesses over the ordinary type of construction is that it can be washed down as frequently as desired, without injury and danger of rotting. The floor in this factory consists of a 2½-inch cinder fill, with ⅞-inch maple flooring, nailed on to wooden sleepers imbedded therein. This cinder fill is laid directly on the reinforced

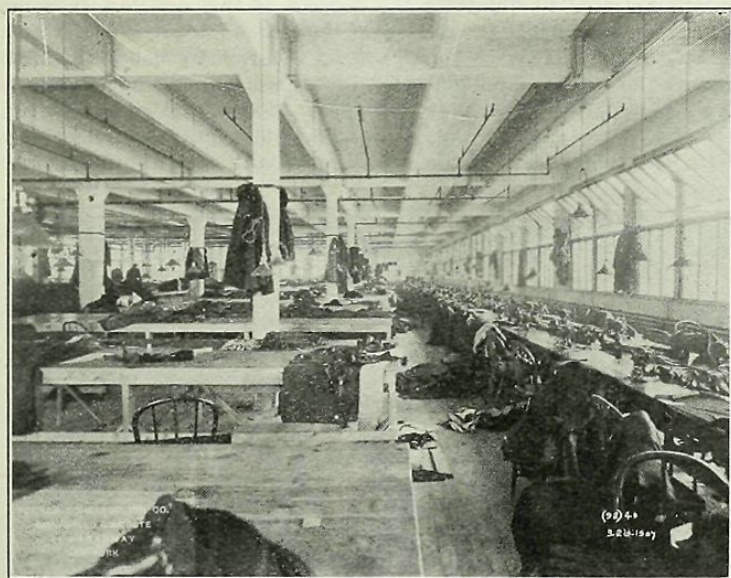


FIG. 1. INTERIOR OF THE C. KENYON FACTORY.
Pacific Street, Brooklyn.

concrete bearing slab which constitutes the ceiling. The laying of this wooden floor was necessary, owing to the desire of the owners to comply with the wishes of their employees, who seemed to be afraid of standing directly on a concrete floor. Among operatives in mills and factories of this character there is a feeling that concrete floors are harder to work upon in that they are cold and without resilience. This dislike of concrete floors by workers has been very largely overcome by this time. There are a great number of factories having reinforced concrete floors, which are used by large forces of employees, and the occupants have found no fault whatsoever. The instance under discussion, however, serves to illustrate the simplicity with which wooden floors may be placed in reinforced concrete buildings. In addition to this point, the sprinkler system is also interesting, in furnishing an example of the manner in which piping may be supported from reinforced concrete ceilings. This feature will be taken up in further detail later on. The metal frame and wire-glass windows with top sash pivoted, as used in the Kenyon factory, are typical of those specified in nearly all first-class industrial buildings. The ribbed wire-glass, combined with the maximum window area, made possible by the skeleton construction followed in the erection of reinforced concrete buildings, is responsible for the very light interior of this building.

Taking up another type of factory building, the Robert Gair building at Washington and Adams streets, Brooklyn, which was built by the Turner Construction Company in accordance with the plans of William Higginson, architect, constitutes one of the foremost examples of reinforced concrete construc-

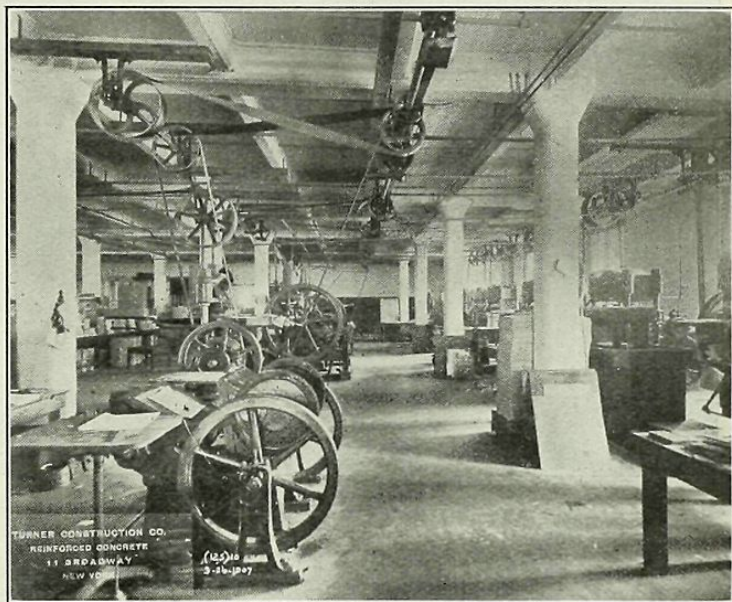


FIG. 2. INTERIOR TYPICAL FLOOR OF ROBERT GAIR BUILDING.
Brooklyn.

tion in this country; 200x231 feet in plan, nine stories and basement high, it is of sufficient magnitude to be a splendid commentary on the satisfaction given by this type of construction. Particularly is this so when the fact is borne in mind that this building was erected in two parts, the first half being finished three years ago and used by the Gair Company for a little over two years. At the end of this interval of close study and thorough trial, it was decided to double the size of the original building. Figure 2, which illustrates a typical floor in this building, gives a good idea of the methods of providing for shafting and piping in reinforced concrete buildings. As it happens, the machinery shown in this photograph is very light, with the exception of the presses at the extreme right. In the number of pulleys required, however, the problem to be met in the installation of the shafting is sufficiently complex to meet most demands.

A careful study of this illustration will show that the shafting is supported by the standard Seller's hangers, attached to wooden cross-pieces which are supported from the concrete beams by means of hook bolts set in holes left in the concrete beams near the ceiling at the time of the pouring of the floor. The superintendent of the Gair factory is the authority for

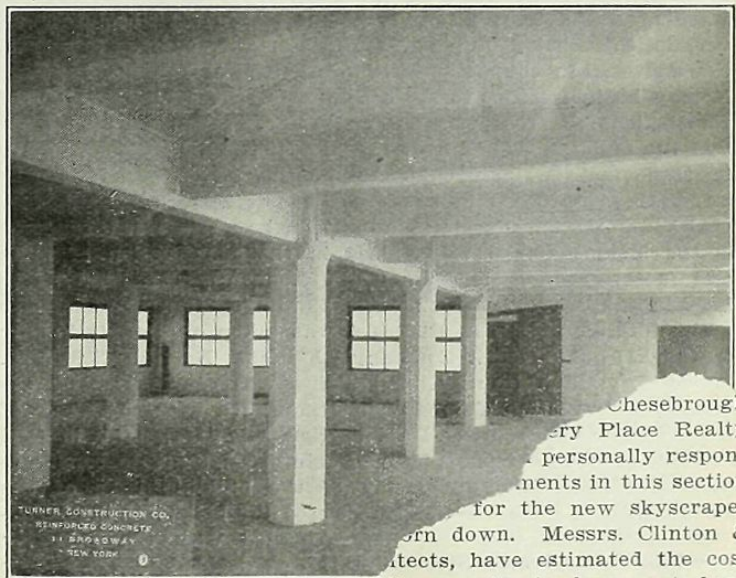


FIG. 3. INTERIOR TYPICAL
Fletcher Street, Manhattan

Chesbrough.
Very Place Realty
personally respon-
sible in this section
for the new skyscraper
down. Messrs. Clinton &
architects, have estimated the cost
building contracts have yet been

the statement that this reinforced concrete building, with shafting throughout on all floors and with some very heavy machinery operating at high speeds, has saved in power required to operate machinery approximately 20%, compared to that necessary in several other buildings of theirs which are of standard first-class mill construction. This saving is due chiefly to the lack of vibration in reinforced concrete structures, and, also, to the fact that shafting, when once lined up, remains in place. There is no possibility of its varying in position, because it is securely fastened to the immovable concrete. The officials of this company are also responsible for the statement that they have experienced a great economy in repairs to machinery in this concrete building, owing to the fact that presses or other machines, when once set in position, do not move or walk in the least. They remain level, with the

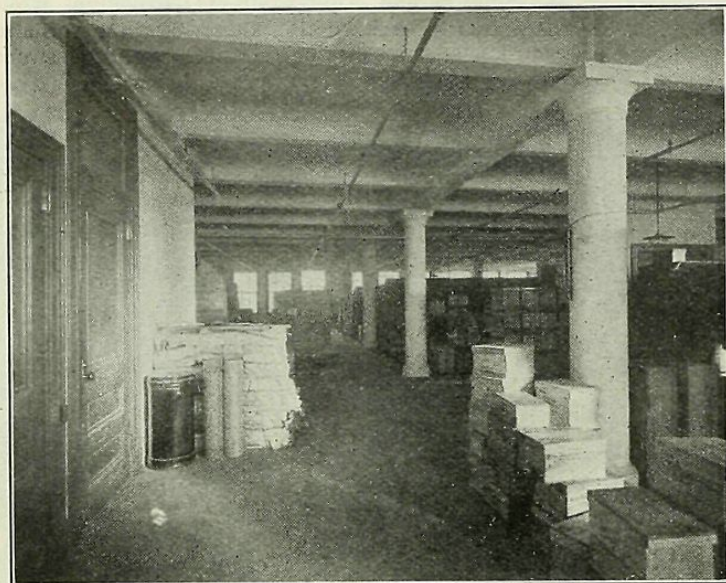


FIG. 4. TYPICAL LOFT FLOOR IN EASTMAN KODAK BUILDING. 23d Street, Manhattan.

result that there is less wear on journals and bearings. The method of carrying piping is similar to that used for shafting, excepting that in some instances expansion bolts set in the concrete beams are made use of.

The appearance of a typical floor in a reinforced concrete industrial building before the installation of any machinery or plant is well shown in Figure 3, which is a view of the sixth floor of the Roger & Pyatt factory, No. 34 Fletcher street. This building was built by the Turner Construction Company in accordance with the plans of Ludlow & Valentine, architects, and is used for the manufacture of shellac and varnish. It was designed to be fireproof in every detail. The doors, as shown at the right of the figure, are of the standard metal-covered wood type, with automatic closing attachments. All stairway and elevator wells are enclosed in either reinforced concrete or hollow terra cotta block partitions, and the windows in hollow metal frames, glazed with wire-glass. No sprinkler system was installed in this building, for the reason that sprinkler service is of little use in event of fire where varnish or shellac is used. One of the interesting features in connection with this building, along the topic discussed in this paper—namely, the wide range of detail at the service of the designer—is the brick walls. These are 12 inches thick, of common brick, placed as curtain walls on the reinforced concrete face beams, which constitute, together with the columns of the same material, the reinforced concrete skeleton. The floors have a granolithic finish similar to that used in sidewalk work. This finish gives a most sanitary building, as it allows of frequent washing down, and, also, in that it eliminates absolutely all vermin, there being no places for rats or mice or bugs to secrete themselves. In connection with this Rogers & Pyatt building, it may be interesting to state that after the completion of the foundations the roof was put on in forty-seven working days, and the building turned over to the owners ready for occupancy in three and one-half calendar months. This speed of construction is a record in reinforced concrete work.

Although it is sometimes admitted that reinforced concrete is the ideal material to be used in the construction of mills and factories, there is some doubt frequently expressed as to its adaptability for loft or office buildings.

The interior shown in Figure 4 was taken on the sixth floor of the Eastman Kodak Company's building, Nos. 235-239 West 23d Street, Manhattan. This building was constructed by the Turner Construction Company in accordance with the plans of Ludlow & Valentine, architects. It is particularly noteworthy in that it is a demonstration of one phase of reinforced concrete construction of brick and tile—the stringency of the building laws of the city and as useful in every way because of the height of the building, because the good quality of the material—coupled with the necessity of building materials are so weighty, it was decided to use hollow terra cotta columns. These columns are necessary to advertise them or less of rock concrete, held in place by the public, feeling that, The bases and capitals

are plaster casts, moulded separately and set while the building was being completed; the floors, walls and ceilings are of reinforced concrete. The partitions and stairs are also of this material. The concrete shown in Figure 4 is just as it came from the forms, with the exception of a coat of cold-water paint which was sprayed on. The excellence of the appearance of the ceiling, columns and partitions is due to the care used in the design and the construction of the forms, and is typical of that always obtained in first-class concrete buildings. The sprinkler system and electric light conduits are carried from the ceiling by iron hangers set with expansion bolts, as clearly shown herein. The windows and doors are of standard fireproof detail. The owners of this building, after an occupancy of over one year, have stated to the contractors that the reinforced concrete construction has given them complete satisfaction in every detail.

For office use reinforced concrete shows to splendid advantage in Figure 5. This photograph represents the ninth floor of the Robert Gair building, hereinbefore described, which is used for the general offices of that company. The floors have the standard granolithic finish, and after a use of very nearly four years there have been no complaints whatsoever on the part of the occupants of these offices. The amount of light obtained by means of the skeleton method of construction used, and aided by the white finish of the ceilings, columns and walls is most desirable for a large general office such as this. The wiring is carried, as shown in the photograph, by holes left in the tops of the beams. The radiators are connected with steam pipes carried on the ceiling of the floor below. Office partitions, photographs hung on walls, filing cases and all the details of a typical office are as easily obtained in this building as in any other structure. Because of the great strength given by the reinforced concrete construction, safes may be placed anywhere without regard for distributing planks underneath them or without study of floor plans to locate them over beams. This office shown in figure 5 illustrates in a remarkable way the actual lack of vibration in reinforced concrete buildings. The desk shown in the foreground is placed directly over a forty-horsepower electric motor, which is bolted to the beams of the ceiling beneath. The superintendent of the Gair Company informed the writer that the man sitting at the desk, only six inches over this big motor, is unaware of its presence under him. It is hard to imagine any other type of construction wherein a condition of this kind could prevail.

There are many other reinforced concrete buildings which might be cited to illustrate the subject of this article. In some of them, in place of finishing the interior with cold-water paint, a brush coat of some one of the regular concrete finish paints has been applied. In some stories of the Eastman Kodak building, for a distance above the floor of about 4 feet, the walls are painted a dark green, which contrasts effectively with the whitewash of the cold-water paint. In some concrete

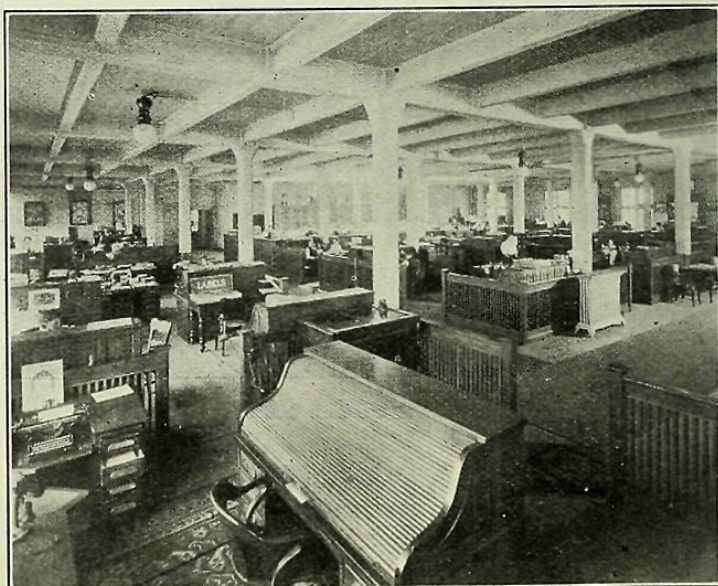


FIG. 5. GENERAL OFFICES OF THE ROBERT GAIR COMPANY BUILDING. Brooklyn.

buildings the offices have been finished with a coat of plaster, which is applied directly on the concrete walls and ceilings. When this is done the concrete is generally rough-picked to insure a bond between the plaster and the walls. In partition work, where concrete is used, the thickness varies from 3 inches to 4 inches. Where fire walls of this material are built across a large warehouse or factory, their thickness is generally 6 inches. When it is desired, these partitions may be plastered, but in general this is not considered necessary, as it is possible to make the concrete sufficiently smooth to produce a good surface when cold-water painted.

In cases where the interior trim takes the form of wainscoting and picture moulding and other woodwork on the walls, provision can be made for the same by building in with the concrete wooden nailing strips.

THE ARCHITECT WHAT HE HAS DONE RECENTLY AND WHY HE DID IT.

NEWEST OF THE CITY'S STRUCTURAL GIANTS.

The Century Investing and the Battery Place Realty companies will soon start work on the proposed extension to the Whitehall Building in Battery place. The "addition," so-called, although it will be about five times the size of the original structure, will have a frontage of about 250 feet in West st and will extend through to Washington st, where the frontage will be approximately the same as in West st. Some idea of the magnitude of this operation may be formed from the fact that the enlarged building will cover over 52,000 square feet of

sixteen stories high. The tower alone will cover a plot measuring 100x100 feet, which not many years ago would have been considered a good sized site for an entire building. Out of its total of 786 feet of street frontage the new Whitehall building will have 487 feet overlooking the river and in such a way that there is no possibility of any interference with its outlook by future building. It will be the cubic space within its walls that will give to the new structure its record among the giant buildings of Manhattan. It is figured that it will give 12,000,000 cubic feet of space.

Not the least important phase of this great project is that it



THE GREATER WHITEHALL BUILDING.

Battery Place and West St.

Clinton & Russell, Architects.

property, or nearly twenty-six lots, with frontages of 180 feet on Battery place, 307 feet in West st and about 300 feet in Washington st. This, it is estimated, is over 20,000 square feet larger than the site of the City Investing Building in Cortlandt st. and Broadway.

The central architectural feature will be a tower thirty-six stories high, or 447 feet. The West st wing will have thirty-one stories, separated from the present building by a broad exterior court, while in Washington st the new portion will be

will mark another noteworthy achievement by the Chesebrough interests, which are identified with the Battery Place Realty Company. William H. Chesebrough has been personally responsible for practically all of the recent developments in this section around Battery Park. To make way for the new skyscraper seventeen old buildings will be torn down. Messrs. Clinton & Russell, 32 Nassau st, the architects, have estimated the cost at about \$4,600,000. No building contracts have yet been placed.

THE ENLARGED HOTEL ASTOR.

WITH the completion of the addition to the Hotel Astor, which will cost for building and site about \$3,500,000, and cover ten lots (Nos. 206 to 214 inclusive West 45th st, and Nos. 207 to 215 West 44th st), the building will be one-third larger in cubical contents and will be the largest hotel in the city. Its business has been so great from the day of its opening, and Times Square has proved such a good site for a hotel of the best type, that it was early apparent that to meet the business offered the Astor would have to be enlarged. The hotel now covers a plot on the westerly side of Times Square, between 44th and 45th sts, of 200x160 ft, and to this 100 feet will be added in both streets, increasing the ground area to 200x260 feet. William Waldorf Astor is the owner. The present structure cost to erect, exclusive of the value of the land, nearly \$5,000,000. Rapid progress is now being made on the excavation. A large force of drillers is busy, and it is noticed on 45th st that much headway has been made.

The addition will give the hotel 1,000 more bed chambers and 700 more baths. The ground floor will include an auditorium

ESCALATORS FOR DINING-ROOM SERVICE.

The installation of an escalator by the Otis Elevator Co., 17 Battery pl, in the new Phoenix Hotel, which is under construction at Buenos Ayres, discloses a novel use to which the moving stairway is to be put. The owners of the structure want the kitchen to be separated from the dining-room as much as possible, but, as the cuisine department is a very necessary complement to the place where its product is consumed, considerable difficulty was experienced in keeping the two places apart and at the same time, to be paradoxical, keep them close together. The escalator appears to have been the solution of the problem, and its use when the building will have been completed will decide this.

The stairway will move only one way, upwards. The kitchen is in the basement and the dining-room on the ground floor. The waiters will be brought to the door of the dining-room on the traveling steps and the dishes will be returned on dumb waiters. Meals will be served thus piping hot, and the problem of removing the kitchen to a convenient distance from the dining-room will be solved. Incidentally the waiters (not the



THE HOTEL ASTOR, SHOWING THE ADDITION.

John Downey, Builder.

Clinton & Russell, Architects.

and concert hall. On special evenings this auditorium will be connected with the orangerie of the present hotel and both converted into a great garden capable of accommodating thousands. A large entrance to this auditorium will be built in the 45th st side. It is planned to have the work entirely completed by July, 1909.

The two existing entrances on 44th and 45th sts will be connected by a wide corridor, and the Broadway entrance will be changed so that there will be three front entrances instead of one. The roof of the extension will join that of the hotel proper and the roof garden, already the largest hotel roof garden in the world, will be made twice its size. It will have a promenade nearly a thousand feet around and be made a still more enjoyable feature of the hotel. Architecturally, as shown in the 45th st view, the construction will be identical in external appearance with the existing building, so that when completed, the hotel will be one homogeneous whole. Four additional high-speed elevators will be installed to the many already in use, and every novelty in lights and other hotel appurtenances that has been designed since the construction of the Astor, will be installed. Messrs. Clinton & Russell, 32 Nassau st, are the architects and John Downey, 410 West 34th st, is the builder.

dumb ones) will suffer a minimum of fatigue and save shoe leather.

The hotel is to be ten stories and will involve an outlay of about \$1,500,000. The fittings will be of the finest and the furnishings luxurious. The mechanical equipment will include two Otis electric passenger elevators, each having a maximum capacity of 3,600 pounds and a running speed of 300 feet per minute, and the Otis electric service elevator, which will serve twelve floors and have a total rise of 155 feet.

COMPETITION FOR OBSERVATION STANDS—Observation stands on the occasion of great parades and national ceremonies usually leave something to be desired. The national capital, at any rate, wants something to which the term "uncouth" cannot be so easily applied. The National Society of Fine Arts, the Washington Architectural Club and Washington Chapter of the American Institute of Architects have appointed a joint committee to invite competition plans for design and arrangement along the route of the inaugural procession. It is proposed to offer prizes of \$300, \$200 and \$100 for the best three designs which in this case will become the property of the committee, and will be published for the benefit of those interested in the subject. The committee consists of Joseph C. Hornblower, Leon E. Dessez, Waddy B. Wood, Leander Ashford and Percy Ash, all of Washington. The last named architect will supply details. The jury of award consists of J. R. Marshall, T. J. D. Fuller, Frederick D. Owen, Frank D. Millet and John B. Lerner, in whose hands the drawings will receive consideration.

—The Pennsylvania Steel Co. recently rolled steel rails weighing 151 pounds to the yard, which is ten pounds heavier than the previous record of this company. The rails are for use on curves by electric railway companies.

ENGINEERING SUPERVISION OF PLANT OPERATION.

By PERCIVAL ROBERT MOSES.

With the growth of buildings from five and six stories occupying plots fifty to one hundred feet square, to buildings ten, twelve, sixteen and thirty stories occupying plots covering whole block fronts, has come the necessity for the installation of separate, so-called isolated plants, for supplying these buildings with steam, electricity, refrigeration, water, etc. The installation of these plants has introduced a much more complex administration.

Up to within the past two or three years, it was the custom to put the operation of the steam and electric plant in charge of the chief engineer, who was usually a man who had gained his experience by hard work in the fire room and afterwards as an oiler, oiling the engines, and finally obtaining a license to operate as chief engineer, or as assistant engineer, as the case might be. These men were rarely well educated along technical lines, although they had a good practical knowledge of the operation of the particular machinery to which they had been accustomed. It was found, however, that these men were not altogether fitted to assume responsibility, that they were frequently led astray by ambitious agents, and graft was becoming a usual accompaniment to engine-room operation. In the purchase of oils, fuels, and in the making of repairs it became the custom in more than one-half the plants for the engineer to receive anywhere from 10 per cent. to 50 per cent. of the cost of the work. This led to the withdrawal of the purchasing from the engine-room, the owner of the plant attempting to do the purchasing himself; this, however, did not accomplish the effect desired, as the engineer in charge of the operation of the plant condemned the materials used unless he received his graft.

Many owners, recognizing that their knowledge of the operation of mechanical equipments and of electrical apparatus was very limited, retained a consulting engineer to advise them on changes proposed, and finally several companies were started with the sole object of taking charge of the operation of plants and mechanical equipments on behalf of the owners. Two distinct methods have been adopted in this work, the first method is the method adopted by the contracting engineering companies in making a contract for a fixed sum, for which payment they agree to operate the mechanical equipment and maintain it in good repair. The second method, that of engineering supervision of plant operation, has been developed more recently, and has met with a great deal of success. This method puts the services of

AN ENGINEERING OFFICE AT THE DISPOSAL OF THE OWNER

for a fixed sum per annum. Under such an arrangement the owner gets all the benefit derived from the operation under a contract; that is, the benefit from purchasing in quantity, of engineering supervision, and of trained technical knowledge in the operation of plants. At the same time the bad features of the system of operation under contract are avoided. It is not to the operating engineer's interest to skimp the operation of the plant below the required amount necessary for its proper operation; it is not to his interest to employ inferior men, paying them starvation wages, regardless of the effect on the operation of the plant; and as he is responsible for the proper maintenance of the plant, he will see that the plant is not allowed to run down or get into a dangerous condition.

The operation of a plant by such a company, or individual, divides itself naturally into the following departments: First, the employment of the help; this requires the filing of applications, investigation of references, the examination of applicants in a technical manner, and the arranging of a contract. The second department is that of purchasing. To be properly handled, the material required should be first requisitioned by the engineer of the plant, this requisition should be approved by some inspector representing the owner and it should then be passed to the Purchasing Department.

The Purchasing Department, by purchasing for a large number of plants, can obtain very much better prices than a single plant, and can obtain a much better and much more uniform quality of material; it can also arrange for testing materials, when it seems advisable to do so, and can take up complaints as to qualities, overcharges, etc. In the purchase of a great number of supplies, large trade discounts are obtainable, which are not obtainable by the single purchaser, and while it is usually against the rules to turn in these commissions directly, it is the custom to credit the commissions obtained against the charge for services, and in many instances the credits thus obtained more than cover the cost of the services. While the purchasing is an important matter, the most important department of the operating engineer's office is that of inspection and testing. In this department the log-blanks are prepared, which are to be filled out hourly by the engineers on the job, showing the amount of electricity being delivered, the amount of water used, coal used, temperature of the hot water and feed water, temperature of the outgoing and incoming brine if refrigerating systems are in use, voltage on lights, steam pressures carried, and the other items which should be noted hour by hour by the engineer in charge. These log blanks are collected systemati-

cally by an inspecting engineer, who, at the same time, takes up questions arising in connection with the operation of the plant, and collects requisitions.

The inspecting engineer also fills out a blank of his own, on which is noted every item in the plant. These inspection blanks are filled out once or more often during the week, and as they cover every part of the mechanical and electrical equipment, such as commutators, brushes, field windings, etc., they insure that no part is overlooked by the inspector. At certain times during the year, a test gang visits the plant and makes a test of the engines, the boilers, to determine the efficiency of operation of the plant, and in some cases to distribute the steam supplied by the boilers to find out exactly where it is being used, so as to locate waste. This gang also makes tests of electric meters, water meters, and where these are not operating correctly they make the necessary adjustment.

The next department, and one also of importance, is the Department of Specifications and Repairs. In this department questions of new construction or repairs to old construction are taken up and specifications are drawn and plans made where these are necessary, bids obtained and contracts awarded, subject, of course, to the approval of the owner. In most cases the work can be done by the men on the plant and sometimes with assistance hired for the occasion. In general, contracts are to be avoided on small repair work, as the profit on such work to the contractors is usually quite large, and it is much better to get the men in the plant accustomed to doing the work themselves, and avoid the possibility of graft. In such cases the Purchasing Department does the purchasing of the materials, and it obtains, if the company is a large one and operating a number of buildings, trade prices equal to those obtained by the large jobbers, and much better than the individual consumer. The head of such a company is usually occupied in going over reports and making his report to the client, advising with the client on changes, and checking up inspection reports.

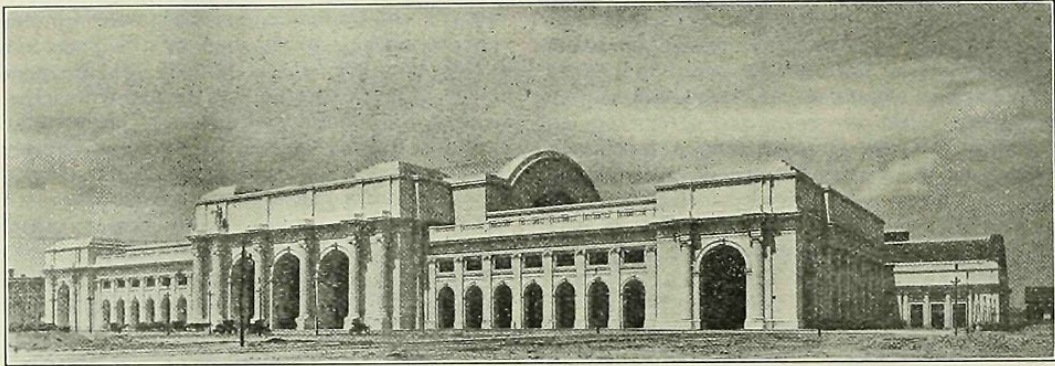
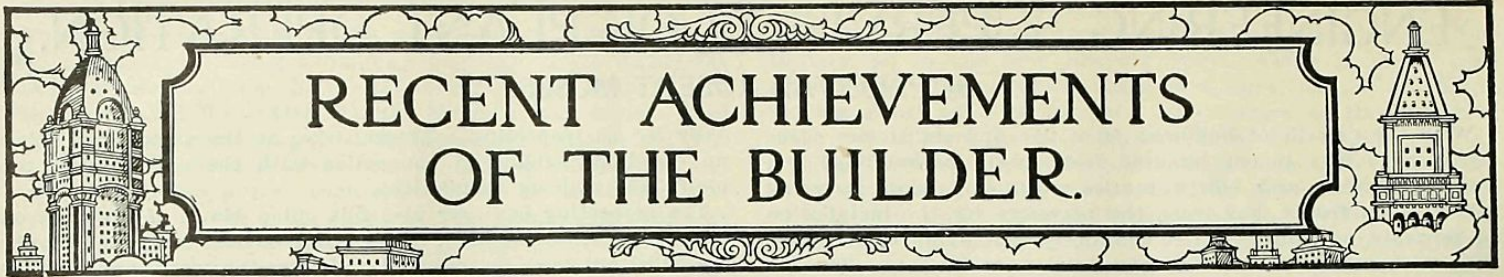
The work of such a company may sound rather elaborate, and not suited for a small plant, but it is in the small plant that the greater saving is usually obtainable, proportionately, although the aggregate saving is, of course, usually larger for the large plant. The system for the small plant is identical with that for the large, except that things are simplified; the log blanks may consist merely of a couple of lines, and inspections are less frequent; but the principle of the division of the labor amongst trained experts in each branch is maintained, and the engineer in charge is not called upon to assume any responsibility except for operating the plant correctly and in accordance with directions. Such a company has quite an advantage over an individual in employing such men, as they realize that good service means promotion, and the company with which the writer is connected, has frequently been asked by engineers to take them on at a less salary, as they liked the methods of the company and saw a good future ahead if they did their work properly. With this in view, it is the custom of the company to promote the men which they employ, rather than to go outside, and we may quote the old saying "Few die, and none resign," and we might add, "unless requested to do so."

RESULTS IN PARTICULAR CASES.

Concrete examples are always more striking than abstract and theoretical speculations, and it may be well to give a few results of engineering supervision in connection with New York City plants, mentioning that these plants were not at all antiquated or run down, but were supposed by the owners to be in good condition and operating in an economical and efficient manner. The names of the plants will be given on request to interested readers. In one hotel near Columbus av, a saving was effected of over \$200 a month in the fuel bill, out of a total of \$730 a month; the water bill was reduced from \$13 to \$7 a day, and the labor charge was reduced by over \$75 a month. In addition to this, the cost of oil and other items was cut down, so that the total saving has amounted to nearly \$400 a month, and the operation of the plant has been greatly improved, as in this particular plant it was rather dirty, and had given a good deal of trouble. It may be of interest to state that the same engineer is there that was there before the company took charge, but, needless to say, he has reformed. In a high-grade almost new apartment house in the same neighborhood covering a whole block, \$65 a month was saved in ash removal, over \$150 a month in wages, and over \$75 a month in fuel.

In a large department store, when the Engineering Supervision Company took hold of it, steam was leaking in nearly every joint in the pipes to such a degree that the floors of the first story were warped and the whole cellar was filled with steam; four boilers were in operation continuously, and the engineer had reported to the owner that the boilers would have to be thrown out as they were no longer good for anything; one of the engines had a sprung shaft, and was rarely operated because of the low steam pressure allowed on the boilers. The pumps operating the elevators at night blew steam out at every stroke. This was barely five months ago, and the plant

(Continued on page 467.)



FACADE OF THE NEW UNION STATION AT WASHINGTON.

D. H. Burnham & Co., Architects.

WASHINGTON UNION R. R. STATION.

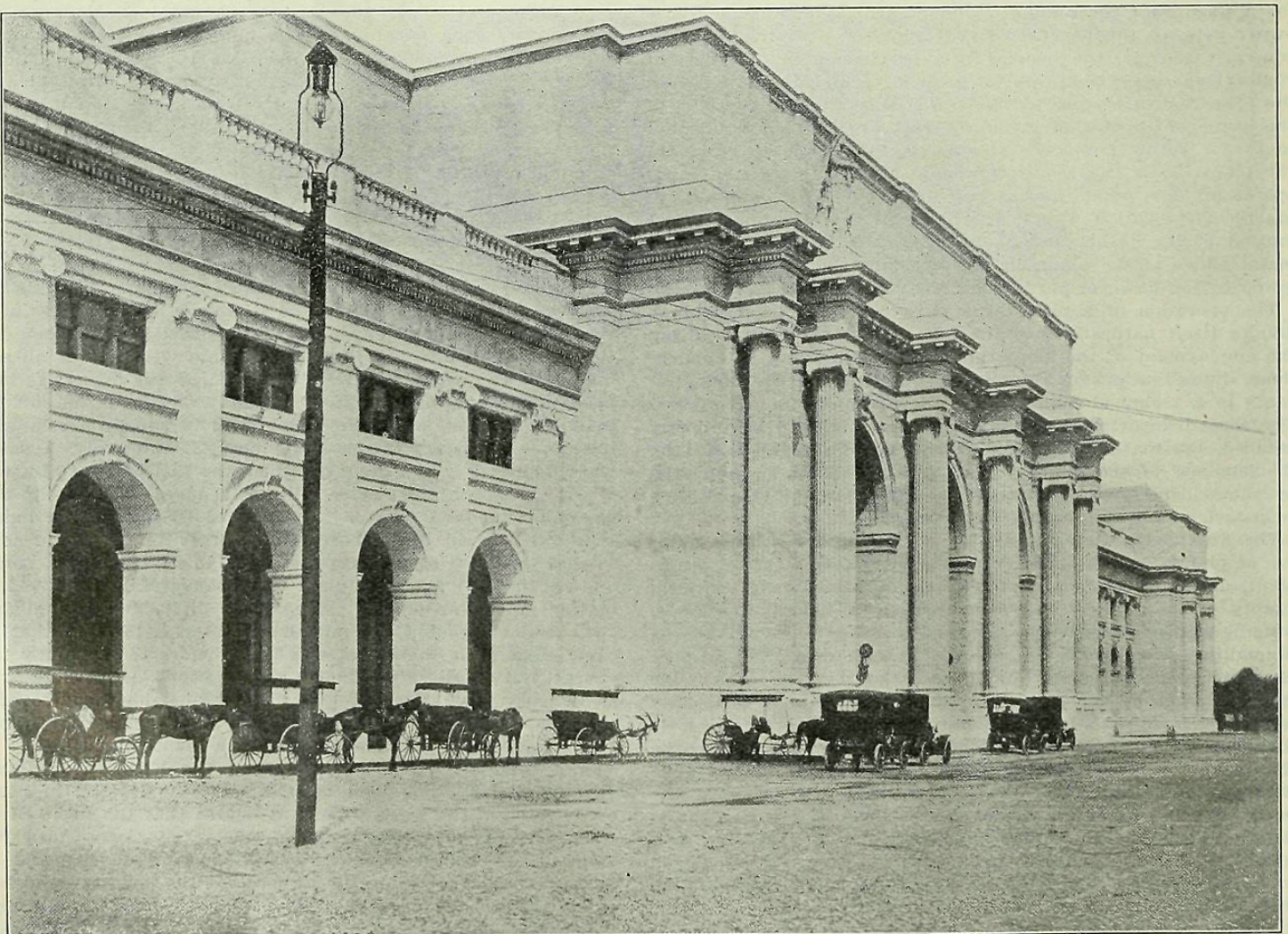
"At her greatest, imperial Rome had no such hall as this"

THE subjoined account of the great Washington Terminal Station should have an added interest for the readers of the Record and Guide and the Architectural Record because of the fact that in December, 1905, we printed an account that was widely copied of the building during its construction. The Station has been called a monument to the World's Fair of 1893 and to the executive genius of Daniel Hudson Burnham, who carried out at Chicago, in stucco and lath, an architectural conception which undoubtedly marked an epoch in American architecture. To John W. Root, of lamented memory, an architect of genius ranking with that of the great Richardson, must be given the credit of the architectural conception.

The builders of the Washington Station, the Thompson-Starrett Co. (of which Theo. Starrett was then president), should not

be forgotten. Theodore Starrett, "maximus natu" of a family of constructors which has made and is making itself felt in the uplifting of the builder's art to the dignity of a profession, was the responsible head in the work of construction, ably assisted first, during the building of the foundations, by the youngest of the brothers, William Starrett, and later, in the construction of the superstructure, by Ralph and Goldwin Starrett, the latter being in charge of the granite work and the former in general charge at the site.

Such a vast amount has been written about this building since it was projected, and so closely does it conform to the description given by Mr. Starrett three years ago, when it was scarcely begun, that it seems unnecessary now to enter into



A NEARER VIEW OF THE NEW UNION STATION AT WASHINGTON.

D. H. Burnham & Co., Architects.
Thompson-Starrett Co., Builder.

(From the Inland Architect.)

detail. But a few of the special features are the subject of consideration by Leila Mechlin, in the course of an article on "The New Public Buildings at Washington," in the September Architectural Record Magazine. One of the features, she says, is the open-air portico, or loggia, which connects the central vestibule and end pavilions, and with them constitutes a continuous running porch along the front of the entire building, a distance of considerably over six hundred feet, affording shelter from the elements, and long, delightful vistas. The spacious loftiness of the main vestibule, the arches of which are fifty feet in height, impresses the traveler immediately, and the long, cloisterlike corridors, to the right and left, with their alternate lights and shadows and lowered roofs, bring to him a sense of protection and peace. Perhaps one or two centuries from now when Washington has grown up to this station the environment thus created may cease to make itself felt, but it does not seem probable.

From the central vestibule the general waiting-room is entered. This is 220 feet in length and 130 feet in width, and is covered by a Roman barrel vault, 90 feet in height, decorated with sunken coffers after the manner of the Baths of Diocletian. At her greatest, Imperial Rome had no such hall as this. Its spaciousness is delightful—its treatment most attractive. A feeling of bigness is imparted to those who enter—an inclination to throw back the shoulders and hold up the head. Opening from this great hall to the east are the lunch room, the dining-room, and the women's waiting-room, and to the west, through a short colonnade, the lobby, fifty feet wide, on

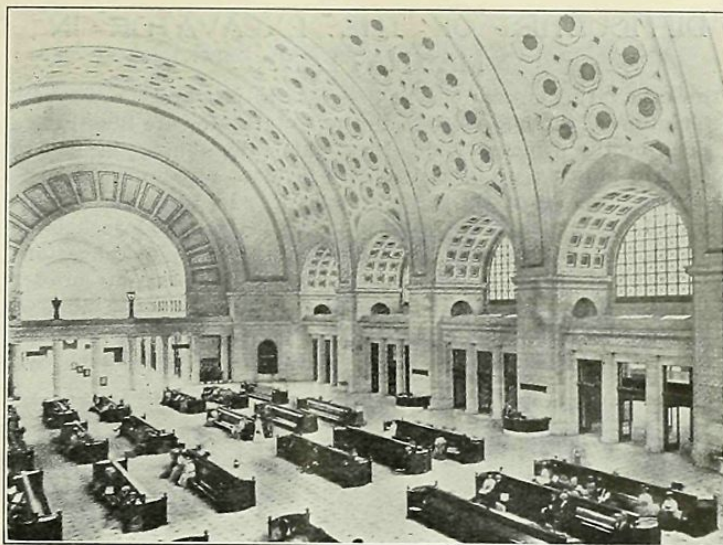


(From the Inland Architect.)
VISTA IN THE ENTRANCE PORTICO.

opposite sides of which are located the ticket offices, baggage rooms, etc. The convenience of this arrangement is obvious; the logic and economy in thus distributing space patent to all. Special attention, should, however, be called to the excellent way in which the general waiting-room is lighted; by day through a semi-circular window, 75 feet in diameter, at either end of the hall, and five semi-circular windows, 30 feet in diameter, on each side; and at night by 180 inverted arc lamps concealed in the alcoves of the balconies over the vestibules on the north and south sides of the room. No more beautiful artificial illumination can be imagined than this which seems to penetrate to every corner—to literally flood the entire hall—and yet is without glare.

A word, too, should be said of the electroliers used for this building, and especially of those in the porticos which, while unusual, are particularly good in design and admirably in keeping with the architecture. These are small things, to be sure, but it is often times the small things which count, assisting materially, or militating against, the effect as a whole. It is, in fact, in connection with these so-called "small things" that the gravest adverse criticism in regard to this building will be made—that is, for the use of imitation marble for interior decoration and imitation terra cotta tiles for facing the wall of the concourse—so noble an edifice should be genuine throughout.

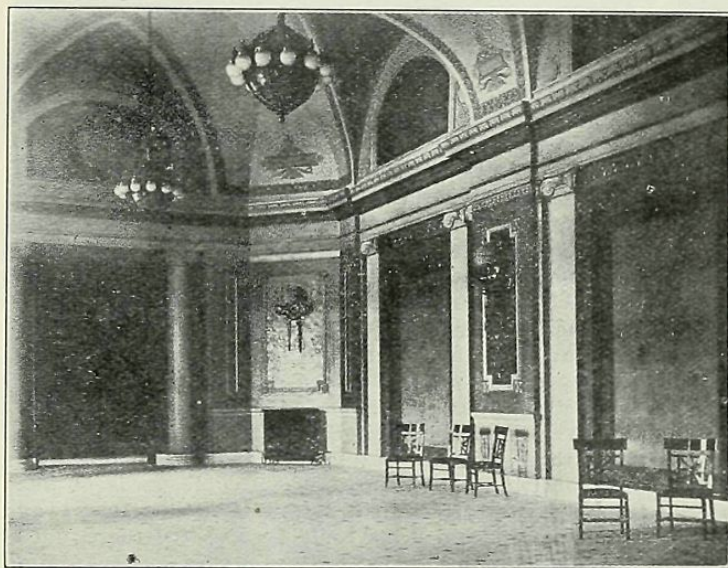
Fortunately, the majority of the mural decorations are good, quiet in color and conventional in design, the dining-room, in which the Pompeian style has been followed, alone offending.



(From the Inland Architect.)
GENERAL WAITING-ROOM.

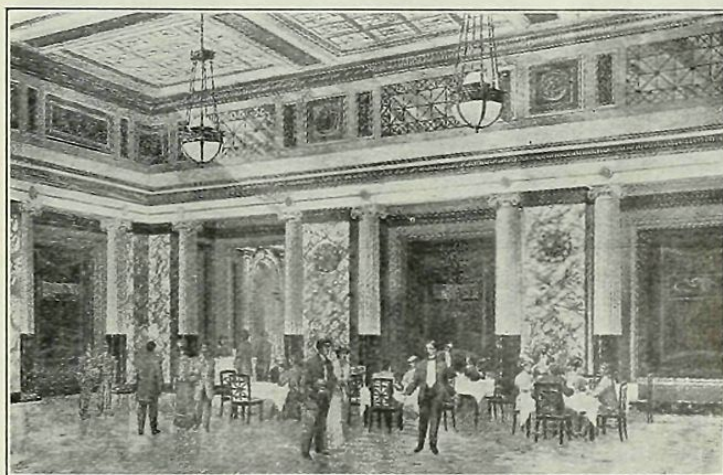
The sculpture for the building is not yet completed, but it will be the work of Louis Saint Gaudens, and should be good.

And still nothing has been said of some of the unique features of the Union Station; of the State suite, situated at the extreme east end of the building, of the invalids' room, the mortuary chapel, the club rooms for the railroad employees, which, with the administrative offices, are on the upper floor of the building; nor will space permit more than the bare mention of the fact that here an innovation has been made in the substitution of platform shelters for the large span train-shed which, until now, has been thought quite indispensable.



(From the Inland Architect.)
IN THE STATE SUITE.

The Union Station and its approaches represent a tremendous expenditure not merely of money but of labor, and the shortness of time occupied in its execution is little less than miraculous. In 1903, when the site upon which this monumental gateway stands was authorized by Congress, it was occupied by dwelling houses, coal yards, and railroad tracks, all of which had to be removed before the work of filling and leveling could be begun—in November, 1907, trains were running into this station, though not until July of the present year, was it by any means completed. This work has been done by the Washington Terminal Company, owned jointly by the Pennsylvania and Baltimore & Ohio railroads.



(From the Inland Architect.)
IN THE DINING-ROOM.

DIFFICULTIES OF THE EXCAVATOR IN MANHATTAN.

The excavating operations in progress to prepare the way for the erection of the big addition to the Hotel Astor are illustrative of some of the principal difficulties which the contractor has to face when blowing up huge boulders in close proximity to business structures or costly private residences in New York. Unimproved properties are so scarce in Manhattan and rock is so plentiful that carefulness and judgment are two qualifications that workmen must possess when laying a charge of powder within a few feet of a building worth anywhere from a hundred thousand to one million, if not more. The site of the addition to the Hotel Astor extends from 44th to 45th street, being bor-



FIG. 1.—INDICATING STEAM DRILLS BORING DEEP CHANNELS CLOSE TO ADJOINING BUILDING.

dered on the east side by the present Hotel Astor, an establishment worth millions, and on the west side by valuable apartment houses. Add to this the fact that the site is practically solid rock and that the excavators, Canavan Bros., have to go down 41 feet from the street level on the northeast corner, immediately adjoining the west wall of the present hotel. It is stated that the object in making such a deep hole is to put the machinery of the addition so far below the main floor that the effect of the heat from the boilers will be minimized.

When the excavations will have been completed about 50,000 cubic yards of stone taken therefrom will be at the bottom of the Atlantic several miles beyond Sandy Hook. The time allowed is about three months. It required about the same time for the same contractors to remove 70,000 cubic yards of like material from the site of the Fifth Avenue Building, Broadway and 23d st, but more steam drills could be operated there, until progress was suspended by the injunctions served by tenants of the stores in the old Fifth Avenue Hotel.



FIG. 2.—TYPICAL EXCAVATING SCENE ON A SITE OF ROCK IN MANHATTAN.

When asked how damage to adjoining property is avoided, Mr. David P. Canavan said:

"We substitute labor for powder as much as possible. Deep channel boring solves this problem and has always been successful. By using more labor and very much smaller charges of powder, just enough to crack the rock instead of rent it asunder, the operations are made safe enough."

Along the adjoining walls the channels are bored about 4

inches apart and as deep as the character of the building necessitates. In the case of the Astor, the drills bored down 25 feet for this purpose. To loosen up the rock with a typical charge of powder away from the walls a depth of from five to ten feet is sufficient. After the powder has been put into the hole prepared by the steam drill the operations are plain to anyone who has observed work on a big excavation undertaking in New York. A large covering of steel network is placed over the charge, thus preventing the pieces of rock from flying into the air.

Fig. 1 shows the appearance of the site of the Hotel Astor addition shortly after the old structures on it were demolished

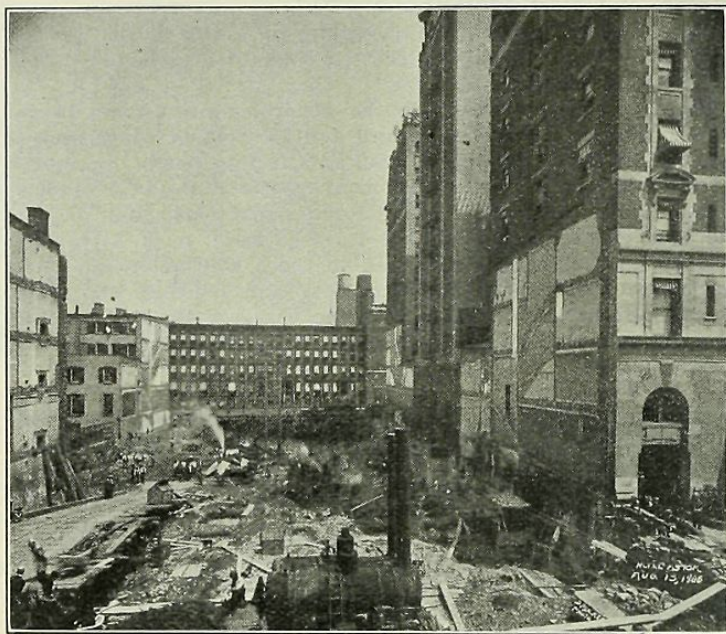


FIG. 3.—SHOWING WHERE CONTRACTORS HAD TO BLAST TO A DEPTH OF 41 FEET.

and a row of steam drills boring channels close to the wall on the west side. The blasting at the lower left hand corner had not started, this being where the rock had to be taken out to a depth of 41 feet. Fig. 2 reproduces a photograph taken the middle of July, a month later, and shows a typical excavation in the rocky parts of Manhattan. The derrick in the centre is standing on the last section of rock that has not been removed, and raises pieces as heavy as a ton from the excavated part surrounding it. About a dozen teams are on or about the site. Fig. 3 indicates the deep hole gouged out of the rock at the upper right hand corner, showing the west wall of the Hotel Astor immediately adjoining. The depth of the hole is also indicated by the shadow cast over the eastern half of the site. This photograph was taken about the middle of August.

John Downey is the general contractor and Clifford & Russell the architects.

HEATING AND VENTILATING METHODS.

By PROF. J. D. HOFFMAN.*

CONTRACTS for heating and ventilating apparatus usually are let in one of the four following ways: (a) Some person, called for convenience the dealer contractor, draws up a rough layout of the work, guarantees to install satisfactory apparatus for a stated amount of money, buys his apparatus from the manufacturer, installs it according to his own personal ideas, or according to the plans laid down by the manufacturers, and in a general way guarantees it to give good service; (b) a manufacturing firm draws up a plan and contracts to install, for a stated amount of money, satisfactory apparatus, usually made by the same company, guaranteeing its successful operation; (c) a responsible engineer is retained, who draws up plans and specifications for the work, and, upon competitive bids, the successful contractor installs the apparatus in accordance with these plans and specifications, the engineer being the judge of the quality of the work and materials; (d) a responsible engineer designs the system and assumes all the responsibility in its erection, looking toward a certain required output or result. Materials are purchased in the open market and installed to his satisfaction, and after completion, if the final tests are acceptable, the purchaser pays the bills and takes charge of the completed plant. The last method is not much used in heating and ventilating installation as yet, being confined largely to power and manufacturing plants where a certain definite output of finished material is desired, and will not be further discussed; methods (a) and (b) being applicable to small installations and (c) to larger and more important ones.

RESIDENCE HEATING BY FURNACES.

Of all the uncertain and rule-of-thumb installations, probably the furnace heating of residences can claim the greatest share.

*From a paper read at the Summer Meeting of the American Society of Heating and Ventilating Engineers at Niagara Falls.

Competition among the furnace manufacturers has been so great that we have the country flooded with furnaces ranging in quality from good to positively bad. In order to place the furnaces, it has been the desire, and this is a legitimate one, to simplify construction, to remove features not absolutely necessary, to cheapen manufacture, and in many cases to so rate the furnace that the claims could be realized only under the best conditions of installation, such as would be expected under test conditions and not under conditions as found in average service. Of the above mentioned points, the last one should not obtain in any case, since a furnace should be so rated as to realize its claims even under somewhat unfavorable conditions, and the other points should hold good only in so far as not to develop an inferior type of furnace.

In addition to what has been said about the furnace, it is also true that the furnace manufacturer has been so busy cheapening his product and placing orders that he has been selling to Smith, Jones and Brown to install according to their own notions of engineering work, and has not had time to investigate the engineering reputation of Smith, Jones and Brown to see if they would probably bring credit to his firm, nor has he had time to keep his own finger upon the pulse of the job to see if the plant is working well after it is installed. This apparent indifference of the manufacturer to the final results is probably the greatest source of trouble, and is that which gives color to the public mind and decides the buyer against furnace heat, because, as he has some right to argue, "Furnace plants are usually installed so as to make them inferior and defective, consequently the system is in itself defective." It is fast becoming a fact that the correct furnace job is the exception rather than the rule, and some remedy should be applied very soon. The fault is not in the system. Furnace heating, if properly installed, is healthful, cheap and scientific. Neither can it be said that the fault all rests with the manufacturer. The purchaser is to a certain degree to blame in that he is willing to let the contract to any one who cuts to the lowest price regardless of the quality of the man who takes the contract or of the apparatus which he represents. In certain localities it has become almost impossible for a man of reputation and integrity to obtain a contract, because he expects to live up to the "full intent and meaning" of the contract, and proposes to stay with his work until it is fully satisfactory, regardless of cost. Such a man usually presents an estimate that is sometimes considered high when compared to some others, but when the expense of changes and repairs is taken into account it would in many cases be the cheaper proposition.

It does seem unfortunate that there are men in the business who are in it exclusively for the dollars, and care little as to the results. If such men were held strictly to the satisfactory fulfillment of the contract, even though it were to the substitution of an entirely new system, there would be less careless and haphazard bidding, and part of the troubles at least would be remedied.

RELATION OF THE HEATING ENGINEER TO THE ARCHITECT.

Another phase of the heating business which is a frequent source of annoyance and error is the relation of the heating engineer or the contractor installing such work to the architect. The house plans are usually made without the consideration of heating; the heating plans are then supposed to be made to fit the house plans. Now what an occasional architect may not know about the heating business would fill many books, but his own private opinion of his own worth in such matters is highly satisfactory, and consequently there is set up a different viewpoint between the designer of the building and the designer of the heating apparatus, much to the discomfort of the latter and to the detriment of his work in many cases. To be just to both, the system of heat should be selected first and then allowances should be made in the building plans for its installation. This is no hardship to the architect, since many slight changes, any one of which would possibly be in favor of the heating engineer, may be made in his plans without causing any trouble. Some of these points may be mentioned as follows: The size and location of the chimney; the running of the cellar partitions walls to accommodate the location of the furnace and the coal bin; the height of the basement ceiling to allow sufficient inclination of the leader pipes; the construction of the partition walls between the rooms to allow for riser pipes of sufficient size to heat large upstairs rooms; the planning of the walls to avoid horizontal runs of heat ducts in the second floor to reach a room otherwise inaccessible; and other points not necessary to mention.

COMPETITION FOR SEAL.—The Architectural League of America, feeling the need of a club seal has issued a call for designs for a seal to be used in connection with the letter press of the League. Prizes of \$25 and \$10 are offered. The drawings should be forwarded not later than Sept. 12, to the Detroit Architectural Club at 92 Griswold st, accompanied by the usual sealed envelope containing the name and address of the author, with no name or device on the drawing. The actual size of the drawing is to be two and one-half to three inches, in india ink line, on twelve by nine inches bristol-board.

ENGINEERING SUPERVISION OF PLANT OPERATION.

(Continued from Page 463.)

is now operating in first-class condition, there is not a leak on the steam mains, the plant has operated for two months on two boilers, and is now operating on three boilers out of the four in order to allow the burning of a much cheaper fuel.

Some buildings in the mercantile district, six stories in height, were purchasing steam from outside, and it was found on investigation that steam for the elevator engines was not being used after having gone through the engines, but was being wasted, and by this and other changes, a saving of over \$1,500 a year was effected, and by other advice in connection with other matters a further saving of nearly a thousand dollars a year was effected. In a large apartment house on the upper West Side, a saving of over \$9 a day in fuel was effected. As an example of another branch of the work, that of the repair and specification department, a loft building on Bleecker st, the plant was taken over in such a state of disrepair that the tenants were all threatening to leave. Men were employed and the repairs were made at a cost of \$500 less than the lowest estimate received from the bidders and the plant is now operating in "apple-pie" condition, and the tenants are all entirely satisfied.

In a group of very large loft buildings near at hand, the elevators are being completely rebuilt under the direction of the company, who are employing men and directing the work and purchasing the materials at the lowest trade prices under the supervision of the chief engineer and the inspecting engineers of the company. The lowest estimate received on the changes was \$10,000, and the cost of doing the work in the manner followed will not total over \$6,000, and a great deal more work is being done than that originally contemplated.

A point of considerable importance, which has not been mentioned, is the fact that the control of a large number of plants through one central organization makes it possible to replace a complete force at short notice. As an example of this, the proprietor of a hotel came to the office late one Saturday afternoon, not over a month ago, and notified us that his force had given him notice that they would leave; and he asked us if we could furnish him with a force in half an hour. By a system of telephone arrangements, which has been perfected in anticipation of such a request, it was a simple matter to comply with this requirement, and to have a force ready to take hold within twenty minutes. An engineer realizing this fact knows that he cannot be arbitrary.

POSSIBILITIES OF CYPRESS.

AMERICA is still a land of homes. The multiplication of apartment houses, flats and family hotels may call forth the dismal croak of the pessimist, but the fact remains that the great mass of intelligent and industrious American people hope and plan for real homes of their own some day—single houses with plots of green and beds of flowers, away from the frenzied turmoil of crowded city streets.

The constantly increasing price of building materials has not stifled this desire. It has, however, caused the prospective house builder to study the whole situation more carefully, to learn the values of the different woods more intimately, to make himself so thoroughly familiar with prices and materials that he shall not be at the mercy of either architect or contractor.

Among the things he has learned of late is the fact that cypress contains possibilities which can be realized at a much less expense than is the case with other woods which have been considered almost indispensable for certain purposes. It is little less than remarkable that cypress has been so long neglected in some parts of the country. It is one of the most adaptable and interesting of woods. Its immunity from the ravages of time has become a matter of recorded history. The doors of St. Peter's Cathedral at Rome, placed in position by Constantine, swung to and fro for 1,100 years, and, when finally they gave place to doors of brass, were found to be practically as sound as when first hung on their ancient hinges.

Cypress resists the attacks of air, water, and even, to a large extent, fire itself, says Arthur T. Bronson, in a recent issue of *Suburban Life*. It seems to contain a natural preservative. Its strange quality of being practically unaffected by decay is attributed to the presence of an unusual amount of resin; on the other hand, it is free from pitch, so that, when attacked by fire, it smolders slowly and seldom breaks into flame. This matter of durability becomes a most vital one in the eyes of the builder in these piping times of unprecedented prices for building materials and labor. It means insurance against repairs for many years to come.

It is important that the man who is building a home for himself, his children and perhaps for his children's children, too, shall have an accurate knowledge regarding the various building materials, including the different varieties of lumber.

(Continued on page 502.)

BUILDING MATERIAL AND EQUIPMENT.

And News Regarding Source of Supply

Business Outlook as Seen by the Otis Elevator Company.

The initial number of "The Indicator," which is to be published monthly in the interests of the Otis Elevator Co., contains a commentary on the business outlook as indicated in reports received from all large cities in the United States and Canada. It is stated that the dominant question at the present time is when the depression which has hung over the business of the country since last fall will terminate.

"Ordinarily the topic of paramount interest of the year of a Presidential election is who will be the nominees of the two leading parties for President, and what is to be the result of the November election, but most people dependent upon their daily income are far more concerned as to whether the opportunities for employment are to be limited, with all the hardships attendant upon that condition, or whether there is to be a fairly steady demand for their services with reasonable remuneration.

"We have taken pains to obtain from our representatives distributed through practically all of the large cities of this country and Canada, reports as to the business outlook in their particular localities, and the consensus of opinion appears to be that the gradual improvement which has been noticeable since the beginning of the year, will be maintained, but that nothing like the large volume which characterized last year's operations until October may be expected, and that even a satisfactory amount of business in the building line can hardly be looked for until the Presidential election shall have been held.

"The general view as to building operations is that the comparative stagnation still prevailing is to be attributed only in part to the panic of last October. At many points in the United States it is believed that the building booms of last year resulted in an oversupply of building accommodations which must be absorbed by normal growth of general business before any very large and general demand can be expected.

"On the whole, however, the improvement, though moderate, must be regarded as healthy, normal and encouraging."

The prospectus of the magazine states that the design of the publication is to diffuse among the co-workers of the Otis Elevator Co. information regarding the progress and development of the industry, and to familiarize them with the improvements that are being made in the apparatus, and with the better methods employed, producing greater efficiency both in the manufacturing and erection work, with the view of assuring cooperation from all actively engaged in promoting the success and growth of the company.

"The management recognizes that the welfare of any business is dependent upon the zeal and loyalty with which each individual performs the work allotted to him, and the aim of this paper will be to encourage such individual work," is the way in which this idea is indicated.

An Example of Artificial Stone Work.

An interesting and instructive illustration of the effect produced by artificial stone may be noted in connection with the rebuilding operations in progress at the City Court Building, Chambers st. N. B. Smyth, 1123 Broadway, has the contract to add 1½ stories to the structure and

this part of the work is now approaching completion. Those who are interested in the application of artificial stone ought to view the brick walls now and view the finished exterior after the contract will have been executed. The brownstone facade of the lower floors is to be continued to the roof by the Fordham Stone Renovating Co., 1123 Broadway. This means that the brick backing will be covered with the artificial stone and that in a short time the structure will appear as if the entire walls rose from the ground at the same time and out of the same material.

An Incidental Benefit of Permanent Exhibitions.

"One of the results of our exhibition which we did not anticipate," commented Mr. Ralph C. Davison, secretary of the Concrete Association of America, which has its exhibition hall at 225 Fifth av, "is the number of new ideas brought out in connection with the cement industry and concrete construction. Persons who visit our hall out of curiosity to see what can be accomplished with cement discover that they are interested in inventions or improvements that fall right in line with the use of cement. Only this morning a gentleman, who saw the exhibits for the first time, had revealed to him the fact that concrete construction methods opened a wide field for an article which is about to be put on the market by a company of which he is a member. The inspecting of an exhibition such as we have here is highly educational, bringing home to the architect, contractor, engineer or owner some facts about cement that he never realized. It opens up new avenues of business for the visitor."

There are very few unoccupied spaces in the exhibition hall and still less not rented. Mr. Davison said that if all promises are fulfilled the beginning of next year will see a waiting list of those who want to have a display.

Pure Water Means Less Absentees From Work.

That the purest possible drinking water is desirable for employees in factory and office is obvious, but that a first-class supply of aqua results in a decided gain to the employer, from a monetary standpoint, is an assertion that might be received with some hesitancy. And yet the material economy of pure water is advanced very strongly by high officials of some big concerns.

Mr. I. A. Chandler, 120 Liberty st, New York representative of the Forbes Co., of Philadelphia, cites instances of this:

"The president of a large company said, recently," explained Mr. Chandler, "that since a Forbes system of water purification was installed the average number of idle machines in his shop had been reduced from 14 to 2, and that he estimates that it has more than paid for itself in this respect alone each of the years it has been in use."

It would be universally conceded that pure water promotes the general welfare of employees; that is self-apparent, but when managers or presidents state that the health of the employees and the bank account of the employer are very substantially benefited, the necessity of this article in industrial plants and places where large clerical forces are congregated is evident. Whatever will reduce expenses and increase producing efficiency is always of interest to the business man.

Fire, Load and Water Test in Brooklyn Next Week.

A fire, load and water test is to be made in Brooklyn, Friday, Sept. 11, upon a triangular reinforced-concrete floor system constructed by the American Steel & Wire Co. The test, which is to be conducted by Ira H. Woolson, E. M., adjunct professor of civil engineering at Columbia University, and which is made necessary by Section 106, of the New York City Building Code, will take place at the corner of Norman av and Monitor st, Greenpoint, about 10 o'clock in the morning. The primary object is to determine the load carrying efficiency and fireproof qualities of a reinforced-concrete floor, using the American Steel & Wire Co.'s triangular mesh. The reinforcing material will be installed by the Neuchatel Asphalt Co. The test will be practically a repetition of the one conducted last March at the fire testing station of Columbia University. The fabric used upon that occasion was a little heavier than necessary, and a lighter fabric for reinforcing will be used next week to establish a standard.

A fireproof structure, 14x20 ft., will be erected, the roof being really the floor slab to be tested. The interior will be subjected to a heat averaging 1,700 degrees for four hours, after which the firemen will be called in to play a stream of 60 pounds to the square inch on the reinforced slab. The load test consists in piling sufficient pig iron on the roof, or floor, to make it sustain a weight of 600 pounds to the square foot.

At the test last March the spectators included many of the best engineers in New York and Philadelphia, the U. S. Government, the City of New York, the Delaware, Lackawanna & Western R. R., the Long Island R. R., the Pennsylvania R. R., and a number of fireproofing and insurance companies being represented.

The quickest way to get to the scene of the test is by the 23d st ferry, thence by the Graham av car.

U. S. Government Recognizes Importance of Lighting Problems.

The growing importance of the problems of lighting, combining efficiency, economy and the aesthetic, is indicated by the retaining of Arthur A. Ernst, a consulting illuminating engineer of New York, to act in this capacity in connection with the casting and placing of the fixtures for the new office buildings for the Senate and House of Representatives buildings at Washington. Carrere & Hastings are the consulting architects, Mr. Carrere devoting his attention to the Senate Building and Mr. Hastings looking after the House of Representatives Building. The contract for only part of the lighting fixtures in the former structure involves more than \$35,000, having been awarded to the Mitchell Vance Co., 507 W 24th st. The amount involved in the providing of permanent fixtures for both structures will be approximately \$100,000, and they will be the finest in any government building in this country. Mr. Ernst's work is to superintend the placing of the fixtures from the outlet to the last detail. He is responsible for the perfect reproduction of the models approved, the consideration of the candle power, the general efficiency of the lighting, and the proper placing of the fixtures.

PRICES CURRENT.

BRICK.—Financial institutions which usually loan money for building and real estate purposes have generally adopted a policy of encouragement. The Title Guarantee & Trust Company, for example, announces that it is eager to do business with the right kind of borrowers. On buildings in desirable locations, containing all modern improvements and erected by builders of proved trustworthiness it is willing to advance money at 5 per cent., which is a much better rate than could have been obtained earlier in the year. In exceptional cases it has granted as low a rate as 4½ per cent., but on the other hand it is also doing business at 5½ per cent. The general rate is 5 per cent.

The United States Realty & Improvement Company has just placed a loan for \$1,200,000 at 5 per cent. on the Everett Building, in Union Square. The Bank for Savings of the City of New York has loaned \$1,800,000 on the 18-sty Masonic Hall addition; the Central Building, Improvement & Investment Co. loans Silver-son & London Construction Co. \$500,000 to erect a 6-sty apartment, 75x100 ft., in 113th st, west of Amsterdam av. Charles M. Rosenthal loans the Riverside Viaduct Realty Co. \$92,500 to erect a 6-sty building at the northeast corner of 127th st and Riverside Drive. The City Mortgage Co. has loaned Golde & Cohen, \$70,000 to erect two 6-sty flats at the northwest corner of Park av and 107th st. The Lawyers' Title Ins. & Trust loans the Martha Graham Construction Co. \$102,-000 for an operation in the West Farms section. The City Mortgage Company loans \$95,000 for three 5-sty flats in 179th st near St. Nicholas av, for the South Side Construction Co., \$100,000 on a 6-sty apartment at Audubon av and 178th st, for the Washington Heights Development & Construction Co. and \$80,000 on three 6-sty flats on Washington av near 167th st, for the Brook Construction Co. The Title Insurance Co. has loaned \$120,000 to the Washington Heights Development & Construction Co. for an operation at Audubon av and 177th st.

The Metropolitan Life Insurance Company has loaned \$3,000,000 to the Belnord Realty Company, a concern organized by the former Superintendent of Buildings Henry S. Thompson, for the erection of the vast apartment house planned for the block bounded by Broadway, Amsterdam av, 86th and 87th sts. The Metropolitan has been a very large lender for building purposes.

More judgment will be exercised by the lending institutions in the future as to the location of the new enterprises. The loans now being offered are at lower rates than ever before, but are much more conservative in amount. It takes at least more actual money to build than it did last year. At present there are very few professional builders ready to undertake new operations. The exceptions are high-class apartment house builders, who were not affected by the late panic.

An officer of the U. S. Realty & Improvement Company is quoted as saying that the George A. Fuller Company will have a better year than in 1906, for the reason that various projects that were then suspended because of monetary conditions are now being resumed. Moreover, building could be conducted today on more advantageous terms than one year or two years ago. Materials were approximately 25 per cent. cheaper, while labor—and this was even more important—was willing to give a full day's work for a day's pay. There had been little contraction in the demand for build-ings. He therefore regarded the outlook as encouraging.

Larger quantities of enameled brick are being made in this country each year, but the total is nowhere near so large as in some of the countries of Europe. Up to 1888 the enameled brick industry was not considered of sufficient importance to be classified in the statistics of the clay-working industry put out by the United States Geological Survey, but it had grown large enough at this time to deserve special attention. In the year 1898 the output was valued at \$279,993. The figures for 1906 were \$773,104.

Only half a dozen factories make enameled brick exclusively. Other factories make small quantities in connection with pressed brick.

A manufacturer says that many failures in the enameled brick industry may be traced to the reliance that has been placed on so-called formulas that have worked well for a time, but, under changing conditions, such as different clay, coal or material, out of which the glaze and body are mixed, failure has come and the knowledge to locate the trouble was not there.

"A formula of any kind is useless to anyone if they have no knowledge of the matter contained therein and the effect one substance may have upon another under the condition in which they have to be used. Success may come for a time, but it will not last long. So that it is not secret formulas that are doing the work today so much as the knowledge and experience to use them aright."

Quotations from Hudson River brick from first hands advanced a shilling to a quarter at the first of the week, but later receded to the former level. The surplus in the wholesale market is not large, but the dealers have laid in good supplies, with which they are able to control quotations for the time being. Brick-building is picking up a little in the city.

BRICK.		Cargo Lot, Per M.
Hudson River Common.....	\$4.50@	\$5.25
Hudson River Light Hard.....	3.00	....
Hudson River Pale.....	....	....
New Jersey, Hard.....	....	....
Croton Point—Brown, f. o. b.....	12.50	....
Croton Point—Dark and red.....	12.50	....

Fronts:	
Bufs, No. 1 (delivered at bldgs.)..	21.00 26.00
Greys, various shades & speckled..	25.00 31.00
White, No. 1.....	27.00 30.00
White, No. 2.....	20.00 25.00
Old Gold	28.00 30.00

Enameled:	
English size	70.00 75.00
American size	60.00 65.00
Seconds, etc.	40.00 45.00

CEMENT.—Demand is enlarging, but business does not come without fighting for it. Several companies, including Edison and Vulcanite, are now running at full capacity. For ordinary business it is understood that the regular basic quotation is strictly adhered to. Atlas announces the same scale for September as for August. The Panama order which fell to the Atlas has toned up the market, though the price is referred to as extremely low.

Hunting for orders is having the effect of carrying the fame of hydraulic cement to the far corners of industry. Wherever there is a possibility of placing an order with a local dealer there you will see the cement salesman. In the smaller cities numerous firms not heretofore retailers of cement have found it advantageous to handle it. The resumption of railroad and municipal work in some considerable degree is an expectation for the early fall.

CEMENT.	
Rosendale, or Natural, in wood, per bbl	@ \$0.95
Portland, Domestic, in cloth*	1.48

(*All standard American Portland Cement Companies repurchase cloth sacks at the rate of 7½ cents each, or 30 cents a barrel.)

Manufacturers' Quotations:	
The following special quotations, for cargo lots in cloth, are furnished by agents of the brands, and they, not we, are responsible for the accuracy of the figures given:	
Atlas Portland	\$1.48@ \$1.55
Alsen (American) Portland	1.48
Vulcanite	1.48 1.53
Trowel Portland	1.48
Nazareth .....	....
Dragon Portland	1.48
Atlantic	1.48
Dyckerhoff (German) Portland....	2.45
Alsen (German) Portland.....	2.35

IRON, STEEL, ETC.—There is little doubt that the iron situation is rapidly returning to a normal status. Furnaces are now fairly well booked up for third and even fourth quarters. During July 161 to 165 iron furnaces out of a total of 397 were in blast, and it is now believed that about 170 are operating. The relatively high cost of production still keeps many plants idle. It is claimed that furnaces in the Lehigh and Schuyl-kill valleys now have a cost sheet of about \$15.00.

Structural steel interests expect an amount of business from the railroads before the fall is over that will strain the capacity of the mills. For a year or more structural betterments have been suspended by the transportation lines, and the steel men estimate that there must be a great deal of work to do. Small orders for bridge material have commenced to come in from the railroads, but nothing like what the future commitments will be. The Long Island Railroad contract, calling for about 4,600 tons of fabricated steel, for bridges on the Montauk & Glendale cut-off, has been placed. It is understood that the business went to the McClintic-Marshall Construction Company.

Post & McCord, of 44 East 23d st, will fabricate and erect the 1,200 tons of structural steel for the 16-sty Cameron building at Madison av and 34th st, the 400 tons for the 9-sty commercial building for Arthur Tooth, to be erected at 5th av and 47th st, and also the 100 tons for the coal conveying plant which the Hudson Companies will erect at Jersey City. Ravitch Bros., No. 1 Madison av, have the contract for the steel work of the 12-sty apartment house for the Allenel Construction Co., to be erected at the southeast corner of Broadway and 100th st.

The American Bridge Co. has taken the order for the steel work for the new high-way bridge over the Allegheny River, at Oakmont, Pa. Milliken Bros. are to furnish the steel for the Meier-Frank Building in Portland, Ore., requiring about 2,000 tons of fabricated material.

The August tonnage of fabricated work for all interests ran between 50,000 and 55,000 tons. Numerous small orders are still pending. The beginning of September shows the mills turning out 5 per cent. more work than on Aug. 1. Owing to the heavy increase in specifications on old contracts, especially in structural material, it is expected that September will see an increase of 10 per cent.

The Krupp Works at Essen are erecting a plant for manufacturing exclusively steel plates for war vessels.

It is claimed that electrolytic copper is being offered at 13¾c. delivered 30 days by one of the large selling companies, and a single car lot sold at 13.70c.; at the same time most producers are asking more; however, there is very little consumptive demand.

Iron bar prices are still a little irregular, but the majority of the leading manufacturers continue to ask 1.46c. for best grades.

The demand for wire nails continues on the increase. Some good-sized contracts are being placed. The bulk of the orders coming forward, however, are from the West. The mills are in receipt of heavy specifications on old contracts. In the

local market only a spasmodic demand is reported for small individual lots for immediate delivery. Prices are well maintained, although unchanged. Cut nails continue to show a marked improvement. Local demand is only moderate, but prices are more firmly maintained.

Demand for nickel is limited to small lots and the market is quiet. For large lots 46c. per pound is asked, while 50@55c. is asked for less than ton lots.

Business in sheet zinc continues of small proportions. Consumers are taking nothing beyond requirements for immediate use, and trading is routine in character. Prices are on the basis of \$7 per 100 pounds f. o. b. smelter, with 8 per cent. discount.

PIG IRON.

The following are the nominal delivered prices in this district for shipment during the next few months. Southern prices delivered, New York, Brooklyn or Jersey City, include lighterage:

Northern:		
No. 1 x Jersey City.....	\$16.75@	\$17.25
No. 2 Foundry x Jersey City.....	16.25	16.75
No. 2 Plain	15.75	16.25
Southern:		
No. 1 Foundry, steamship dock....	17.00	17.50
No. 2 Foundry, spot (nominal)....	16.50	17.00
No. 3 Foundry	15.75	16.25

STRUCTURAL.

	From store.	
Beams and Channels, 15-in. and under	\$1.76@	\$2.25
Angles	1.76	2.25
Tees	1.81	2.35
Zees	1.81	....

BAR IRON FROM STORE (National Classification).

ROUND AND SQUARE IRON.		
1 to 1½, base price.....	@	\$1.90
1 to ¾ in.	1-10c. extra	
1 to 1½, base price (nominal)....	@	\$1.75

FLAT IRON.

1½ to 4 in. x ½ to 1 in., base price	1.90
1½ to 4 x ¼ x 5-16.....	2-10c extra
2 to 4 in. x 1½ to 2 in.	5-10c extra
4½ to 6 in. x 11-16 to 1½ in.	4-10c extra
Norway Bars	3.60 8.75
Norway Shapes	3.75 4.00
Machinery Steel, iron finish, base	1.90
Soft Steel Bars, base or ordy sizes	1.90
Tool Steel, regular quality.....	7.00
Tool Steel, extra quality.....	13.00

SOFT STEEL SHEETS.

SOFT STEEL SHEETS.				
¼ and heavier	.....	2.55	
3-16	.....	2.65	
No. 8	.....	2.65	
Blue Annealed:				
No. 8	.....	2.50	
No. 10	.....	2.50	
No. 12	.....	2.55	
No. 14	.....	2.60	
No. 16	.....	2.70	
(One Pass R.G. cleaned—Cold Rolled. American.)				
No. 16	\$2.90	\$3.30		
No. 18	2.95	3.40		
No. 20	3.00	3.35		
No. 22				
No. 24	3.05	3.40		
No. 26				
No. 27			3.10	3.45
No. 28			3.20	3.50

RUSSIA, PLANISHED, ETC.

Genuine Russia, according to assortment, per lb.	11¼@14
Patent Planished, per lb.	A, 10c.; B, 9c., net
Galvanized iron jobbing, price.....	70 and 10%
Metal Laths, per sq. yd.	22@24

SOLDERS.

	Case.	Open.
Half and Half	19½ @	20
No. 1	17½	18

SPELTER.

Ton lots	5½	5¾
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TERNE PLATES.

N. B.—The following prices are for 10 20x28, the rate for 14x20 being half as much. IX is usually held at \$2 per box advance for 8 to 10 lbs. coating and \$2.50 to \$3 advance for 15 lb. and upward. The following are approximating basis quotations, and proper allowance must be made for special brands, small lots, etc.:

About 40-lb. coating.....	@	\$17.10
About 30-lb. coating.....		15.00
About 20-lb. coating.....		13.50
About 15-lb. coating.....		10.70 11.25
About 8-lb. coating, box.....		8.70

PIG LEAD.

Ton lots	4¾	4
Less	5	5¾

LUMBER.—Figures of the lumber cut in 1907, compiled by the Bureau of the Census and the Forest Service, showed the largest total ever reported in the United States, exceeding by over seven per cent. the cut reported for 1906, until then the record year. This does not necessarily show a larger actual cut than in 1906, for the returns obtained last year were more complete than ever before.

The figures themselves disclose some interesting facts.

In 1907 28,850 mills made returns, and their production was over 40 billion feet of lumber. This is believed to include 95 per cent of the actual cut. In 1906, 28,398 mills reported about 37½ billion feet. Since according to these figures over four hundred mills reported last year than the year before, while the increase in production was only a little over seven per cent, it might be thought that the amount actually manufactured must have been greater in the earlier year. This, however, would be a too hasty inference, for it is almost wholly among mills of small individual output that the gain in the number of establishments reporting has been made.

A classification of the returns by States and regions throws additional light on the situation. Individual changes, as for example the remarkable rise of Texas from eighth to third place among the lumber-producing States, are doubtless accounted for primarily by the greater accuracy of the 1907 figures; but in the majority of cases the advances and declines can be traced to specific influences.

Before the year closed the general business depression was severely felt in the lumber industry. It was not, however, the most important cause of a falling off in the production of the year where a falling-off occurred. For decline in production took place only in certain regions. The South is the region of greatest activity in lumber production, and yellow pine the most important wood, forming 33 per cent of the entire cut of the country. The cut of yellow pine reported shows an increase of 13 per cent over that of 1906. In the early part of the year many of the Southern mills cut so heavily that, in spite of the curtailed output which followed the business disturbance later, the total was greater than ever before. But in both the Lake States and the Northwest a smaller cut was reported than for 1906, though the number of mills reporting increased.

In the Lake States the falling off evidenced the waning supply of white pine. Michigan, which for many years led all the States in lumber production, and then gave way to Wisconsin, sank in 1907 from fourth to seventh place, while Wisconsin went from third to fifth. Minnesota as late as 1905 held fourth place. Last year it went from seventh to ninth. It was not until the latter 90's that the South displaced this group of States as the most important source of lumber supply. Since Southern pine is abundant in all the Atlantic coast States from the Carolinas to Texas, the region as a whole will doubtless maintain its leading position for some years, in spite of the fact that at the present rate the bulk of the timber will be gone in another decade; but in totals of production by individual States the leadership has since 1905 been held by Washington.

It is a striking fact that though lumber prices have been steadily going up during the last half century, the per capita consumption of lumber has also been going up. In 1850, according to the best figures obtainable, the average consumption to each person in the country was 250 feet, in 1900, 460 feet, and in 1907, 480 feet. This illustrates what has been found true the world over—that with industrial progress the demand for wood becomes greater and greater.

Business in the sash, door and mill-work trade is distinctly improving, but in the most degree for the trade from the edges of the district. Most of the outside mills have begun to report fair business, and some of the Brooklyn concerns are working close up to a normal basis. Under these circumstances quotations on finished material are more certain, but not quotably changed.

SPRUCE.

2 inch cargoes	\$16.50@	....
6 to 9 inch cargoes.....	18.00	\$19.50
10 to 12 inch cargoes	20.00	21.00

HEMLOCK.—Pa. Hemlock, f. o. b. New York, base price, \$19@20 per M.

PINE, YELLOW—Long Leaf.

By Sail.

Building orders, 12-in. & under....	\$23.00@	\$24.00
Building orders, 14-in. and up....	27.00	28.00
Yard orders, ordinary assort.....	21.00	....
Ship stock, easy schedules.....	27.00	28.00
Ship stock, 40 ft. average.....	37.00	38.00
Heart face siding, 1 and 1½-in.	29.00	....
1 in. wide boards, heart face.....	36.00	....
1½ and 1½ in. wide boards.....	40.00	....
2 in. wide plank, heart face.....	40.00	....
Kiln dried sap siding, 4-4.....	24.00	25.00
Kiln dried sap siding, 5-4.....	25.00	26.00
Yellow Pine Box Boards (knotty)....	14.00	15.00
Yellow Pine Stepping.....	41.00	43.00

By Steam, add \$1.00 to \$1.50.

LONG LEAF YELLOW PINE FLOORING.

"A" Heart face rift, D. & M., 13-16 x 2½ counted 1 x 3.....	\$52.00@	\$55.00
"B" Heart rift, D. & M., 13-16 x 2½, counted 1 x 3.....	46.00	47.00
"C" Heart rift, D. & M., 13-16 x 2½, counted 1 x 3.....	31.00	....
"A" Rift, D. & M., 13-16, counted 1 x 3.....	42.00	43.00
"B" Rift, D. & M., 13-16, counted 1 x 3.....	37.50	37.75
"C" Rift, D. & M., 13-16, counted 1 x 3.....	26.00	29.00
"A" Flat, D. & M., 13-16, counted 1 x 3.....	27.25	30.00
"B" Flat, D. & M., 13-16, counted 1 x 3.....	25.50	24.75
No. 1 Com., D. & M., 13-16, counted 1 x 3.....	19.25	20.50
No. 2, Com., D. & M., 13-16, counted 1 x 3.....	13.75	15.00
"A" Heart Rift, 13-16 x 3¼, counted 1 x 4.....	44.50	48.50
"B" Heart Rift, 13-16 x 3¼, counted 1 x 4.....	39.50	42.00
"C" Heart Rift, 13-16 x 3¼, counted 1 x 4.....	36.25	40.50
"A" Rift, 13-16 x 3¼, counted 1x4.....	32.25	34.00
"B" Rift, 13-16 x 3¼, counted 1x4.....	25.25	29.00
"A" Flat, 13-16 x 3¼, counted 1x4.....	24.25	25.50
"B" Flat, 13-16 x 3¼, counted 1x4.....	19.75	20.50
No. 2 Com., 13-16 x 3¼, counted 1 x 4.....	14.00	16.00

WHITE PINE.

(Rough or dressed.)

Good Uppers, 4-4, 5-4 and 6-4 per 1,000 feet	\$90.00@	\$98.00
Shelving, No. 1, 1 x 10 in.	50.50	55.00
Shelving, No. 2, 1 x 10 in.	37.00	39.50
Cutting up, 5-4, 6-4, 8-4, 1st.....	58.50	63.50
Cutting up, 5-4, 6-4, 8-4, 2ds.....	46.50	52.50
No. 2 Dressing Boards, 1 x 12 in.	44.00	....
No. 1 barn boards, 8-in.	36.00	37.50
10-in.	36.00	36.00
12-in.	46.00	47.50
No. 2 barn boards, 8-in.	34.00	35.00
10-in.	36.00	37.00
12-in.	38.00	39.00
No. 3 barn boards, 8-in.	32.00	32.00
10-in.	32.00	34.00
12-in.	34.00	35.00

HARDWOOD FLOORING.

K. D. Bored, End Matched or Butted and Bundled.	
13-16 Oak, 2, 2¼ and 2½.	
Clear quartered white oak.....	\$86.00
Select quarter-sawed white oak.....	49.00
Clear quartered red oak.....	80.00
Select quarter-sawed red oak.....	45.00
Clear Plain sawed white oak.....	52.00
Select P. S. white oak.....	42.00
Clear plain sawed red oak.....	50.00
Select P. S. red oak.....	40.00
Common oak, red and white.....	35.00
No. 2 Factory or common oak, red and white	23.00
Plain Oak.	
4 in. 1st and 2ds.....	45.00@
5-4, 6-4 and 8-4 in. 1st and 2ds..	47.00 52.00
4 in. Common	34.00 37.00
5-4, 6-4 and 8-4 in. Common.....	37.00 40.00
4-4 in. Culls	24.00 27.00
5-4, 6-4 and 8-4 in. Culls.....	26.00 30.00

SHINGLES.

(New York Lighterage Limits.)

6 x 18 No. 1 Heart Cypress Shingles.....	\$7.50 per M.
6 x 18 No. 1 Primes or A's.....	6.50 per M.
6 x 18 No. 1 Red Cedar	\$4.50@
"Perfection" Red Cedar.....	4.75
"Eureka" Red Cedar.....	4.25

GLASS.—Jobbers in this city report a fair volume of window glass moving to the retailers, with prices firmly held at the recent quotations of the hand-made manufacturers. of 90 and 15 off for A grades, single and double strength, and 90 and 20 off for B grades, single and double strength.

MACHINERY.—The larger interests in the department of machinery have been mainly marking time, but they believe that good business from builders and the railroads is imminent. Machine-casting houses are large enquirers for raw material, and orders are being placed against a revival of trade in the fall. Power equipment companies are placing orders for both iron and copper.

BUILDING OPERATIONS.

Bids on Aqueduct Job.

Bids for the construction of the three miles of the new Catskill Aqueduct between Ireland Corners and New Hurley were opened by the Board of Water Supply on Tuesday. The estimated cost of the work is \$1,300,000, and the successful bidder will have three years and eight months in which to complete the job. The firms which bid for the work were: Clement-King Co., Philadelphia; Remington & Sherman, 359 Broadway, N. Y.; Bellevue & Merritt Co., Tuckahoe, N. Y.; Rinehart & Dennis Co., Washington, D. C.; Bowman Brothers, McKeesport, Pa.; David Peoples, 271 Broadway, N. Y.; Arthur McMullen, Park Row Building, N. Y.; Phoenix Construction Co., 44 Park row, N. Y.; Gore Engineering & Contracting Co., 200 Broadway, N. Y.; Robert C. Storrie, Philadelphia; Hoffman Engineering & Contracting Co., Philadelphia, Pa.; J. Connelly Construction Co., Baltimore, Md.; Millard Construction Co., Philadelphia and New York; Mason & Hanger Co. and David Lupton's Sons Co., 50 Church st, N. Y.; John J. Hart Co., 26 Beaver st, N. Y.; Butler Bros., & Hoff Co., 1170 Broadway, N. Y.; Pearson & Son, Long Island City, N. Y.; Elmore & Hamilton Construction Co., Albany; Richard E. Henningham, 1 Madison av, N. Y.; Bunting Bull Co., Flushing, N. Y., and Stewart Kerbaugh-Shanley Co., 527 5th av, N. Y., the low bidders. The bids are still being tabulated, and will not be announced until the first of next week.

Post and McCord Take New Contracts.

Several important steel contracts were placed with Post & McCord, 44 East 23d st, the past week. They have signed the contract to furnish and erect 1,200 tons necessary for the new 16-story loft building which Mrs. Mary S. E. Cameron, of Clifton, Staten Island, will erect at Madison av, northeast corner 34th st, to cost \$300,000. Whitney-Steen Co. have the general contract, and Clinton & Russell, 32 Nassau st, are the architects. Also 400 tons required for the 9-story store building for Arthur Tooth, to be erected at 5th av and 47th st, from plans by Henry Otis Chapman, 334 5th av, and Fountain & Choate, 110 East 23d st, builders. Also 100 tons for a new coal conveying plant, for the Hudson Companies, Wm. McAdoo, president, to be erected at Jersey City, and 150 tons for a unique loft and store building to span the river at Norwalk, Conn., for H. E. Coleburn from plans by W. W. Knowles, 1133 Broadway, N. Y.

Henry F. Booth to Erect Clews Residence.

5TH AV.—Operations are to be begun on the new residence which James B. Clews, the banker, No. 15 Broad st., is to erect at the northeast corner of 5th av and 85th st, for which Architect Horace Trumbauer, 1408 Land Title Building, Philadelphia, Pa., has prepared plans. Henry F. Booth, builder, of No. 1123 Broadway, has taken the general contract. The building will measure 25x90 ft. and will be six stories, containing the usual conveniences found in this character of a building.

New Neighbor for the Breslin.

BROADWAY.—Figures will be taken in about two weeks for the proposed store and office structure which the Century Holding Company, 141 Broadway, will erect at No. 1182 Broadway, adjoining the Hotel Breslin. Architect William L. Rouse, 12 West 32d st, is busy completing working drawings. The building will be 16 stories, 50.10x93 ft., and cost half

a million dollars. Two old buildings on the site are being demolished. J. T. Lee, 141 Broadway, is president, and Chas. P. Fleischman, treasurer. The owners will take the bids.

Riverside Improvement.

RIVERSIDE DRIVE.—Geo. Fred Pelham, 503 5th av, is now preparing plans for another high-class elevator apartment house to cover a plot 75x140x irregular, on Riverside Drive, 86 ft. north of 127th st, to cost in the neighborhood of \$200,000. The structure will be six stories, containing seven families on a floor and one large electric elevator. The Silverston-London Construction Company, 2512 7th av, is the owner and builder, and will let all sub-contracts. Work will be started at once.

Contract for Bronx Church.

MARION AV.—During the last few days the general contract for the new edifice to be erected by the Church of Our Lady of Mercy, to be located on the premises on Marion av, near 189th st, the Bronx, at a cost of about \$90,000, was awarded to the Turnbull Construction Company, of 37 East 30th st. The construction will be of reinforced concrete, 84 x113 ft. in size, and two stories in height. Plans for this building were prepared by T. H. Pool & Co., of 13 West 30th st.

Broadway and 100th St. Improvement.

BROADWAY.—Ravitch Bros., No. 1 Madison av, have received the steel contract for the 12-story apartment house, 46.9 x170 ft., which the Allenel Construction Co., 135 Broadway, is about to erect at the southeast corner of Broadway and 100th st, to cost \$550,000. Wm. L. Rouse, 12 West 32d st, is the architect. Emanuel Heilner, 135 Broadway, is president; M. J. Wolf, vice-president, and B. Mordecai, treasurer. All other sub-contracts will soon be awarded.

Elevator Apartment for Broadway and 178th St.

BROADWAY.—Alexander Grant, Prospect av and 164th st, Bronx, has commissioned architect John P. Boyland, 396 Broadway, to prepare plans for a high class elevator apartment house, 103x92.6, and 100x145 ft, to be erected at the northwest corner of Broadway and 178th st, to cost about \$140,000. There will be apartments for thirty-eight families, including six stores.

High Apartment House for West End Avenue.

WEST END AV.—The Mandel Building Co. (with office in the Marbridge Building, Broadway and 34th st) will erect on the southwest corner of West End av and 98th st a 9½-story co-operative apartment house, with one complete apartment to each floor. On the top floor will be a duplex apartment, occupying 1½ floors. No architect has yet been selected to prepare the plans.

John F. De Baun to Build Haven Mansion.

79TH ST.—The general contract has just been awarded to John F. DeBaun, No. 1368 Broadway, for the entire construction of the new town residence for Mr. J. Woodward Haven, at No. 18 East 79th st, for which architect Ogden Codman, 571 5th av, has completed plans. The building will be of the highest type, containing five stories, and will cover a plot 30x100 feet.

Contract for West 17th St. Loft Bldg.

17TH ST.—The general contract for a new loft building to be erected at Nos. 121 to 125 West 17th st, for the Domestic Realty Co., of No. 6 West 22d st, of which Louis Sachs is president, was awarded a few days ago to Jacob A. Zimmermann, 1358 Broadway. Messrs. Ditmars & Brite, of 111 5th av, are the architects. The plans call for a building 8 stories in height, 60x90 ft.

Manufacturing Building for 5th St.

5TH ST.—Wm. M. Farrar, civil engineer, No. 156 5th av, has prepared plans for a 7-story light manufacturing building, 48x114 ft, for the Marmac Construction Company, 316 West 30th st, of which H. B. McLellan, is president, to be erected at the northeast corner of Lewis and 5th sts, to cost in the neighborhood of \$45,000.

Apartments, Flats and Tenements.

MANHATTAN.—Nos. 105-107 Clinton st, 6-story tenements, will be altered from plans by Sommerfeld & Steckler, 19 Union sq. H. Silberman, 83 Canal st, is the owner.

MANHATTAN.—John H. Duncan, 208 5th av, is preparing plans for interior changes to the 3-story tenement No. 303 Henry st, for the Henry Street Settlement, 265 Henry st.

MANHATTAN.—L. F. J. Weiher, 103 East 125th st, has prepared plans for alterations to the 12-story apartment house No. 135 Central Park West, owned by Boehm & Coon, 31 Nassau st.

MANHATTAN.—The City & Suburban Homes Company, 281 4th av, owners and architects, will erect a 6-story flat building, 106.3x88.4 ft., in the north side of 78th st, 541.9 ft. east of Av A, to cost \$100,000.

MANHATTAN.—Architect Samuel Sass, 23 Park Row, is planning for a 6-story flat building, 52x87x90 ft., for the Lincoln Holding Co., 444 East 14th st, to be erected at the southwest corner of Amsterdam av and 171st st, to cost \$120,000.

MANHATTAN.—Neville & Bagge, 217 West 125th st, are making plans for a 6-story flat building, 100x87 ft., for the Wille Construction Co., 1404 St. Nicholas av, to be erected at the southeast corner of St. Nicholas av and 180th st, to cost \$200,000.

MANHATTAN.—Neville & Bagge, 217 West 125th st, are preparing plans for a 6-story high-class apartment house, 95.1x115 ft., for Gross & Herbener, Inc., 45 West 95th st, to be erected at the southwest corner of Amsterdam av and 111th st, to cost \$200,000.

MANHATTAN.—Lasette & Murphy, 2255 Broadway, have received the steam heating contract for the two 6-story apartment houses for the Central Building Improvement & Investment Co., 149 Church st, at St. Nicholas Terrace and 130th st, to cost \$350,000.

MANHATTAN.—The Fluri Construction Co., Broadway and 180th st, will soon erect a 6-story apartment house, 100x127x134.5, at the northeast corner of Fort Washington av and 180th st, to cost in the neighborhood of \$210,000. Schwartz & Gross, 347 5th av, are preparing the plans.

MANHATTAN.—Sub-contracts will be awarded by the Silverston-London Construction Co., 2512 7th av, for the 6-story apartment house, 75x87.4 ft., to be erected in the north side of 113th st, 150 ft. west of Amsterdam av, to cost about \$100,000. Geo. Fred. Pelham, 503 5th av, has prepared plans.

MANHATTAN.—Messrs. Warm & Messer, 62 East 99th st, have obtained the

carpenter work, for the 12-sty elevator apartment house which the Akron Building Co., 198 Broadway, is erecting at Riverside Drive, southeast corner 113th st, at a cost of \$300,000. Schwartz & Gross, 347 5th av, are the architects.

MANHATTAN.—Plans are ready by James Riely Gordon, architect, 402 5th av, for alterations to be made by John Jacob Astor and William Waldorf Astor to the apartment building, No. 27 West 26th st, for Burton S. Castles, a well-known bachelor and brother of John W. Castles, president of the Guaranty Trust Company. The alterations will cost about \$5,000, and will consist of new plumbing, partitions, parquet flooring, electrical wiring, etc. The general contractors is the Tide-Water Building Company, of 27 West 26th st.

Banks.

MANHATTAN.—The first story exterior walls are now up to the second story tier of beams for the new 4-sty building which the Provident Loan Society is erecting at 4th av, the northwest corner of 25th st. The structure is to cost \$150,000. Chas. T. Wills, Inc., is the builder, and Renwick, Aspinwall & Tucker, the architects. Levering & Garrigues Co., 552 West 23d st, have the iron work, and B. A. & G. N. Williams, 68th st and Av A, the marble.

Churches.

ALBANY, N. Y.—The improvements which were to have been made to the Trinity Evangelical Church will not be started this year.

BROOKLYN.—Mitchell Bros., 1030 Lexington av, Manhattan, have received the plumbing contract for the new church to be erected at Cranberry, Hicks and Henry sts, Brooklyn, for the Church of the Assumption, of which the Rev. Dr. Donaldson is pastor. The building is to cost \$100,000. John H. Parker Co., 42 East 23d st, is general contractor.

Dwellings.

FLUSHING, L. I.—State st, n s, 525 w Parsons av, Flushing, R. B. Schaller, North Beach, will erect one 2-sty dwelling, 37x39 ft. to cost \$9,000.

MORRIS PARK, L. I.—H. T. Jeffried, Morris Park, will build in Hubert st, n s, 65 e Vine st, Morris Park, one 2-sty frame dwelling to cost \$4,000.

EAST ORANGE, N. J.—Eli Benedict, 1947 Broadway, Manhattan, is preparing plans for a 2-sty residence to be built in Park st, East Orange, for G. B. Warne.

WOODHAVEN, L. I.—Woodland av, e s, 300 n Ferris st, Woodhaven. M. H. Coffey, 909 Jefferson av, will erect one 2-sty brick dwelling, 20x52, costing \$7,000.

BOONTON, N. J.—Parfitt Bros., 26 Court st, Brooklyn, have completed plans for a 2-sty residence, 30x40 ft., at Boonton, N. J., for H. M. & C. A. Field, care architects.

CORONA, L. I.—Warren st, n w cor Forest av, Corona, Annie Daley, 209 National av, will be improved with three 2-sty frame dwellings, 20x45 ft, to cost \$10,500.

EVERGREEN, L. I.—August Rathjen, Cooper av, Evergreen, will build on Cooper av, s e cor Denton st, two 2-sty dwellings, 20x45 ft. to cost \$7,500. Wm. Case, architect.

BAYSIDE, L. I.—2d st, n w cor and Warburton av, Bayside, will be improved by H. Anderson, Bayside, from plans by Frank Haak, with one 2-sty dwelling to cost \$3,000.

WHITESTONE, L. I.—At Cryders Point Whitestone, J. D. Shepherd, Whitestone, will erect from plans by C. Ritterbusch, one 2-sty frame residence, 30x36 ft., to cost, \$11,000.

VAILSBURG, N. J.—Henry J. & John V. King, Newark, N. J., are preparing

plans for a 2½-sty frame dwelling to be erected on St. Paul av, Vailsburg, for the Vailsburg Realty Co.

BRIARWOOD, L. I.—Mrs. E. Cox, Van Wyck av, Jamaica, will soon erect on Baylord ave, opposite Lake st, Briarwood, from plans by Architect H. E. Obern, one 2-sty dwelling to cost \$3,500.

BAYSIDE, L. I.—The Lawrence Const. Co., 347 5th av, Manhattan, will build on Elmwood av, e s, 220 n Palace Boulevard, Bayside, from plans by W. A. Swasey, one 2-sty frame dwelling, 23x28 ft. to cost \$4,500.

COLLEGE POINT, L. I.—1st st, n w cor and Beach st, College Point, will be improved by W. A. Gaugert, 526 14th st, College Point, from plans by Francis J. Barldenach, with one 2-sty frame 42x51, to cost \$6,000.

SPRINGFIELD, L. I.—The Springfield Park Building Concrete Const. Co., 133 7th st, Manhattan, Henry Regelman, architect, will build on Farmers av, e s, 120 s Hawthorne st, Springfield, a 2-sty brick residence to cost \$5,000.

FAR ROCKAWAY, L. I.—No contracts have yet been awarded for the residence which James Caffrey of Far Rockaway will build on Greenwood av. Plans are by Morrell Smith of Far Rockaway. Brick and frame 2½-sty, 51x60 ft.

ROCKAWAY BEACH, L. I.—Architect Geo. Haug, 123 Liberty st, Manhattan, states that he is completing plans for five two-family dwellings to be erected at Hammels, Rockaway Beach, N. Y. Figures are now being received.

WOODHAVEN, L. I.—Architect Louis Danancher, Glenmore av, Brooklyn, has prepared plans for sixteen 2-sty brick dwellings to be erected in Emerald st, w s, 160 n Broadway, Woodhaven, for Gezel Brickman, 51 Williams av, Brooklyn. Estimated cost is about \$56,000.

LONG ISLAND CITY.—Thompson & Frohling, 114 East 28th st, Manhattan, have completed plans for two 2-sty brick dwellings, 25x44 ft, to be erected on Doncaster av Boulevard, n s, 100 e Tubur road, for Addie Thompson, Plandome, L. I. Estimated cost is \$12,000.

NEWARK, N. J.—Hyman Rosensohn, 747 Broad st, Newark, has plans ready for a row of three 3-sty frame dwellings to be erected at 397 to 403 Avon av, Newark, for Meyer Krasner. Each building will contain six apartments of six rooms each. The estimated cost is about \$24,000.

NEWARK, N. J.—Hyman Rosensohn, 747 Broad st, Newark, is receiving estimates on a 2½-sty frame dwelling to be erected at 6th and Dickerson sts, for Jacob Gausler. There will be steam heat and all improvements. The ground dimensions will be 22x58 ft. The estimated cost is \$6,000.

BRIDGEPORT, CONN.—Architects Melloy & Beckwith are completing plans for a residence to be erected at Black Rock harbor for W. S. Brandegee. The first story of the house will be of granite and the second story and roof will be shingled. All modern improvements will be provided with furnace heat.

LAWRENCE, L. I.—An operation of twenty dwellings will soon be started by the Equitable Engineering Co., 60 Wall st, at Lawrence, L. I., from plans by Clifford Smith, New Canaan, Conn. Two stories, 28x60 ft., to be built of brick and frame, with shingle roof, hardwood finish and floors, furnace heat, bath room and laundry fixtures and all modern improvements. Cost about \$150,000.

Factories and Warehouses.

BUFFALO, N. Y.—The Corn Products Mfg. Co., Buffalo, will spend \$36,000 in repairing the 5-sty brick warehouse at 212 Scott st.

SCHENECTADY, N. Y.—W. W. Dut-ton, of Schenectady, will erect a large

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factory building at the corner of State and Martin sts.

RENSSELAER, N. Y.—The Hudson River Aniline Works will build a brick addition to its factory in Rensselaer. No plans have yet been drawn, or contracts let.

NEWARK, N. J.—F. T. Fearey, Newark, has secured a permit to build a brick warehouse, 49.10x50 ft., at 263 and 265 Washington av. The architects are Kitchel & O'Rourke, 738 Broad st, Newark.

ELIZABETH, N. J.—The Richard D. Kimball Co., 437 5th av, Manhattan, has completed plans for rebuilding the 2-sty brick factory for Jenkins Bros., 71 John st, at Elizabeth, N. J. Estimated cost is \$30,000.

ALLINGTOWN, CONN.—The contract for the mason work on the new addition to the factory of the Narrow Fabric corporation in Allingtown, has been given to the George S. Chatfield Co., of Waterbury. The Tracy Bros.' Co., of Waterbury, is the general contractor; the Sperry & Sellers Co. is making the plans.

STUYVESANT FALLS, N. Y.—The Albany & Hudson River Railroad Company, with main office at 100 Broadway, New York City, and division office at Albany, N. Y., in charge of General Manager R. H. Smith, is planning extensive improvements at its power plant located at Stuyvesant Falls. The improvements consist of one 2,000-HP. steam turbine driven alternating generator, a 500-KW. motor generator set and the erection of a new boiler house. Work on installation of this equipment will be taken up late this fall or early in the spring of 1909.

Halls and Clubs.

RENSSELAER, N. Y.—The Rensselaer Y. M. C. A. is planning to erect a new building. Address the Secretary.

SPRINGFIELD, MASS.—Hoggson Brothers, 1 East 44th st, Manhattan, have obtained the general contract to erect the 3-sty brick Y. W. C. A. building 88x173 ft., for that society at Springfield. The cost is placed at about \$100,000.

BATAVIA, N. Y.—W. G. Pollard, Secy., Directors of Masonic Temple, states that bids will be received about Sept. 15 for the erection of the proposed temple, to cost about \$40,000. Architect, Robt. North, Prudential Building, Buffalo.

BROOKLYN.—The second architectural competition for the new Masonic

Mosque to be erected at the southwest corner of Nostrand av and Herkimer st, Brooklyn, will close on September 12. The following Manhattan architects will submit sketches: Electus D. Litchfield, 345 5th av; Pell & Corbett, 122 East 25th st; Frank Freeman, 132 Nassau st; R. Thomas Short, 3 West 29th st.

Hospitals and Asylums.

MANHATTAN.—Trowbridge & Livingston, 527 5th av, have plans ready for the 1-sty concrete and brick dispensary, 50x96 ft., which the New York Dispensary, Grand st, will erect at Nos 145-147 Worth st, to cost \$25,000. No contract has been let.

OXFORD, N. Y.—State Architect Franklin B. Ware, Capitol, Albany, has awarded the contract for a hospital building at Oxford, N. Y., for the Board of Managers of Women's Relief Corps Home, Mrs. Georgiana Griffith, Pres., to A. E. Stevens, of Albany.

NEW ROCHELLE, N. Y.—The Committee on Asylums was directed to secure bids for a structure to be erected on the grounds of the County Almshouse to be used as a dormitory for 200 inmates. Bids are to be received for a frame brick and concrete building, and the Board will decide which to put up when the bids are opened. The structure is to be 40x100 ft., cost not to exceed \$9,000.

WEEHAWKEN, N. J.—Architect Herrmann Horenburger, 422-424 East 159th st, Manhattan, states that plans and specifications are now complete for the erection of the new hospital building on Bull's Ferry Road, Weehawken, N. J., for the North Hudson Hospital Association, and will entertain proposals from general contractors and sub-contractors on all lines, all information to be obtained at this office. The appropriation is \$50,000.

PATERSON, N. J.—The contract for the construction of the new Paterson Orphan asylum has been filed. Steele & Hopper are the general contractors and agree to complete the building by Sept. 1, 1909. The cost will be \$50,750 for the entire work. All the sub-contracts have not been awarded yet, but it is known that the P. S. Van Kirk Co., will do the carpenter work. John K. Cooke will supply the iron work. Moshier & Kenna will probably receive the contract for painting and the B. & W. Concrete Co., will do the fireproofing.

Office and Loft Buildings.

MANHATTAN.—Townsend, Steinle & Haskell, Broadway, and 34th st, are ready for figures, for the 11-sty store and office building to be erected at Broadway, northwest corner 31st st, for W. R. H. Martin.

MANHATTAN.—James Bradley Contracting Co., North River and 68th st, will begin work at once on a concrete, granite and brick office building, 30x59.4 ft., in the north side of 65th st., 410.3 ft. west of West End av, to cost \$10,000. Radcliffe & Kelley, 3 West 29th st, are the architects.

WATERBURY, CONN.—Plans have been completed by Architect John B. Duhaime for the erection of an office building in Brook st, for Hotchkiss & Templeton. The plans provide for a brick building, 80x30 ft. The Tracy Bros. Co. and the George S. Chatfield Co. have been awarded the contracts.

NEW BRITAIN, CONN.—F. T. Nesbit & Co., 116 Nassau st, Manhattan, has sublet the steam heating contract to Baerenklau & Winters, 1013A Gates av, Brooklyn; Wm. P. Kirk & Co., Bridgeport, the plumbing, and Davis Brown, 306 East 40th st, plastering for the postoffice building, at New Britain, Conn.

MANHATTAN.—Wm. J. Taylor, 5 East 42d st, has awarded the carpenter con-

tract to Wm. G. Maher, 1133 Broadway, and plumbing to Reynolds & McMahon, 310 West 145th st, for the 10-sty brick and stone loft building, 42x85 ft. to be erected at 139 and 140 West 17th st, for the Washington Arch Realty Co., 135 Broadway, at a cost of \$110,000.

MANHATTAN.—Gillis & Geoghegan, 537 West Broadway, have obtained the contract for installing the heating system in the 6-sty studio, office and store building for the Astor estate, now in course of erection on the west side of 7th av, between 43d and 44th sts, from plans by Chas. A. Platt, 11-15 East 24th st. James McWalters, 2434 Broadway, is general contractor.

MANHATTAN.—Real work has not yet been started for the rebuilding of the Parker Building situated at 4th av, southeast corner 19th st, recently burned. The Calumet Construction Co., 15 East 59th st, was awarded general contract. Thomas W. Lamb, 224 5th av, is the architect and G. E. Wallace, 15 East 59th st, is the owner of the building. The improvement is to cost about \$350,000.

Public Works.

NEWARK, N. J.—The Board of Public Works has authorized bids to be received by the Ch. Engr. of the Board for paving with wood block a portion of Market st.

BATAVIA, N. Y.—The Aldermen's Advisory Committee has engaged Rudolph Hering and Albert Webster, of New York City, to assist in preparing plans for sewerage.

DUNKIRK, N. Y.—Prof. Ogden, of the State Board of Health, has recommended the construction of a trunk sewer to care for contributing sewers leading to the lake front.

ITHACA, N. Y.—Bids, including designs and plans, will be received by F. C. Stevens, State Supt. of Public Works at Albany, for 3 steel highway bridges over Cayuga Inlet in Ithaca.

HOPEWELL, N. J.—Bids will be received by E. V. Savage, Boro. Clk., until Sept. 10, for the construction of a reservoir and pipe line. Engineer, Chas. A. Hague, 52 Broadway, N. Y.

STAMFORD, CONN.—Bids will be received by Albert J. Hatch, Pres. Stamford Water Co., 125 Atlantic st, until Sept. 10, for constructing dam with other necessary works necessary for the enlargement of the reservoir.

ALBANY, N. Y.—Bids will be received until Sept. 8, by the State Comptroller at Albany for \$190,000 bonds issued by the State Water Supply Commission for improving Canaseraga Creek in Livingston County, N. Y.

MIDLAND PARK, N. J.—A charter has been granted to the Bergen Water Co., of Jersey City, with a capital of \$25,000, to operate water works in Midland Park, Bergen County. Incorporators: Frank Bergen, Wm. H. Corbin and Robt. M. Kellogg.

AMSTERDAM, N. Y.—Bids will be received until Sept. 15 for the construction of a 2-span steel bridge, about 465 ft. long, across Schoharie Creek between Florida and Glen. Specifications for substructures and contracts may be seen at the office of W. Barlow Dunlap, of Amsterdam.

BRIDGEPORT, CONN.—M. W. Manwaring, Pres. Congress St. Bridge Committee, states that bids will probably be called for the latter part of September for the construction of the proposed bridge over Pequonnock River at Congress st, to cost about \$250,000. The bridge will have Scherzer type of draw, double lift, of reinforced concrete, with 4 spans and approaches. Engineer, R. F. Stoddard, of Bridgeport.

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Schools and Colleges.

SCHENECTADY, N. Y.—Plans have been drawn for a new eight-room school building, to be erected in Mumford st, Schenectady.

WALLKILL, N. Y.—A proposition is on foot to erect a new school building in District No. 10, Rockville, in the town of Wallkill, where a new building is necessary, and it is proposed to change the site.

BROOKLYN.—C. B. J. Snyder, Supt. of School Buildings, Park av and 59th st, is preparing plans for a 5-sty elementary school building for Brooklyn, to be erected at Porter av and Harrison pl for the Board of Education. The estimated cost is \$300,000.

SHREWSBURY, N. J.—Architect W. T. Towner, 320 5th av, Manhattan, is making plans for a new school building to be erected at Shrewsbury, N. J., for the Board of Education. H. Edgar Smith, Chairman. Plans provide for brick, semi-fireproof building, two stories, 40x60.

NEW CANAAN, CONN.—Architect Ralph Shepard, 19 West 38th st, Manhattan, is now preparing plans for a brick school building to be erected by the town of New Canaan, Conn. It will have a seating capacity of about 440. The project will be advertised in the local papers some time during this month.

HUDSON, N. Y.—R. Richard & Son, Utica, N. Y., have just secured the contract for cottages 8 and 9 at the New York Training School for Girls, Hudson, New York, president Charles H. Strong. Plans were prepared by state architect Franklin B. Ware, Capitol Building, Albany, and provide for a 2½-sty building, 30x100.

NEW HAVEN, CONN.—Sealed proposals will be received by the Board of Education, 87 Orange st, until Sept. 14, for the erection of the proposed schoolhouse in Prince st, the plans for which are by Brown & Von Beren. Bids will be received for the entire building or separately. Proposals will also be received at the same time for the removal of five buildings now located on the site.

TRENTON, N. J.—Bids for the new school to be built at South Broad and Chambers sts, were received by the Hamilton Township Board of Education Monday. The present building will be torn down, and the new one, to cost \$22,625, erected in its place. The successful bidders were: Carpenter work, \$9,000, Edward Reiger; mason work, \$10,750, Burton & Burton, contractors; plumbing, \$2,975, J. A. Dowling. It is expected that the school will be completed by January 1, 1909.

Stables and Garage Buildings.

MANHATTAN.—Erwin Rossbach, 2010 Broadway, has plans ready for \$11,000 worth of changes to the 4-sty stable, Nos. 112-116 West 52d st, for Ruth A. Wallace, 778 11th av.

Bids Opened.

The Fire Department opened bids for additions and alterations to Engine Company No. 17 at 91 Ludlow st. The Madison Building Co., 1 Madison av, at \$14,817, was low bidder.

Bids were opened by John H. O'Brien, Comr. Water Supply, Gas and Electricity, for furnishing and delivering for Brooklyn Borough: (a) 1,800 tons water pipe, per ton; (b) 50 tons special castings, per ton; (c) total cost: M. T. Drummond & Co., 180 Broadway, (a) \$22.20, (b) \$48, (c) \$42,360; U. S. Cast Iron Pipe & Foundry Co., 71 Broadway, (a) \$22.90, (b) \$50, (c) \$43,720; Warren Foundry & Machine Co., 170 Broadway, (a) \$23, (b) \$46, (c) \$43,700; John Fox & Co., 253 Broadway, (a) \$22.75, (b) \$44.80, (c) \$43,190.

Contracts Awarded.

The Wm. Messer Co., 157-59 Suffolk st, has received the contract for plumbing work and tile work in the Metropolitan Museum of Art, in Central Park.

The contract for constructing a bridge to be erected by Allegheny County has been awarded to the American Bridge Company, 30 Church st, Manhattan, for \$269,371.

MANHATTAN.—H. Gormsen, 774 East 175th st, has the contract to erect a concrete and frame coal pocket, for the Master Dock Company, 170 Broadway, at Nos. 204 and 206 Av D, from plans by the Geo. Haiss Mfg. Co., 141st st and Rider av.

MANHATTAN.—The Power Engineering & Contracting Co., No. 1123 Broadway, has obtained from John F. De Baun, 1368 Broadway, general contractor, the contract for the electrical work for the maintenance of way shop at Mott Haven for the New York Central & Hudson River Railroad.

MANHATTAN.—Blake & Williams, 211 West 20th st, have received the contract for steam heating in the 5-sty Domestic Science Building, 152x57 ft., for the trustees of the Teachers' College, to be erected in 121st st, near Amsterdam av, to cost \$350,000. Parish & Schroeder, 12 West 31st st, are the architects.

The M. B. Foster Electric Co. was recently awarded the contract for the Biology and Geology Building at Princeton University. Parish & Schroeder are the architects. The work is to be installed in accordance with the plans by C. O. Maillioux and C. E. Knox, associated consulting engineers, and includes electric light and power wiring, intercommunicating telephone system and interconnection system. This company is also doing the electric work in the Morgan-Colt Memorial Building of the Wadsworth Antheneum at Hartford, Conn.

Estimates Receivable.

Bids will be received by the Commissioner of Correction, Tuesday, Sept. 8, for furnishing and delivering hardware, paints, iron, steam fittings, lumber and miscellaneous articles.

By the Board of Health, Tuesday, Sept. 8, for furnishing and delivering timber, lumber, moulding, etc., to the Tuberculosis Sanatorium at Otisville, Orange county, N. Y., during the year 1908.

By the Commissioner of Street Cleaning, Thursday, Sept. 10, contract for furnishing all the labor and material required to repair the three steam dumpers of the Department of Street Cleaning, known as "Aschenbroedel," "Cenerentola" and "Cinderella."

By the President of the Board of Trustees Bellevue and Allied Hospitals, Wednesday, Sept. 9, for the tearing down and removal, excavation, masonry, damp-proofing, repairing and replacing of machinery and all other work required to render sound and perfect the damp-proofing of elevator pits, and damaged elevator machinery at Fordham Hospital, Crotona av and the Southern Boulevard.

By the Park Board, Thursday, Sept. 10: No. 1—To grade Greenpoint Park, Borough of Brooklyn, together with all the work incidental thereto. No. 2—For constructing and laying hexagonal asphalt block walks from Bartow Station to the City Island Bridge, in Pelham Bay Park, and from the junction of Jerome av and Mosholu Parkway to the Van Cortlandt Station in Van Cortlandt Park.

By the President of the Borough of Brooklyn, Wednesday, Sept. 16: No. 1—For dredging Gowanus Canal, from Station No. 4 plus 50, to Station No. 32. No. 2—For constructing sewer in East 98th st, from East New York av to Hegeman av, with outlet sewers in East 98th st.

By the President of the Borough of Brooklyn, Wednesday, Sept. 9: No. 1—For constructing sewers in Scott av, from Newtown Creek, north of Metropolitan av, to St. Nicholas av, etc., section 2. No. 2—For regulating and repaving with asphalt pavement on a concrete foundation the roadway of Prospect pl, from Carlton av to Underhill av. Laying sidewalks on 78th st, from 2d av to 4th av, together with all work incidental thereto. Regulating and repaving with Medina sandstone pavement on a concrete foundation the roadway of 21st st, from 6th av to 7th av; 22d st, from 6th av to 7th av; Underhill av, from St. Marks av to Sterling pl, together with all work incidental thereto.

Brief and Personal.

J. H. Scheier, the builder, has moved his office to 314 Madison av, corner of 42d st, from 25 West 42d st.

Mr. H. E. Plumer, of the Turner Construction Co., 11 Broadway, returned this week from a business trip to Buffalo, Chicago and intermediate points.

S. B. Whinery, 95 Liberty st, has recently completed arrangements with the Wilson-Snyder Mfg. Company, Pittsburgh, Pa., to handle its steam pumps in this market.

The last monthly advance of 10 cents per ton to the price of domestic sizes of anthracite coal went into effect yesterday. This makes the Manhattan retail price for these sizes \$6.50 per ton.

The American Contracting Co. has opened an office at No. 219 Havemeyer st, Brooklyn, and will engage in the general construction and building business. Members of the firm are H. Levine, M. J. Harrison, R. Berman.

Mr. Henry F. Hornbostel is to deliver an address at the annual convention of the Architectural League of America, to be held at Detroit, Mich., this month. Mr. Hornbostel will speak on the education of draftsmen according to the Beaux-Arts system.

Broadway on Washington Heights has seen a fine building movement since the new pavement was laid. South of Trinity Cemetery vacant sites are few, and in a very few years the tight built rows of elevator apartments will extend to the American League grounds.

It was learned that a plan to rehabilitate Milliken Bros. (Inc.) is under way and will be probably carried out before Oct. 1. This plan, it was said, involves the alliance with steel interests outside of the United States Steel Corporation, which will bring a large amount of cash to the concern.

A new method of reproducing plans, sketches, maps, etc., is being introduced by the Associated Architects' Printing & Supply Company, No. 1 Madison av. The process resembles lithography in its results, and is more economical and rapid. It is a printing process, but instead of stone, cheap metal plates, especially prepared for the purpose, are used for the printing surface, from which an unlimited number of copies can be taken.

PROJECTED BUILDINGS

The first name is that of the ow'r; ar't stands for architect; m'n for mason, c'r for carpenter, and b'r for builder. When character of roof is not mentioned, it is to be understood that the roof is to be of tin.

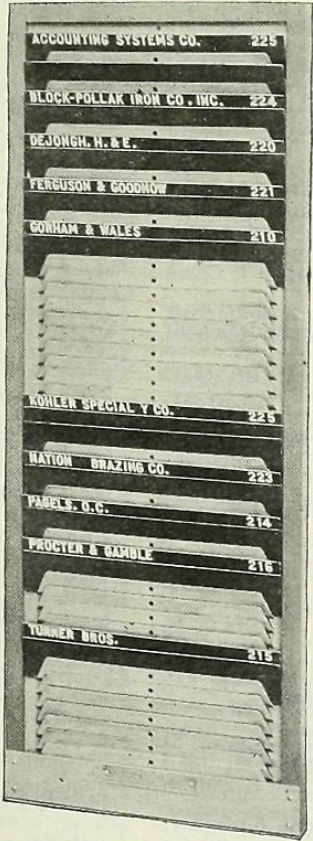
BOROUGH OF MANHATTAN. SOUTH OF 14TH STREET.

Worth st, Nos 145-147, 1-sty concrete and brk dispensary, 50x96, tar and gravel roof; cost, \$25,000; N Y Dispensary, Grand st; ar'ts, Trowbridge & Livingston, 527 5th av.—377. Ay D, Nos 204-206, concrete and frame coal pocket, 42x20; cost, \$2,975; Master Dock Co, 170 Broadway; ar't, Geo Haiss Mfg Co, 141st st and Rider av.—373.

According to the record of the building operations in Manhattan for August, the amount invested in new building was much less than was appropriated for the same purpose in August of last year, but the number of individual operations was larger. Sixteen apartment houses, nearly all of a superior type of construction and mostly for the Washington Heights section, were planned during the month, as compared with twenty-two apartment houses and flats projected in August, 1907. There was a gain last month over the previous year's showing in private dwelling and store buildings. The number of store buildings was twenty-six, as against eleven planned during the corresponding month of last year. The number of office buildings planned was six, the same number as in August last year, estimated to cost \$1,248,750, as compared with \$2,241,500. Number of dwellings, seven; places of amusement, four; public buildings, one. Other statistics for August will be found in the table regularly printed on another page.

A Building Directory Board That Is Sold Outright.

For the past year the Universal Register Co. has been manufacturing a directory board which is sold outright, and which is meeting with considerable approval, its success being best evinced by



THE UNIVERSAL DIRECTORY BOARD

the duplicate orders received. The Michigan Trust Co., of Grand Rapids, has equipped two of its buildings within the last few months (the Murray Building and the Michigan Trust Company Building) with this board.

The following are a few of the buildings where the Universal Directory has been placed in the past few months: American National Bank Building, Everett, Wash.; the Boston Building, Denver, Colo.; University Building, Detroit; Mentor Building, Chicago; Sidway Building, Buffalo; Lowndes Building, Atlanta; Universalist Building, Hartford; First National Bank Building, Grand Rapids; Mackay Building, San Antonio, Texas; Brooks Arcade Building, Salt Lake City; George Clark Office Building, San Francisco; Kamm Building, San Francisco; Curry Building, Pittsburgh; Philadelphia National Bank Building, Philadelphia; Oliver Central Power Building, Pittsburgh; Perrin Building, New Orleans; Standard Oil Building, Chicago; Citizens' National Bank Building, Los Angeles.

The manufacturers of this directory call special attention to the convention fixtures of the board, its construction and appearance. This system makes it possible for all changes to be in the office of the building. The card space is exposed by the simple opening of the door, the cards being placed from the front of the directory and dropping into the metal pocket, as shown in the illustration.

The Universal Register Company is located at 203 South Canal st, Chicago, with a branch office at 90 Centre st, New York, and will be pleased to forward full descriptive matter upon request to readers of Record and Guide.

Translucent Paper.

Mr. W. D. Harper, for many years a recognized expert on paper and its uses, conceived the idea of making a paper from which a blueprint could be made with about the same speed and clearness as one from tracing cloth.

Beginning where the foreign manufacturers had left off, Mr. Harper visited many mills in close study of the intricacies of this problem, and while some progress was made, yet no definite results were obtained until about 1906, when a manufacturer, a practical paper maker, with a small mill in Massachusetts, decided to try after others had failed.

The finished article resembles in many respects ordinary white drawing paper, of about the thickness of the detail now used, but peculiarly strong in texture and free from woodpulp, and, consequently, free from paper's greatest fault—premature decay.

"Inking in," as the architects say, will be an altogether unnecessary detail and an unpleasant memory after they have learned that from the translucent paper the hardest lead pencil or crayon is reproduced as readily as a heavily inked line.

"How does it take water colors?" "Try it and see." In the many experiments made before the Translucent was placed on the market, one can well appreciate that this test was not omitted.

Mr. Sloan is president of the Associated Architects' Printing & Supply Co., 1 Madison av, New York, the corporation having the sole agency for this paper.

BETWEEN 14TH AND 59TH STREETS.

57th st, No 148 East, 4-sty brk and stone light manufacturing building, 18x91.5; cost, \$15,000; Adlers Monument & Granite Works, 148 E 57th st; ar'ts, Gross & Kleinberger, Bible House.—380.

BETWEEN 59TH AND 125TH STREETS, WEST OF 8TH AVENUE.

68th st, n s, 410.3 w West End av, 1-sty and basement concrete and brk office, 30x59.4, copper roof; cost, \$10,000; Bradley Contracting Co, 68th st and North River; ar'ts, Radcliffe & Kelley, 3 W 29th st.—372. 113th st, n s, 150 w Amsterdam av, 6-sty and cellar brk and stone apartment house, 95x87.4; cost, \$100,000; Silversen-London Const Co, 2512 7th av; ar't, Geo Fred Pelham, 503 5th av.—375. Broadway, s e cor 100th st, 12-sty brk and stone apartment house, 46.9x170, plastic slate roof; cost, \$550,000; Allenel Const Co, 135 Broadway; ar't, Wm L Rouse, 12 W 32d st.—378. Broadway, No 1182, 16-sty brk and stone store and office building, 50.10x93, slag roof; cost, \$500,000; Century Holding Co, 141 Broadway; ar't, Wm L Rouse, 12 W 32d st.—379.

Broadway, s w cor 97th st, six 1-sty concrete and frame office buildings, 20x40, and 20x43; total cost, \$3,000; Rapid Transit Subway Const Co, 21 Park row; ar't and engineer, Geo H Pegram, 21 Park row.—371.

BETWEEN 59TH AND 125TH STREETS, EAST OF 5TH AVENUE.

87th st, No 410 East, — sty brk and stone boiler house, 15x24; cost, \$2,500; St Josephs Church, 421 E 86th st; ar't, John H Friend, 148 Alexander av.—374.

NORTH OF 125TH STREET.

Wadsworth av, s e cor 184th st, two 5-sty brk and stone tenements, 49.6x90x88; total cost, \$110,000; M J Dowd, 217 W 125th st; ar't, John P Boyland, 396 Broadway.—376.

BOROUGH OF THE BRONX.

Park View pl, s s, 218 e Tee Taw av, two 2½-sty frame dwellings, peak shingle roofs, 19x40 each; total cost, \$10,000; Fordham Realty Co, 2585 Sedgwick av; ar't, A Ericson, 2585 Sedgwick av.—658.

Irvine st, e s, 257.4 s Garrison av, two 2-sty brk dwellings, 20x55 each; total cost, \$16,000; Irvine Realty Co, John Randall, 859 E 156th st; ar'ts, Daube & Kreymsborg, 830 Westchester av.—662.

Poplar st, s s, 100 e Roselle st, 2-sty frame dwelling, 21x50; cost, \$3,600; M J Regina Dillon, Zuletta av; ar't, B Ebeling, 1136 Walker av.—655.

Timpson pl, w s, 283 s 149th st, three 4-sty brk tenements, 32 and 36x63.6 and 73; total cost, \$38,000; Wm F Kenny, on premises; ar't, Chas Schaefer, Jr, 461 Tremont av.—656.

Taylor st, e s, 425 s Van Nest av, 2-sty frame dwelling, 21x45; cost, \$5,000; Jos Gamache, 12 Van Buren st; ar't, H Nordheim, 1993 Boston road.—649.

181st st, s s, 41 w Clinton av, four 3-sty frame dwellings, 20x55 each; total cost, \$22,000; Amalia Pirk, 114 E 198th st; ar't, J J Vreeland, 2019 Jerome av.—652.

181st st, s s, 91 e Park av, 2-sty brk factory, 50x65; cost, \$10,000; Samuel Weiss, Tremont and Webster avs; ar'ts, Schaefer & Jaeger, 461 Tremont av.—647.

215th st, n s, 175 w Paulding av, 1-sty frame stable, 12x10; cost, \$700; M Cantone, 568 E 215th st; ar't, Chas Camella, 60 Graham av, Brooklyn.—657.

236th st, s s, 50 e Oneida av, 2-sty frame dwelling, 21x55; cost, \$6,000; Cushing Realty Co, 132 Nassau st; ar't, J J Vreeland, 2019 Jerome av.—646.

Av C, s e cor Ellis av, 2-sty brk engine house, 25x80; cost, \$20,000; City of New York; ar'ts, Lord & Hewlett, 345 5th av.—650.

Andrews av, w s, 150 n 183d st, 2½-sty brk dwelling, peak slate roof, 27x42.9; cost, \$8,000; Alex Walker, 414 Riverside Drive; ar't, Geo F Pelham, 503 5th av.—659.

Anthony av, e s, 75 s Prospect pl, two 2-sty frame dwellings, 21x56 each; total cost, \$12,000; Louisa Diener, Lebanon st; ar't, B Ebeling, 1136 Walker av.—661.

Baisley av, n e cor Valentine av, 2-sty brk dwelling, 20x36.8; cost, \$4,000; Mary Ann Reynolds, 5 E 28th st; ar't, B Ebeling, 1136 Walker av.—653.

Eastern Boulevard, n s, 105 e Castle Hill av, 2-sty frame dwelling, 21x53; cost, \$5,000; Edw Bentz, Butler and Green avs; ar't, Chris F Lohse, 627 Eagle av.—648.

Ellison av, w s, 325 s Latting st, 2-sty brk dwelling, 20x52; cost, \$6,000; Geo Joseph, Main st; ar't, Otto C Krauss, 2318 Newbold av.—645.

Fulton av, n w cor 174th st, 5-sty brk tenement, 55x90.10; cost, \$50,000; Fulton Const Co, Lawrence Davies, 149th st and 3d av, Pres; ar't, J H Lavelle, 1057 E 176th st.—651.

Havemeyer av, e s, 33 s Gleason av, 2-sty frame stove and dwelling, 25x56; cost, \$6,000; Frank R Cox, Havemeyer av; ar't, B Ebeling, 1136 Walker av.—654.

Olinville av, w s, 50 n Juliana st, two 2-sty frame dwellings, 21x52 each; total cost, \$7,000; James Paldo, 1228 Hoe av; ar't, Wm A Geisen, 1133 Bryant av.—660.

ALTERATIONS.

BOROUGH OF MANHATTAN.

Allen st, No 36, air shafts, piers, partitions, toilets, to 5-sty brk and stone tenement; cost, \$2,500; I Bokschtzky, on premises; ar't, O Reissmann, 30 1st st.—1790.

Broad st, n e cor Beaver st, vent shaft, plumbing, show windows, to 4-sty brk and stone store and loft building; cost, \$15,000; John Brandner, 59 Broad st; ar'ts, Bernstein & Bernstein, 24 E 23d st.—1784.

Clinton st, No 101, walls, beams, to 5-sty brk and stone tenement; cost, \$800; L J Freimon, 69 E 123d st; ar't, O Reissmann, 30 1st st.—1791.

Delancey st, No 122, show windows, gas, electric wiring, to 5-sty brk and stone store and tenement; cost, \$3,000; Bernhard Mayer, 5-7 Beekman st; ar't, Chas B Meyers, 1 Union Sq.—1786.

Delancey st, No 176, alter stoops, to 4-sty brk and stone tenement; cost, \$800; G Hauser, 160 Washington av, Rockaway Park; ar't, O Reissmann, 30 1st st.—1769.

Essex st, No 133, alter floor, to 4-sty brk and stone loft and hall building; cost, \$200; Felix Touse, 499 Broadway; ar't, Irving Markowitz, 32 Union sq.—1775.

Grand st, No 364, toilets, partitions, to 4-sty brk and stone dwellings; cost, \$150; Sidney S Conger, 401 Grand st; ar't, Max Muller, 115 Nassau st.—1774.

Grand st, No 401, show windows, to 5-sty brk and stone tenement; cost, \$350; Geo G Hallock Jr Sons, 401 Grand st; ar't, Max Muller, 115 Nassau st.—1804.

Lewis st, No 11, cut windows, to 6-sty brk and stone factory; cost, \$800; Roenber & Otten, 150 Lenox av; ar't, O Reissman, 30 1st st.—1770.

Monroe st, No 244, show windows, to 5-sty brk and stone tenement; cost, \$5,000; A Zwerdling, 244 Monroe st; ar't, M Zipkes, 353 5th av.—1776.

Mott st, No 221, piers, steel beams, to 5-sty brk and stone store and tenement; cost, \$650; Edward J Deegan, 145 St Nicholas av; ar't, H Horenburger, 122 Bowery.—1802.

Perry st, No 93, toilets, partitions, windows, to 4-sty brk and stone tenement; cost, \$800; M Bayard Brown, care J A Murray, 49 Wall st; ar't, Albert L Adams, 217 5th st.—1773.

Thompson st, No 166, 3-sty brk and stone rear extension, 18x34, partitions, rebuild walls, to 2-sty and attic brk and stone store and tenement; cost, \$2,500; Charles Reichart, 104 West Houston st; ar't, Chas M Straub, 147 4th av.—1792.

University pl, No 123, cut openings, doors, to two 4 and 5-sty brk 13th st, Nos 39-41 E — and stone store and loft buildings; cost, \$600; J A Hadden Jr, 16 E 61st st, A M Hadden, 16 E 61st st, W S Bridge, 69 Wall st; ar'ts, Westervelt & Austin, 36 W 34th st.—1788.

Washington st, Nos 723-725, toilets, partitions, windows, to 5-sty brk and stone tenement and shop; cost, \$1,500; Thomas J Clark, 32 W 105th st; ar't, Wm Kurtzer, Spring st and Bowery.—1771.

7th st, No 17, partitions, windows, tank, to 5-sty brk and stone tenement; cost, \$2,000; A Goetz, 1754 Topping av; ar't, O Reissmann, 30 1st st.—1787.

21st st, No 231 West, add 1 sty, windows, to 4-sty brk and stone residence; cost, \$3,000; Dr Alexander Trautman, 231 W 21st st; ar't, B Hustace Simonson, 234 5th av.—1803.

33d st, No 322 East, alter partitions, to 4-sty brk and stone tenement; cost, \$1,500; Frederick Vogel, 320 E 33d st; ar't, Thos W Lamb, 224 5th av.—1781.

35th st, No 260 West, partitions, windows, doors, to 3-sty brk and stone store and dwelling; cost, \$250; J W Dimick, 140 5th av; ar't, Frederick C Zobel, 114 E 28th st.—1795.

47th st, No 109 West, 2 and 4-sty front and rear extension, 20x42.6 and 32.6, partitions, to 4-sty brk and stone store and office building; cost, \$2,500; J Walter Rosenberg, 902 Walnut st, Philadelphia, Pa; ar't, John W Ingle, 109 W 42d st.—1783.

49th st, n s, 475 w 8th av, alter tanks, to — sty brk car house and garage; cost, \$1,000; Receivers Metropolitan St R R Co, 621 Broadway; ar't, A V Porter, 621 Broadway.—1767.

52d st, Nos 112-116 West, 1-sty brk and stone rear extension, 18x4.10, elevator shaft, stairs, partitions to 4-sty brk and stone stable; cost, \$11,000; Ruth A Wallace, 778 11th av; ar't, E Rossbach, 2010 Broadway.—1777.

52d st, No 71 East, add 1 sty to 3-sty brk and stone residence; cost, \$10,000; H B Baruch, 71 E 52d st; ar't, J H Freedlander, 244 5th av.—1806.

70th st, No 300 E, toilets, windows, store fronts, to 5-sty brk and stone store and tenement; cost, \$5,500; John E Daly, 300 E 70th st; ar't, Fred Ebeling, 420 E 9th st.—1800.

81st st, No 212 East, toilets, shaft, to 5-sty brk and stone tenement; cost, \$2,000; C Franklin, 319 E 42d st; ar't, G Haug, 123 Liberty st.—1805.

106th st, No 227 East, new chimney, partitions, to 5-sty brk and stone tenement; cost, \$2,000; S Stein, 347 E 72d st; ar't, Reissmann, 30 1st st.—1797.

114th st, No 81 East, partitions, fire escapes, to 5-sty brk and stone tenement; cost, \$1,000; George Seiferth, 313 E 123d st; ar't, Chas M Straub, 147 4th av.—1798.

116th st, Nos 60-62 West, 1-sty brk and stone rear extension, balcony, to 2-sty brk and stone theatre; cost, \$15,000; Imperial Theatre Co, 5 Beekman st; ar'ts, Shampian & Shampian, 772 Broadway, Brooklyn.—1796.

Av A, No 1389, partitions, air shaft, piers, to 5-sty brk and stone tenement and store; cost, \$1,500; Matilda Protzman, 514 E 162d st; ar't, John H O'Rourke, 137 E 47th st.—1801.

Amsterdam av, No 807, stairs, to 5-sty brk and stone tenement; cost, \$500; George Ash, 807 Amsterdam av; ar'ts, Young & Groenber, 67 W 36th st.—1793.

Broadway, Nos 514-516, erect tank to 6-sty brk and stone store and loft building; cost, \$2,400; Livingston estate, 317 Broadway; ar't and b'r, The Rusling Co, 39 Cortlandt st.—1768.

Columbus av, s e cor 73d st, store fronts, columns, to 6-sty brk and stone tenement; cost, \$500; Louis T Romaine, 290 West End av; ar't, John H Knubel, 318 W 42d st.—1794.

Lexington av, No 389, store fronts, toilets, to 3-sty brk and stone hotel; cost, \$1,000; John Goelet, 103 E 42d st; ar't, Louis Folk, 2785 3d av.—1780.

Madison av, n e cor 52d st, staircase, alter walls, to 2-sty and attic brk and stone dwelling and storage; cost, \$2,000; Geo W Vanderbilt, 52 Broadway; ar't, Frank Goodwillie, 1170 Broadway.—1782.

West Broadway, No 515, erect sign to 3-sty brk and stone store; cost, \$150; John Burgraf, 138 Bleecker st.—1779.

1st av, No 24, 3-sty and basement brk and stone rear extension, 22.10x53.11, partitions, stairs, toilets, to 3-sty and basement brk and stone dwelling and bath; cost, \$10,000; Morris Gordon, 129 E Broadway; ar't, Samuel Sass, 23 Park row.—1789.

1st av, No 2095, 1-sty brk and stone rear extension, 15.4x14.6, steel girders, alter doors, to 2-sty brk and stone dwelling and shop; cost, \$500; Mesone & Sartaglione, 2095 1st av; ar'ts, Moore & Landsiedel, 3d av and 148th st.—1785.

3d av, No 1538, show windows, to 3-sty brk and stone store and loft building; cost, \$700; I Blyn & Sons, 1540 3d av; ar't, Louis A Sheinart, 1496 Bryant av.—1772.

5th av, s w cor 114th st, 1-sty and basement brk and stone rear extension, 25.6x4, partitions, stairs, store fronts, to 5-sty brk and stone store and apartments; cost, \$1,000; Thos McManus & Son, Inc, 454 E 2d st; ar'ts, Ross & McNeil, 39 E 42d st.—1778.

5th av, s w cor 34th st, build sun parlor, alter walls to 16-sty brk and stone hotel; cost, \$20,000; Waldorf Astoria Hotel Co, Waldorf Astoria; ar'ts, F M Andrews & Co, Waldorf Astoria.—1799.

BOROUGH OF THE BRONX.

163d st, s s, 50 w Melrose av, move 2-sty frame dwelling; cost, \$800; Alois Turek, on premises; ar't, Chas S Clark, 445 Tremont av.—463.

180th st, n s, 48.6 e Bryant st, 2-sty frame extension, 29.11x26.11, and raise to grade, 2-sty frame dwelling, stores and office; cost, \$1,800; John A Steinmetz, 1087 Tremont av; ar't, H G Steinmetz, Bronx st and Tremont av.—462.

Lincoln av, No 166, new store front, new beams, to 2-sty frame store and dwelling; cost, \$200; C W Montgomery, 164 Lincoln av; ar't, C A Murphy, 371 E 144th st.—458.

Prospect av, No 575, two 1-sty frame extensions, 25x1.3 and 25x5.47½, to 3-sty frame store and dwellings; cost, \$5,000; Bertha Katcher, 685 Dawson st; ar'ts, Goldner & Goldberg, Westchester and Jackson avs.—464.

Webster av, No 1922, 1-sty frame extension, 8.10x82, to 2-sty frame hotel; cost, \$1,000; Adolph Freund, on premises; ar't, J J Vreeland, 2019 Jerome av.—457.

White Plains road, n w cor Van Nest av, move 2-sty frame dwelling; cost, \$1,800; Simmon Willax, on premises; ar't, Henry Nordheim, 1993 Boston road.—459.

White Plains av, w s, 150 s Morris Park av, move 2-sty frame dwelling; cost, \$1,000; Minnie Bonagur, 789 Home st; ar't, V Bonagur, 789 Home st.—461.

Willis av, No 143, new partitions, to 5-sty brk store and tenement; cost, \$300; Emanuel Glauber, 120 W 121st st; ar'ts, Goldner & Goldberg, Jackson and Westchester avs.—460.

REAL ESTATE

REAL ESTATE AND BUILDING STATISTICS.

The following are the comparative tables of Manhattan, The Bronx and Brooklyn of the Conveyances, Mortgages and Projected Buildings for the corresponding weeks 1907 and 1908.

MANHATTAN AND THE BRONX.

CONVEYANCES.		1908.	1907.
Aug. 28-Sept. 3, inc.			Aug. 30-Sept. 5, inc.
Total No. for Manhattan.....	180	Total No. for Manhattan.....	172
No. with consideration.....	16	No. with consideration.....	12
Amount involved.....	\$1,384,450	Amount involved.....	\$953,638
Number nominal.....	164	Number nominal.....	160
Total No. Manhattan, Jan. 1 to date.....		6,641	9,390
No. with consideration, Manhattan, Jan. 1 to date.....		465	635
Total Amt. Manhattan, Jan. 1 to date.....		\$26,415,882	\$35,487,611
Aug. 28-Sept. 3, inc.			Aug. 30-Sept. 5, inc.
Total No. for The Bronx.....	134	Total No. for The Bronx.....	136
No. with consideration.....	21	No. with consideration.....	5
Amount involved.....	\$128,806	Amount involved.....	\$327,450
Number nominal.....	113	Number nominal.....	131
Total No., The Bronx, Jan. 1 to date.....		5,331	6,694
Total Amt., The Bronx, Jan. 1 to date.....		\$3,886,176	\$6,107,383
Total No. Manhattan and The Bronx, Jan. 1 to date.....		11,972	16,084
Total Amt. Manhattan and The Bronx, Jan. 1 to date.....		\$30,302,058	\$41,594,994
Total No. for Manhattan, for Aug.....		576	736
Total Amt. for Manhattan for Aug.....		\$3,349,875	\$4,507,775
Total No. Nominal.....		534	692
Total No. for The Bronx, for Aug.....		467	611
Total Amt. for The Bronx, for Aug.....		\$258,910	\$661,597
Total No. Nominal.....		428	562
Assessed Value Manhattan.			
Aug. 28-Sept. 3, inc.			Aug. 30-Sept. 5, inc.
Total No., with consideration.....	16	Total No., with consideration.....	12
Amount involved.....	\$3,384,450	Amount involved.....	\$953,638
Assessed value.....	\$2,642,500	Assessed value.....	\$638,000
Total No., Nominal.....	164	Total No., Nominal.....	160
Assessed value.....	\$3,945,000	Assessed value.....	\$11,049,500
Total No. with consid., from Jan. 1 to date.....		465	635
Amount involved.....		\$26,415,882	\$35,487,611
Assessed value.....		\$20,717,100	\$23,585,600
Total No. Nominal.....		5,176	8,755
Assessed value.....		\$316,099,400	\$261,682,000

MORTGAGES.

1908.		1907.	
Aug. 28-Sept. 3, inc.		Aug. 30-Sept. 5, inc.	
Manhattan.	Bronx.	Manhattan.	Bronx.
Total number.....	139	111	134
Amount involved.....	\$7,444,073	\$580,592	\$2,414,140
No. at 6%.....	57	50	77
Amount involved.....	\$3,766,423	\$221,942	\$977,490
No. at 5½%.....	.....	.....	.....
Amount involved.....	.....	.....	.....
No. at 5%.....	21	28	3
Amount involved.....	\$537,500	\$234,950	\$46,000
No. at 5¼%.....	.....	.....	.....
Amount involved.....	.....	.....	.....
No. at 5%.....	36	12	34
Amount involved.....	\$950,500	\$48,200	\$1,046,500
No. at 4½%.....	2	.....	1
Amount involved.....	\$29,000	.....	\$10,000
No. at 4%.....	.....	.....	.....
Amount involved.....	.....	.....	.....
No. at 4%.....	.....	.....	.....
Amount involved.....	.....	.....	.....
No. at 3%.....	.....	.....	.....
Amount involved.....	.....	.....	.....
No. at 2%.....	.....	.....	.....
Amount involved.....	.....	.....	.....
No. without interest.....	23	21	19
Amount involved.....	\$2,160,650	\$75,500	\$334,150
No. above to Bank, Trust and Insurance Companies.....	38	13	21
Amount involved.....	\$4,651,151	\$147,700	\$875,000
Total No., Manhattan, Jan. 1 to date.....		5,945	10,129
Total Amt., Manhattan, Jan. 1 to date.....		\$202,493,575	\$251,358,980
Total No., The Bronx, Jan. 1 to date.....		4,889	6,088
Total Amt., The Bronx, Jan. 1 to date.....		\$25,856,624	\$59,149,684
Total No., Manhattan and The Bronx, Jan. 1 to date.....		10,834	16,217
Total Amt. Manhattan and The Bronx, Jan. 1 to date.....		\$228,350,199	\$310,508,664
Total No. for Manhattan for Aug.....		489	736
Total Amt. for Manhattan for Aug.....		\$10,230,336	\$16,643,825
Total No. for The Bronx, for Aug.....		462	479
Total Amt. for The Bronx, for Aug.....		\$3,369,466	\$2,917,543

PROJECTED BUILDINGS.

1908.		1907.	
Aug. 29-Sept. 4, inc.		Aug. 31-Sept. 6, inc.	
Manhattan.....	The Bronx.....	Manhattan.....	The Bronx.....
Total No. New Buildings:	10	Total No. New Buildings:	2
Manhattan.....	27	Manhattan.....	23
The Bronx.....	.....	The Bronx.....	.....
Grand total.....	37	Grand total.....	25
Total Amt. New Buildings:		Total Amt. New Buildings:	
Manhattan.....	\$1,318,475	Manhattan.....	\$525,000
The Bronx.....	229,300	The Bronx.....	156,550
Grand total.....	\$1,547,775	Grand total.....	\$681,550

Total Amt. Alterations:

Manhattan.....	\$131,650	\$190,575
The Bronx.....	11,900	11,700
Grand total.....	\$143,550	\$202,275
Total No. of New Buildings:		
Manhattan, Jan. 1 to date.....	428	774
The Bronx, Jan. 1 to date.....	1,114	1,497
Manhattan-Bronx, Jan. 1 to date	1,542	2,271
Total Amt. New Buildings:		
Manhattan, Jan. 1 to date.....	\$55,189,321	\$60,925,760
The Bronx, Jan. 1 to date.....	10,160,875	15,453,800
Manhattan-Bronx, Jan. 1 to date	\$65,350,196	\$76,379,560
Total Amt. Alterations:		
Manhattan-Bronx, Jan. 1 to date	\$8,943,651	\$14,278,838
Total No. New Bldgs., Man-		
hattan, for Aug.....	80	67
Total Amt. New Bldgs., Man-		
hattan, for Aug.....	\$4,042,200	\$6,956,800
Total No. New Bldgs., The		
Bronx, for Aug.....	165	179
Total Amt. New Bldgs., The		
Bronx, for Aug.....	\$1,507,450	\$1,511,500

BROOKLYN.

CONVEYANCES.

1908.		1907.	
Aug. 27-Sept. 2, inc.		Aug. 29-Sept. 4, inc.	
Total number.....	489	Total number.....	508
No. with consideration.....	27	No. with consideration.....	33
Amount involved.....	\$207,875	Amount involved.....	\$236,150
Number nominal.....	462	Number nominal.....	475
Total number of conveyances, Jan. 1 to date.....		18,137	24,062
Total amount of conveyances, Jan. 1 to date.....		\$13,369,610	\$15,196,389
Total No. of Conveyances for Aug.....		1,887	2,466
Total Amt. of Conveyances for Aug.....		\$699,937	\$1,707,470
Total No. of Nominal Conveyances for Aug.....		1,803	2,350

MORTGAGES.

Total number.....	407	566
Amount involved.....	\$1,214,024	\$2,072,107
No. at 6%.....	255	304
Amount involved.....	\$555,874	\$765,187
No. at 5½%.....	.....	.....
Amount involved.....	.....	.....
No. at 5%.....	109	207
Amount involved.....	\$510,650	\$1,030,670
No. at 5¼%.....	.....	.....
Amount involved.....	.....	.....
No. at 5%.....	29	44
Amount involved.....	\$103,550	\$243,400
No. at 4½%.....	1	.....
Amount involved.....	\$2,500	.....
No. at 4¼%.....	.....	.....
Amount involved.....	.....	.....
No. at 4%.....	.....	2
Amount involved.....	.....	\$4,650
No. at 3%.....	.....	.....
Amount involved.....	.....	.....
No. without interest.....	13	9
Amount involved.....	\$41,450	\$28,200
Total number of Mortgages,		
Jan. 1 to date.....	17,562	24,740
Total amount of Mortgages,		
Jan. 1 to date.....	\$60,866,180	\$108,630,682
Total No. of Mortgages for		
Aug.....	1,520	2,705
Total Amt. of Mortgages for		
Aug.....	\$5,825,709	\$11,166,883

PROJECTED BUILDINGS.

No. of New Buildings.....	206	76
Estimated cost.....	\$1,289,500	\$709,100
Total Amount of Alterations.....	\$79,588	\$50,679
Total No. of New Buildings, Jan. 1 to date.....	3,417	6,586
Total Amt. of New Buildings, Jan. 1 to date.....	\$21,073,513	\$50,321,628
Total Amount of Alterations, Jan. 1 to date.....	\$3,994,825	\$4,733,985
Total No. of New Bldgs. for Aug.....	538	541
Total Amt. of New Bldgs. for Aug.....	\$4,447,780	\$4,831,849

THE WEEK.

THIS is the time of year when the brokers are devoting great attention to the renting department of their business. This is especially true of the smaller broker, who has not a well organized renting department. As a natural consequence the sales department suffers, more through lack of serious application than from any other one cause. Of course the larger houses, which have men devoting their entire attention to housing their customers, do not suffer from this extra pressure of business and are well equipped to handle all branches of the profession as the occasion demands. During the course of the next two or three weeks the success or failure of the market for the coming winter will be pretty well determined. The

basis of the market from the investment standpoint hinges on the rental returns. A house that is well tenanted naturally commands a higher figure than one with many vacancies, so brokers in general appreciating this point are anxious to fill their houses at the earliest possible moment. Another reason for wishing a well rented building is that the commissions derived by the brokers from the collection of rents are larger, and in the event of the house being placed on the market for sale, the one in charge of the premises always has a decided advantage over his competitors, whether he actually affects the sale or not.

There are two sections that interest is being centered in: (1) Washington Heights and (2) Central Park West and adjacent streets. The two parts of town represent different types of houses, the first being occupied by the family who can only afford to pay a moderate rental, while the latter district is much higher priced, and consequently more is demanded by the lessor. On the heights great stress is laid on the fact that the lay of the ground is high, that the view of the river is unsurpassed, that it is particularly healthful and that the houses are for the most part new, and consequently exceedingly desirable to live in. The subway has brought this part of town within easy reach of the business section, and when the improvements at Broadway and 96th st are finished, it is claimed that from ten to fifteen minutes will be saved. Those advocates of Central Park West point out among other things the beautiful outlook over the park, that it is possible to reach the shopping and theatre district in ten minutes or so, besides living in a building modern in every particular. These two districts do not conflict, nor are they rivals in a sense, as there is such a difference in the rental values, but nevertheless they clearly indicate the tendency of the market. Were these two zones poorly tenanted, it would be quickly seen that vacancies all over the city existed.

Business from a sales standpoint is fairly well distributed, considering the volume of deals put through. West Side dwellings are in demand at the present time, as well as good paying apartment houses for investment purposes. The district around Columbia University has for some time past been active, and just now the movement is extending somewhat to the north, taking in the property around Grant's tomb and Riverside Drive. A large number of leases were reported, and brokers state that the demand to rent dwellings is exceedingly good. Some fear was expressed a few months ago as to the probable outcome of the fall renting season, but the results up to the present time, as far as dwellings are concerned, are entirely satisfactory. There are a large number of the more expensive apartments that are vacant, and the consensus of opinion is that some concessions will have to be made, unless owners are willing to have vacancies. Money is decidedly easier, and money brokers report that good applications are hard to get. Rather different from this time last year.

THE AUCTION MARKET

THE auction market, taken as a whole, has shown but little improvement, and though there is somewhat of an increase in the number of people visiting the salesroom daily, still as a general thing they are chary about bidding. It is fully appreciated that the properties are going for less than their full worth, but the regular attendants at auction sales want quick action, and do not purchase, unless they see a reasonable chance of disposing of the property within a short time. The situation as a whole is gradually righting itself, and all that is required is patience. Matters cannot be forced or else the day of reckoning will come speedily, and with disastrous results.

At the stand of Joseph P. Day, the sale of the four 5-story stone front dwellings Nos. 206, 208, 210 and 212 West 46th st attracted considerable attention. This property was advertised several times for sale, but a postponement was granted each time until last Monday, when it was knocked down to Harry L. Haas, a lawyer of 42 Broadway, for \$191,300. The amount due on the various actions aggregated approximately \$65,000, so the plot brought about \$126,300 more than the amount of the judgments. After Mr. Haas bid the highest amount for the plot as a whole, the property was put up again separately, the plaintiffs bidding \$39,530 for No. 206, \$39,500 for No. 208, \$40,210 for No. 210 and \$40,000 for No. 212. As the sum total of these amounts was \$31,860 less than the high bid for the property as a whole, the property was sold to Mr. Haas, who represented the 46th st and Broadway Realty Co., the owners of the Gaiety Theatre on that corner.

The amount brought at this sale was considered very good, being about \$2,300 a front foot. The property across the way was recently sold by Thomas Shanley and his brother for an amount equivalent to \$2,500 a front foot on 46th st, but with an opening on Broadway, which was put in at \$185,000. Naturally an outlet on Broadway enhances the value of the parcel considerable. Adjoining on the east is the theatre on a lot 118x100.5, owned by the 46th St. and Broadway Realty Co., of 500 5th av, which also owns the plot on Broadway with a frontage of 127.3 on that thoroughfare, and a depth of 87.11 on the south-erly side of the property.

LAW DEPARTMENT

CONTRACTING TO SELL.

It has become so common a thing to contract for the sale of land, as of stocks, without really having any title at the time of executing the contract, and at the most having a contract with the person who has title, to depend on to meet the day of judgment with, that it is well to consider what a man's position becomes when he has contracted to deliver title in this way and fails to perform—when a day of judgment really comes to him.

In a case not long since decided on appeal a man without title to a piece of property had contracted to sell it, relying on a quasi option with the real owner for its acquirement: a contract which failed when put to the test. There was but one hope for the rash, would-be seller, to plead impossibility of performance in reduction of damages when sued by the intending purchaser for the return of the money paid down upon the contract, the expenses of examination of title, etc., and also damages to the amount of the expected profit out of the transaction. Now there is a general rule of law laid down by the courts that where a seller is really unable to perform, by reason of some untoward, unexpected event arising, as for example his wife positively refusing to join in the deed for the purpose of releasing her dower, or the like, that the damages recoverable shall be limited to the return of the binding money and the expense of examination of title. This plea was therefore resorted to by the defendant in the effort to reduce the amount sued for, but with little success. He had pushed strongly forward in his defense, the fact that the plaintiff through her counsel had notice from the beginning that he, the defendant, was relying upon his option of purchase with the real owner of the land, in order to fulfil his contract with the plaintiff, and that she therefore should not be allowed to mulct him heavily for what she knew in the beginning might happen. A Wall street operator under such conditions squeals, but he never thinks (or rarely) of appealing to the courts to let him out from the squeeze—perhaps because stock transactions of selling what you do not own are so common, or because the question of a rise in the stock is always in contemplation of both parties, while in the sale of real estate, the attitude generally of the parties to it are at its close, the buyer feeling that he has been caught, and the seller that he is ahead of the game. For it is but seldom that the expectant purchaser of land has a quick profit surely in sight, unless he too has been gunning ahead to sell what he has not got.

The court took the Wall street view, and held good a verdict of \$46,781 rendered in the lower court against the defendant for profits lost to the plaintiff, saying "the defendant would have a perfect right to make such a contract, and the plaintiff knowing the facts would have a right to make such a contract, and it not being legally impossible of performance, the fact that the defendant was prevented from performing by the refusal of a third party to act, would not defeat the plaintiff's right to all the benefits of her bargain." Good law, but perilously near to legal sanction of what the Westerner deprecates so in Wall street dealing—the selling of what one has not got!

A BROKER'S LIMITATIONS.

To the Editor of the Record and Guide:

Will you please give me your opinion on the following question: "A," a buyer, has been offered a house by "B," a broker, say at \$35,000, which is quoted at the lowest possible price. "A" fancies the house and is entertaining the same. In the meantime, "C," another broker, offers the house to "A" at \$32,000. The lowest price that "B," the first broker, has is \$35,000. Should "A" deal with "B" and inform him that the house has been offered to him at \$32,000 by "C," or should "A," the buyer, deal direct with "C," the second broker? Is not "B," the first broker, entitled to recognition as being the first party to offer the house, and also is not "C" entitled to recognition for his labors in procuring the price much lower?

Answer.—Each broker is limited by the agreement the vendor made with him, and the purchaser can shop in the cheapest market. A broker may well feel aggrieved by the vendor giving another broker a lower selling price, but until he brings a purchaser whom the vendor accepts, we doubt if he has any legal claim to any commission.

IT WOULD BE MEAN.

To the Editor of the Record and Guide:

(1) When a broker offers me a price for my property which I consider insufficient, and out of revenge or disappointment he calls the attention of the Tax Department to the fact that it is assessed for taxation at one-third of the price that he offered me, have I any redress? (2) Has the mere fact that some one is willing to give a price any bearing which the assessors are entitled to consider? (3) Does his threat to call attention to it, if I do not accept the price, amount to blackmail?

Answer.—(1) No. (2) Yes. (3) Yes.

LEGAL ENCOUNTER PROBABLE.

MANY OWNERS IN THE MURRAY HILL SECTION, FEARING ENCROACHMENT OF BUSINESS, UNITE TO CONTEST POSSIBILITY.

An interesting legal controversy is about to be started affecting the property located on the northeast corner of Madison avenue and 34th street. This property is under the Murray Hill restriction clause, which is very binding and limits the character of the buildings to be erected to none other than a brick or stone dwelling of at least two stories in height, except stables to be used by those living within the restricted section, and churches. Attached to this is a nuisance clause, which prohibits factories, foundries, etc., being erected on the property. The area of restriction is from the easterly side of an old road which ran southeast and northwest, known as the Middle Road, which cut through the property in question; the Eastern Post Road, which was located west of Lexington avenue and ran in a northeasterly and northerly direction; the north side of 34 street and the south side of 38th street.

The trouble started as soon as it became known that the owners of the corner intended to build a mercantile structure, sixteen stories in height. Many holders of the surrounding property got together, and after several discussions a committee was formed and the matter was placed in the hands of Mr. John E. Parsons to be adjusted. As yet nothing has been done, as Mr. Parsons is out of town, but that trouble is anticipated on the part of the owners of the building is born out by the fact that plans for a four-story building have been filed, and work will be completed up to that height. After the smoke has cleared away, the remaining twelve stories will be added, unless forbidden by the court.

NOTHING DEFINITE ACCOMPLISHED.

At the office of John E. Parsons it was stated that while the matter had been discussed, still as yet nothing definite had been done, and it was not decided just what action would be taken. At the office of the estate of Morris K. Jessup no statement was made, as the matter was in the hands of Mr. Parsons. Mr. Henry de Forrest said he was the owner of a dwelling in East 35th street, between Madison and Park avenues, and would welcome the coming of business. He further remarked that in his opinion his holdings would be materially enhanced in value, though naturally they would not be as desirable for dwelling purposes.

Some time since a movement was started to release from the clause all the property with a frontage on 34th street, between Madison and Lexington avenues. About eighty-seven per cent. of the owners in that street consented, but when it was realized that the owners all through 35th, 36th, 37th and the south side of 38th streets could object, the project was abandoned, in the hope that a case like the present one would come up and the restriction be permanently removed.

BUDGET EXHIBIT.

BUDGET ALTERNATIVES AND EXTRAVAGANCES.

A Budget Exhibit! New York is entitled to be the first city in the world to hold a Budget Exhibit because its budget of \$143,500,000 is not only the greatest of any municipality in the world, but its annual budget increase is greater than the total budget for St. Louis, or for Baltimore and Cleveland combined, or for New Orleans, Washington and Milwaukee. New York's annual budget increase is five-times the total budget for Louisville; is over ten times the budget for Atlanta, Lynn or Kansas City, Kansas; and exceeds the taxes paid by any thirty of the largest cities having a population from 30,000 to 50,000. Horse shows, motor shows, baby, Irish and sportsman shows—congestion and advertising exhibits New York has had, but nobody ever before suggested telling the story of an annual budget by photographs, documents, charts, epigrams and other object lessons. The idea of the Exhibit originated with the Bureau of Municipal Research, but was enthusiastically adopted by the Greater New York Taxpayers' Conference which joins in sending invitations to taxpayers' organizations and to the general public to participate in making the budget show a success.

OPENS IN OCTOBER.

The Exhibit will be held on the ground floor of the City Investing Building for a period of two weeks, opening probably October 5th. The particular fortnight will be chosen when budget discussion is at its height and when taxpayers and department heads are presenting arguments to the Board of Estimate and Apportionment for and against special appropriations. Responsibility for the Exhibit will rest with a joint committee representing the Greater New York Taxpayers' Conference and the Bureau of Municipal Research. The City Investing Building was chosen on account of its central location, which makes it easy for the banker, broker, lawyer, business man and clerk to drop in during, just before or just after business hours. A series of noonday meetings will be held under the auspices of the Greater New York Taxpayers' Conference,

at which the chief city officials will be invited to discuss with representative taxpayers the directions in which it is important for the city at this time to increase its expenses, and where it is both practicable and necessary to retrench.

MANY ORGANIZATIONS PARTICIPATE.

Individuals and organizations having a special message for taxpayers are invited to submit suggestions, more particularly photographs or other evidence showing unnecessary or neglected work and needs not attended to. The committee in charge reserves the right to exclude any material offered. Photographs, charts, and sentences will be limited to matter immediately bearing upon budget problems. Among the organizations that have been especially invited to make exhibits are the New York Milk Committee, the committees on the Prevention of Tuberculosis, Tenement House and Physical Welfare of School Children, City Club, The Merchants' Association, Hospital Conference, State Charities Aid Association, New York Prison Association, Brooklyn League. Communications should be addressed to Budget Exhibit, City Investing Building, 165 Broadway.

WILL BE INSTRUCTIVE.

Attractive and telling arguments can easily be obtained to make clear the alternatives presented by budget proposals. There is no danger either that the charts and diagrams will be uninteresting or that they will monopolize wall space. The Bureau of Municipal Research say that numerous photographs are already in hand, and it is expected that many suggestions will come in from individual taxpayers showing holes in streets to account for unnecessary paving bills; public baths, whose payrolls are from two to three times too large; public buildings leased for a song; private buildings leased by the city at exorbitant rentals; swamps bought at city frontage rates; gangs of laborers "soldiering"; hospital wards with patients sleeping on the floor; districts in the city not adequately policed; school children needing medical, ocular and dental attention; blocking of the city's law work; cost to prominent buildings and individuals of the Thirteen Cent Fund, etc. One feature that offers possibilities of enlightening the taxpayer and enlivening his visit to the Exhibit will be the illustrated epigrams by city officials and others. The public is invited to suggest sentences to keep company with the statement by Fire Commissioner Lantry, "I was afraid to test the fire hose for fear it would break," or the significant claim by Comptroller Metz, "The City could improve its service by dispensing with from 25 to 40 per cent. of the men on its payrolls."

BUDGET STATISTICS.

BUDGET INCREASES IN SIXTEEN CITY DEPARTMENTS GIVEN IN TABULATED FORM.

The Bureau of Municipal Research has prepared for the Record and Guide the following table, showing budget increases requested by sixteen city departments. A small part of the total number of budget estimates has as yet been submitted to the Board of Estimate and to the Bureau of Municipal Investigation and Statistics. This list, however, contains a number of the more important departments. If the pace set by these sixteen departments is kept up until all the budget estimates are in, the total increase requested for 1909 over 1908 will be the modest sum of \$58,000,000, exclusive of increased interest on city debt. If facts are as stated in the various departmental estimates and accompanying letters, and if, as has been implied, reduction is nowhere possible, then the conclusion seems inevitable that a far-seeing taxpayer, amenable to official argument, ought to gear his tax machine up to two hundred and five millions.

The following table gives the 1908 budget for sixteen departments, the increase requested, and what the city budget would be assuming that all departments were to ask for like percentage of increase. In presenting this, the Bureau of Municipal Research makes no comment whatever as to the soundness of the arguments presented by the various departments. On the contrary, the bureau believes that the test of a request is not its size, but its necessity and its profit. It suggests, however, that the inquiring taxpayer can profitably study the table.

TABLE OF STATISTICS.

Department.	Increase Requested for 1909.	Percentage.	Total Budget if Increased at Like Percentage.
Borough President, Brooklyn...	\$1,230,375.79	60.9	\$210,618,000
Borough President, Richmond...	543,122.50	85.2	235,404,000
Fire	1,088,190.36	14.5	163,290,000
Borough President, Bronx.....	323,929.40	21.4	170,228,000
Borough President, Manhattan..	753,451.17	27.7	176,754,000
Correction	186,682.00	15.9	164,718,000
Tenement	184,593.00	28.7	166,774,000
Health	1,136,669.75	49.9	199,398,000
Bellevue	271,659.50	29.3	178,386,000
Parks—Man. & Rich.....	351,380.60	25.5	174,510,000
Parks—Brooklyn & Queens.....	354,307.79	34.5	183,690,000
Parks—Bronx	241,195.00	35.9	185,118,000
Bridges	282,135.50	49.5	198,990,000
Borough President, Queens.....	1,177,174.60	91.7	242,034,000
Police	2,043,039.51	14.2	162,984,000
College City N. Y.....	134,510.09	27.3	176,346,000

PRIVATE SALES MARKET

SOUTH OF 59TH STREET.

Corner Tenement Sold.

BROOME ST.—Charles Buermann & Co. sold for Samuel Golding the 6-sty tenement at the northeast cor of Broome and Lewis sts to Andrew Kuhn. Title will be taken Sept 15.

21ST ST.—S. B. Goodale & Son sold for Robert Alexander to Elmer A. Darling 21 East 21st st, a 6-sty store and dwelling, 28x98.9. Mr. Darling owns the 10-sty loft building adjoining on the east and makes this purchase to protect his side light.

Buyer for East 30th Street House.

30TH ST.—Huberth & Gabel sold for the Carpenter estate of White Plains the 4-sty single flat 328 East 30th st, 21.1x98.9, to J. H. Kavan. Before the city was blocked out under the present system this property fronted on Cornelius st.

44TH ST.—Leo Kramer sold for Mr. Nichols to P. Lockley 522 West 44th st, a 5-sty flat.

49TH ST.—John T. Wall sold for Julius Cloyd 532 West 49th st, a 5-sty double tenement, 26x90x100, to Karl Fischer. The gross rents are about \$2,800. Title will be taken the latter part of September.

50TH ST.—Payson McL. Merrill sold for the estate of Albert T. Kelley 20 West 50th st, a 4-sty brownstone dwelling, 24x100.5. The premises will be entirely remodeled by the new owner and converted into an American basement house. This is a splendid residence block and is Columbia leasehold.

Trade Consummated.

51ST ST.—Thos. C. Thacher sold 19 West 51st st, a 4-sty dwelling, 21x100.5, to Louis B. Rolston, who gives in part payment the 3-sty dwelling 318 West 76th st, 20x102.2. The dwelling 12 West 51st st was reported sold a couple of weeks ago. It will be remembered that this house was formerly the home of the late Grover Cleveland, and was purchased from Commodore E. C. Benedict by W. & M. T. Hall. The present structure is going to be demolished and a modern American basement dwelling erected in its place.

To Enlarge Holding.

55TH ST.—Bryan L. Kennelly sold for the estate of the late Ransom Parker to Edgar L. Marston, Treasurer of the Automobile Club of America, the property known as 242, 244, 246 and 248 West 55th st, being three 3-sty dwellings and one 4-sty dwelling, 75x100.5. The price paid was \$150,000. The houses are directly at the rear of the present home of the Automobile Club of America, and will be torn down in the near future, for an extension to the clubhouse. This purchase gives the club a plot of 20,300 sq. ft., and with entrances on both 54th and 55th sts. Mr. Kennelly negotiated a few years ago the sale of the 54th st plot to the Automobile Club.

Activity on 10th Avenue.

10TH AV.—Frederick A. Carll sold for Philip E. Haag the northwest cor of 10th av and 20th st, 100x125, with six 3 and 4-sty flats on the avenue and a coal yard at the rear in the street. The coal yard plant and business are also included in the sale.

10TH AV.—Frederick A. Carll sold for an estate to P. J. Cronin 317 10th av, a 5-sty double flat, with stores, 25x100.

NORTH OF 59TH STREET.

Given in Trade.

LAWRENCE ST.—In part payment for the southeast cor of Broadway and 159th st. Mr. Kaiser gives 54 and 56 Lawrence st, a 6-sty new-law house, 50x100, between Amsterdam and Morningside avs.

74TH ST.—John N. Golding sold for Joseph Hamerslag to Dr. Paul Outerbridge 49 West 74th st, a 4-sty dwelling, 20x100.

76TH ST.—Louis B. Rolston sold his residence 318 West 76th st, a 3-sty and basement dwelling, 20x102.2 to Thomas C. Thacher, who gave in exchange the 4-sty dwelling 19 West 51st st.

78TH ST.—Warren M. Baker, of Chicago, Ill., and S. G. Dessauer sold 129 West 78th st, a 3-sty and basement dwelling, 16x102.2. The house adjoining on the west was connected by an enclosed passage with 134 West 79th st, which house, together with 132 and 132A, two 5-sty buildings, are used as a boarding house. The dwellings 132 and 132A are of Dutch architecture and have a frontage of 12.6 each and a depth of 70 ft. on a lot 102.2 ft.

82d Street Property Changes Hands.

82D ST.—Gertrude Degan sold 305 West 82d st, a 3-sty and basement dwelling, 18x82.2. The present seller bought this property on July 3, 1901, but did not record the deed until Oct. 1. The purchase price was \$19,000. There was a mortgage of \$14,000 recorded against this holding. Public School 9 is on the northeast cor of West End av, while the Carlisle apartments are located on the southwest cor. The building just sold is located 82 ft. west of West End av and has a depth of 50 ft.

86TH ST.—N. L. & L. Ottinger and Heilner & Wolf sold the 4-sty and basement brownstone dwelling 124 West 86th st, between Columbus and Amsterdam avs. The new owner will occupy the house. L. J. Phillips & Co. were the brokers in the deal. This is the 6th house sold out of the 10 bought by the present sellers from the estate of D. Willis James.

95TH ST.—Slawson & Hobbs sold for Annie Davis to a client for occupancy the 3-sty high-stoop dwelling 26 West 95th st, 18x55x100.8. The present seller acquired title on June 9, 1908, from Josephine A. Thibaut.

99TH ST.—F. & G. Pfomm sold for H. A. Collins, Jr., 245 West 99th st, between Broadway and West End av, a 3-sty high-stoop dwelling, 18x100.5, for \$26,000. The buyer will occupy after improving. The Karlsruhe apartment is on the cor of Broadway and adjoins the premises just sold. Title will be taken Sept. 15.

112TH ST.—Gibbs & Kirby sold for J. H. Saulzieder to Mrs. E. S. Dow the lot 25x100.11, on the north side of 112th st, 100 feet east of Broadway. The asking price was \$20,000.

Paterno Bros. Increase Holdings.

113TH ST.—O'Reilly, Viotor & O'Brien sold for the Lawyers Title Insurance & Trust Co. to Paterno Bros. 50x100 on the north side of 113th st, 100 ft. west of Amsterdam av. This plot, together with former purchases, will give the owners a frontage of 200 ft. on the st.

117TH ST.—M. Chisling & Co. resold for David Mandeltort to Mrs. Ida Brown the property 523 to 529 East 117th st, two 6-sty flats, each 37.6x100.11. The New York Central Coal Co. adjoins on the east.

142D ST.—Harris Gottlieb sold 125 to 129 West 142d st, two 6-sty flats, each 40x99.11.

BROADWAY.—Arnold, Byrne & Baumann resold for the Keystone Investing Co. the northwest cor of Broadway and 107th st, a 5-sty flat facing Schuyler Square, 26.10x100. This property was recently acquired by the sellers in trade for their apartment house on the northeast cor of Broadway and 145th st. The house just sold is built to a depth of 95 ft.

CATHEDRAL PARKWAY.—The Cathedral Realty Co. sold to Leon Sobel 54 Cathedral Parkway, a 6-sty apartment house, 50.3x72.11x irregular.

COLUMBUS AV.—The Cathedral Realty Co. sold the two 6-sty apartment houses abutting at the northeast cor of 109th st and Columbus av, 100x127.2x irregular, to Leon Sobel.

Quick Resale on Madison Avenue.

MADISON AV.—The northwest cor of Madison av and 114th st, 25.11x100, which Goodwin & Goodwin sold to Harry L. Rosen last month has been resold by the same brokers to Nathan & Zimmerman, who will remodel the house by installing stores, open plumbing, steam heat, hot water supply and tiled bathrooms throughout at a cost of about \$10,000.

MANHATTAN AV.—D. Phoenix Ingraham & Co. and Joseph D. Cronan sold for Peter Alexander to Leon Sobel the uncompleted flat buildings on plot 73x100, at the northwest cor of Manhattan av and 109th st.

MADISON AV.—The McKnight Realty Co. and J. D. Cronin sold for the estate of Joseph C. Farrington to Paul S. Bolger and Frederick J. Davison the 3-sty brownstone dwelling at the southeast cor of Madison av and 127th st, 19x76. The house is to be converted into a business building.

Another Drive Improvement Contemplated.

RIVERSIDE DRIVE.—Chas. M. Rosenthal sold to the Silverson & London Construction Co. the plot 75x140x irreg on Riverside Drive, 86 ft. north of 127th st. The buyers will erect a 6-sty high-class apartment house on the site to cost \$170,000. The entire operation involves about \$400,000. There has been considerable activity in this section of late. The sale of a plot having an area of about 11 lots was reported sold to Albert London at the northeast cor of 127th st and the Drive, and about half of these were resold to the Riverside Viaduct Realty Co., a new corporation with A. C., H. M. & W. H. Hall as incorporators, and a capital of \$5,000. A high-class 6-sty elevator apartment house will be erected on the site. The Montibello apartment house, located at 548 Riverside Drive, 116 ft. south of 127th st, was recently sold to Hurtig & Seaman, who are the owners of other Drive property. This firm has been identified with the theatrical business in the 125th st section for some years.

WEST END AV.—L. J. Phillips & Co. sold for the estate of Leonard Lewisohn the lot 25.2x100 at the southwest cor of West End av and 98th st. The buyer is the Mandel Building Co., which is said to intend erecting an apartment house. A restriction on the property will expire in the near future, and it is understood that the lot may then be improved with an apartment house.

West End Avenue Activity.

WEST END AV.—Nellie Meyer, of Long Branch, N. J., sold 747 West End av, a 3-sty and basement dwelling, 16.8x100, between 96th and 97th sts. Across the street is the Holyoke, a 6-sty apartment, 60x95x100, and a 5-sty apartment, 40.11x89x100. The two blocks front on the west side of the avenue are unoccupied, as also the southerly half between 96th and 97th sts. The premises just sold is built 55 ft. deep and has a 2-sty extension.

WEST END AV.—S. B. Goodale & Son sold to an investor for Robt. Alexander the northwest cor of West End av and 98th st, a 5-sty dwelling, 21x80. The property is now leased to a private school. On the west is the Schuyler Arms, a 7-sty fireproof apartment.

WEST END AV.—Althea Rudd Ward gave to the Keystone Investing Co. in part payment for the northeast cor of Broadway and 145th st, the two 5-sty apartment houses, 834 and 836 West End av, 50x100. These houses, together with the northwest cor of Broadway and 107th st, and 2787 Broadway, between 107th and 108th sts, and being separate from the cor property by the Trouville apartment house, were also included in the exchange.

5TH AV.—Michael Erlanger sold 1452 5th av, 5-sty flat, 25x100, adjoining the southwest cor of 118th st. The seller acquired this property on July 17, 1906, from Joseph J. Menne et al. There are 2 apartments on a floor, each with 6 rooms and bath. The building is 86 ft. deep. Peter McGinn is the present purchaser and will take title Sept. 8.

8TH AV.—J. C. Hough sold for the James S. Shea Co. to Josephine Goldsmith the Seminole, a 6-sty apartment house at 2746 and 2748 8th av, southeast cor of 146th st, 40x100, for \$110,000.

WASHINGTON HEIGHTS.

Trades on the Heights.

BROADWAY.—The Owners' Syndicate Co. sold to Arnold Kaiser the 6-sty elevator apartment house, 99.11x125, at the southeast cor of Broadway and 159th st. The house was erected by the Fluri Construction Co. In part payment Arnold Kaiser gives 54 and 56 Lawrence st, a 6-sty tenement house, 50x100. About \$350,000 is involved in the deal. A similar structure adjoins on the south. Across the av is the Church of the Intercession. On the northeast cor of 159th st is another large apartment, also built by the Fluri Construction Co.

BRONX.

IRVINE ST.—S. Cowan sold for John Randall the two 2-family houses, 50x100, on the east side of Irvine st, 150 feet north of Seneca av.

IRVINE ST.—S. Cowan sold for the plans for Mrs. Hannah Pacher five 20-foot houses to be erected on the west side of Irvine st, 120 feet south of Garrison av.

Buyers for Speculation.

OAK TREE PL.—Barrett Norvack sold 21.9x95x21.5x95, on the south side of Oak Tree pl, 176.3 ft. west of Hughes av, to Alois L. Ernst.

137TH ST.—Julius H. Haas sold for Isidor Fleckstein to Anders J. Johansson 589 East 137th st, a 1-family brk dwelling.

158TH ST.—Simon & Atlas sold for L. Polatshek the two 6-sty apartment houses 560 and 562 East 158th st, each 33.4x100.

161ST ST.—Louis Reiss sold for Pennamacoor & Myar the dwelling 65x85 at 280 East 161st st, to a Mr. McArdle.

Two-Family Houses Popular.

176TH ST.—John A. Steinmetz sold for John Miller 775 East 176th st, a 2-family house, 25x100, to Edward J. English.

179TH ST.—John A. Steinmetz sold 805 East 179th st, a 2-family dwelling with brk filled sides, 22x100, located about 23 ft. east of Mapes av. In exchange the dwelling 1007 East 180th st was given.

180TH ST.—John A. Steinmetz sold 1007 East 180th st, a 1-family dwelling, 38.3x98x irregular, located about 80 ft. east of Bryant av, belonging to William Steinmetz, who received in trade 805 East 179th st, a 2-family dwelling, 22x100.

BROOK AV.—Edward Polak sold for I. J. Tannenbaum 1462 Brook av, a 4-sty double flat, 25x100, to Joseph Lernan, who gave in exchange 24, 26 and 28 12th av, Mt. Vernon, three private dwellings, 83x105.

Buys for Investment.

BRONX VIEW AV.—Schano & Co. sold for a client the 2-family dwelling 58 Bronx View av, 25x100, to Robert Gibson.

Sells Newly Completed Structure.

GLEASON AV.—Samuel McCarthy sold one of a row of 2-family houses which he recently built in Gleason av, 25x100, between 173d and 174th sts.

HUGHES AV.—Edward Polak sold for Hyman Cohen to a Mrs. Savage 2255 Hughes av, a 3-sty brk flat, 25x100.

JACKSON AV.—Simon & Atlas sold for Edmund Frank 984 Jackson av, a 5-sty flat, 27x75.

WESTCHESTER AV.—Douglas Robinson, Charles S. Brown & Co., in conjunction with George Fox Tiffany, sold for Benjamin M. Tucker the northeast cor of Westchester and Hoe avs, a plot of about four and one-third lots.

WHITLOCK AV.—The George F. Johnson's Sons Co. sold to Thos. J. McLaughlin 910 Whitlock av, a semi-detached, 3-sty, 2-family brk house.

LEASES.

S. Lindau leased the building 933 Broadway to R. Smith.

Barnett & Co. leased the 3-sty dwelling 68 West 131st st to a Mrs. Carr.

Columbia College leased to Jeanette P. Goin the lot 1 West 47th st for 21 years for \$1,394 annually.

Stewart C. Schenck leased for F. A. Cauchois to a client the Hotel Royal, 149 and 151 West 44th st.

Folsom Bros. rented 149 East 18th st, a 3-sty dwelling, for C. D. Macdonald to a client for a term of years.

Richard Heynemann leased the dwelling 138 West 48th st for John H. Hindsley to Wm. T. Cully for a term of years.

Denzer Bros. leased for Godfrey Knoche and Anna Weller 50,000 sq. ft. of space in the building 521 and 523 East 72d st for a long term of years.

Imperial Property Holding Co. leased to Wm. B. Leonard the premises at the northeast cor of 5th av and 26th st for 10 years at an annual rental of \$15,000.

The Chas. F. Noyes Co. rented, from the plans, to a firm of California wine merchants, the 6-sty building to be erected by R. F. Kilpatrick at 792 Washington st. The lease is for a term of years at a total rental of about \$100,000.

Daniel P. Ritchey leased for Charles E. Appleby the stables 251 and 253 West 58th st for a term of 5 years. They will be reconstructed as a garage at an expense of \$30,000 from plans by Cowen & Co. and occupied by the Oldsmobile Automobile Co.

Innes & Center leased for Mr. James A. Renwick to a client of Folsom Bros. the large cor residence 21 5th av; also for Mr. George Finck to Dr. Henry Jaekel the private residence 145 East 19th st, and for Mrs. E. H. Krans to Mrs. Isabelle Alnutt 71 Irving pl.

Daniel P. Ritchey leased for the Dover Realty Co. to W. H. Moaley and Seth Mosley 2d the Hotel Collingswood at 45 West 35th st, for 15 years at an aggregate rental of \$750,000. The lessees also purchased the furnishings from Fred V. Wishard, former lessee, who assumes the management of the Hotel Gotham.

H. C. Senior & Co. report the following leases of dwellings: 267 W. 70th st for Mrs. Catherine Brown to Dr. A. W. Bloomer; 107 W. 78th st for Mrs. Rosaline Hessline to Dr. Richard J. E. Scott; 224 West End av for Mary B. Dooley to I. Henry Harris; 169 W. 93d st for G. B. Radcliffe to a Mrs. Robertson, and 159 W. 64th st for Susie Scott Hall to Jane I. Bradley.

The H. H. Fuller Realty Co. leased for Herman Wronkow the 7 upper floors of the Normandie Hotel, at the southeast cor of Broadway and 38th st, for a term of 21 year at a rental of about \$700,000, to the Knickerbocker Lunch Co. This company is controlled by Louis Haims, proprietor of a chain of lunch rooms throughout the city, and Louis Markel, a St. Louis hotel man. The building will be remodeled at once and furnished as a first-class commercial hotel. Mr. Wronkow recently leased this entire property from the United States Trust Co. for a term of 21 years, and will remodel the Broadway frontage and basement into stores in keeping with the character of the building and the location.

Pease & Elliman leased for George W. Vanderbilt the northeast cor of 52d st and Madison av, 75x75, to the Walker Gordon Laboratory Co., of Boston. Extensive alterations will be made and the property occupied as the main distributing office for this company in New York; also 38 East 38th st for Hugo Baring, of London, England, to Winthrop Burr; 57 West 9th st for Miss Fannie M. Campbell to L. Sidney Carrere; 60 East 77th st for Dr. Frank Van Fleit to Chas. H. Strong; 76 East 56th st for James Anderson Hawes to N. W. Vanderhoef; 128 East 56th st for Mrs. John Henry Harper to Mrs. E. S. Elliott; 777 Madison av to J. M. Ceballos; 56 East 55th st for Mrs. M. L. Gunther to Dr. Evan Evans; 512 West End av for Chas. N. Crittenton to Chas. S. Carscallen; 33 East 77th st for Mrs. H. H. Pease to J. B. Lowell; 117 East 54th st for Dr. George L. Schearer to Miss H. A. Davis; 111 East 40th st for Ernest Flagg to William Sproule; 41 East 75th st for Mrs. M. G. Messenger to Adrian H. Larkin; 165 West 83d st for W. J. Carlin to Mrs. V. Nolan; 128 East 38th st for Mrs. A. L. C. Adams to R. V. Thorn; 635 Park av for Mrs. G. B. Miller to Augustus D. Shepard, Jr.

SUBURBAN.

HASBROUCK HEIGHTS, N. J.—Duross Co. sold the Titus A. Brooks property on Division av, Hasbrouck Heights, N. J., to Mary Hetger.

PLAINFIELD, N. J.—J. A. Ulanov sold for a client a plot of about 200 lots on the Central Railroad of New Jersey, about 3 miles beyond Plainfield, N. J., to a client of W. G. Taylor, who gave in exchange two 2-family houses in Jamaica.

MT. VERNON, N. Y.—The Chester Hill Park Co., composed of Harry B. Davis, F. W. Calder, Charles Heiborn and Morris Wolf, Health Commissioner of Yonkers, bought a tract of about 700 building lots in Chester Hill, Mt. Vernon, from the Chester Realty Co.

The property has a large frontage on Columbia av, opposite the estate of Justice Mills, an adjoins the extensive estate of the late James A. Bailey. The combined parcels are to be developed and marketed next spring.

STATEN ISLAND.

HUGUENOT, S. I.—The Prince's Bay Realty Co. sold the Helen Cole property at Huguenot, S. I., to the Equitable Realty Co.

LINDEN PARK, S. I.—The Cuozzo & Gagliano Co. sold to John J. Freschi 4 lots cor Newbury av and Wilson st, Linden Park, Garretson, Staten Island, N. Y.

GARRETSON, S. I.—The Cuozzo & Gagliano Co. has sold to John J. Freschi 4 lots at the cor of Newberry av and Wilson st, Linden Park, Garretson, S. I.

UNCLASSIFIED SALES

The total number of sales reported is 57, of which 11 were below 59th st, 30 above, and 16 in the Bronx. The sales reported for the corresponding week last year were 36, of which 9 were below 59th st., 15 above, and 12 in the Bronx.

The total number of mortgages recorded for Manhattan this week was 139, as against 112 last week, and in the Bronx 111, as against 99 last week. The total amount involved is \$8,024,665, as against \$2,584,591 last week.

The amount involved in the auction sales this week was \$796,100, and, since January 1, \$40,726,014. Last year the total for the week was \$483,289, and from January 1, \$30,456,938.

69TH ST.—L. J. Phillips & Co. sold for the Falcon Realty Co. to a client for occupancy 38 West 69th st, a 4-sty dwelling, 25x96x 100.5.

BROADWAY.—Arnold, Byrne & Baumann resold for the Keystone Investing Co. to a purchaser for investment 2787 Broadway, a 5-sty flat, 25x100.

MADISON AV.—Goodwin & Goodwin resold for Harry L. Rosen to Nathan & Zimmerman 1734 Madison av, northwest cor of 114th st, a 5-sty flat, 25.1x100. The buyers will completely remodel the house and put in stores. The same brokers sold the house to Mr. Rosen about a month ago.

CHRISTOPHER ST.—Samuel Kutler and Samuel Kotler sold 117 Christopher st, a 6-sty building, 25x90.5.

74TH ST.—D. Lang sold for Emanuel Levy to an investor 210, 212 and 214 East 74th st, three 4-sty tenements, 60x102.2.

REAL ESTATE NOTES

Henry Phipps took title from John H. Edwards, as receiver, through Frederick W. Fielder, Jr. The consideration was \$1,100,000.

Walter S. Smith has severed his connection with the Renton-Moore Co. and is now connected with the office of James K. Holly at No. 929 Amsterdam av.

George H. Breen announces that he will move his real estate office on Sept. 15 from 1026 Lexington av to 261 Broadway. Mr. Breen makes a specialty of managing estates.

The Lawyers' Title Insurance & Trust Co. loaned Paterno Brothers \$115,000 in the form of a building loan on the plot 50x100, on the north side of 113th st, 100 feet west of Amsterdam av.

The Title Guarantee & Trust Co. loaned the Dowd Construction Co. \$85,000 on the property 99.11x100 on the southeast corner of Wadsworth av and 184th st. This is in the form of a building loan.

F. V. Calder, of the firm of F. V. Calder & Co., with Joseph H. Nassoit and R. Leonard Lanning, members of the firm of Hellenbrand & Nassoit, have consolidated their agency and brokerage business under the firm name of Calder & Nassoit.

Justice Dugro, of the Supreme Court, has appointed a receiver of rents for the building 508 and 510 Broome st, a 7-sty structure, pending a suit to foreclose a mortgage of \$70,000 brought by the Peabody Education Fund against Daniel R. Hendricks and others.

Thirteen mechanics' liens, aggregating \$27,000, have been filed against the Harlem River Park Amusement Co. on the property on the east side of 2d av, extending from 126th to 127th sts. Among the largest claims are the following creditors. Cross, Austin & Ireland Lumber Co., \$4,602; William J. Baldwin, Jr., Heating Co., \$6,693; James McCullagh, \$4,560.

The Metropolitan Life Insurance Co. loaned the Belnord Realty Co. \$3,000,000 on the square block bounded by Broadway and Amsterdam av, 86th and 87th sts. The mortgage is due November 1, 1913, and bears interest at 5 and 6 per cent. A second mortgage of \$1,500,000 was loaned to this same company by the Broadway and Eighty-Sixth Co., due date and rate as per bond.

F. A. Snow states that a lis pendens filed by the Ostend Realty Company against the Crystal Realty and Construction Company on September 2, 1908, to foreclose a mortgage covering premises at Broadway and 161st st, was caused by an accidental omission and misunderstanding. He says arrangements have been made to pay the principal in full and have the action discontinued and the mortgage satisfied of record.

There are rows upon rows of tenements in this city that have come to a premature old age without ever having been

WANTS AND OFFERS

WANTED

A first class man who thoroughly understands the preparing of city maps. Reply in writing only, stating qualifications and salary expected.

R. C. LEE, 11 E. 24th St., N. Y.

IF INTERESTED in real estate along the Jersey Coast, get my appraisal before purchasing or loaning money on it. JACOB A. KING, 596 Broadway, N. Y., or West End, N. J.

WANTED—A man who thoroughly understands his business to take charge of renting department of well established down town real estate office. State past experience, age, etc. All correspondence treated strictly confidential. "L. M. H." Box 95, Record and Guide.

YOUNG MAN, four years' general real estate experience; records, soliciting, property management. BOX 80, Record and Guide.

COLLECTOR, having large experience in the management of properties, seeks position. Address "REPAIRS," Box 202, Record and Guide.

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owned by a party who purposed to make an investment. All because too much tenement construction is done by the speculative builder. This circumstances often makes it a difficult task for the broker to effect sales that ordinarily can be closed without the aid of unusual affidavits as to rents and other conditions.

A building loan was made by Sender Jarmulowsky, president of the Delta Realty Co., of \$205,000 to the Young Realty & Construction Co. on a plot of eleven lots on the south side of 144th st, located 100 feet east of Broadway, and the Realty Transfer Co. made a building loan of \$200,000 on the eleven lots adjoining on the east side to the same company. H. D. Baker & Son negotiated both these loans. The sale of these lots was reported in the Record and Guide of August 29.

Interesting as a factor in traffic conditions which affect store rentals and real estate values is the opening of the new bridge over the 6th av "L" station at Cortlandt st. This bridge was made necessary by the construction of the City Investing and Hudson Terminal buildings. The passageway connects these two buildings with each other and gives each a direct connection with the station; also affords a covered passage for up and down town passengers from the "L" station to Broadway, which will be greatly appreciated in stormy weather.

A prominent broker who makes the sale of vacant property within the limits of Greater New York a specialty calls attention to the large number of small farms where wet or swamps exist, thus affording breeding places for mosquitoes. He argues that every owner of swamp or low lying land should be compelled to drain his holdings with well laid drain pipe or an open ditch in order to facilitate the work of exterminating the mosquito. "Drive this pest out beyond the boundaries of Queens and the Bronx and the sale of city lots will be noticeably stimulated," he affirmed.

By the provision of Chapter 284 of the laws of 1908 which took effect last Tuesday, it becomes possible for the first time to foreclose mortgages on property, title to which is vested in the State, either by purchase or by the death of an owner without leaving heirs capable of inheriting. The latter situation occurs most frequently when persons, who would be heirs, are aliens. An amendment to the code to meet the situation was drafted, which gives general consent on the part of the State to be sued in foreclosure action. This amendment was introduced in the Legislature of 1907, but it was too late to have it passed that year.

Lawyers Title Insurance & Trust Company

CAPITAL AND SURPLUS - \$9,500,000

160 BROADWAY, MANHATTAN

Title Department and Trust and Banking Department.
Brooklyn Branch, 188 Montague Street.

RECEIVES DEPOSITS subject to check or on certificate, allowing interest thereon.

LEND ON APPROVED STOCKS and Corporation Bonds as Collateral.

ACTS AS TRUSTEE, Guardian, Executor, Administrator, Assignee or Receiver, Transfer Agent or Registrar of Stocks of Corporations. Takes Charge of Personal Securities.

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THORWALD STALLKNECHT, } Vice-Presidents.
ARCHIBALD FORBES, Treasurer.

DAVID B. OGDEN, Counsel.

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LEWIS H. LOSEE, Ass't Genl. Manager.
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JOHN T. LOCKMAN,
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Rule for Valuing Fractional Lots in Manhattan

The rule for valuing fractional lots in Manhattan Borough, prepared by Henry Harmon Neill, has been printed by The Record and Guide on a sheet of cardboard suitable for framing or hanging on an office wall. Copies will be sold at 25 cents each.

Apply at office of The Record and Guide, 11 to 15 East 24th St.

Why not purchase your Envelopes from the Manufacturer?

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We make a Specialty of Binding the RECORD AND GUIDE
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J. M. SCHMIDT BINDERY, 307 Pearl Street, N. Y.

A prominent broker and manager of estates suggests that one of the best ways to secure the management of property is for the broker to get as costly an office as his purse will buy. "Become acquainted with the trade in general, and let prospective clients know that you can be found in your office at a certain time each day," he says. "Select your help with care. When you hire a janitor, tell him he is not to 'get bossy.' Impress it upon the janitor's mind that the tenants of the house must be made so glad that you are the agent and he the janitor that they will pay regularly and want to stay on the premises. If there are any ugly words to be said to the tenants, the agent should put the responsibility for saying those words up to the owner. I once thought that only smart men had a chance in this town. I was mistaken."

A prominent real estate operator who is familiar with conditions hereabouts affirms that the growth and development of a great city presents many excellent opportunities for the legitimate purchasing of properties with the distinct purpose of reselling at a profit when the anticipated opportunity arrives. While this method of purchasing may not be termed "investing," in the strict sense of the word, he reasons, it nevertheless requires knowledge of the subject, constant application and, to result successfully, the exercise of keen foresight and vigilance, together with a willingness and ability, wherever necessary, to alter, rebuild or otherwise improve the purchase and an appreciation of how it may best be utilized. This, he believes, should be the accepted understanding of the term "speculation" as applied to real estate, and should not be confused with that opprobrious and harmful expression, real estate gambling.

The sale of suburban property at auction has been noticeably successful during the past summer, and those two sales held during the week by Bryan L. Kennelly, one at Rockaway Park, Long Island, and the other at Oakdale, Long Island, were no exceptions. On last Saturday the total amount realized for those lots on the Rockaway peninsula was \$183,465, or an average of \$1,075 per lot. Among the buyers at the sale were John V. Coggey, John Effinger, F. D. Woodley, Rufus L. Scott, Albert J. Appel, J. P. McGovern, Adrian Paradis, J. W. Redmond, W. T. Kennedy, Margaret V. Kieley, Henry Epstein and A. W. Cherington. On last Wednesday a number of bungalow sites were sold by W. K. Aston, through Bryan L. Kennelly, located at Oakdale. The sale took place in the salesroom in Vesey st and the bidding was spirited at times. The average size of the plots was 75x100. The property adjoins the holdings of W. K. Vanderbilt, who has a show place in Oakdale.

PROPERTY OWNERS' SECTION.

PUBLIC WORKS.

BUENA VISTA AV.—Borough President Ahearn gives notice under date of Sept. 1, that a petition signed by property owners of the Washington Heights district for Local Improvements, requesting the acquiring of title to Buena Vista av, from a point distant 141 feet north of West 171st st to West 176th st, has been filed, and is now ready for public inspection, and that a meeting of the Board of Local Improvements of Washington Heights will be held in the Borough Office, City Hall, on Sept. 15 at 11 a. m., at which meeting said petition will be submitted to the Board.

AUDUBON AV.—Borough President Ahearn gives notice under date of Sept. 1, that a communication signed by the Commissioner of Public Works, requesting the fencing of vacant lots on the southwest corner of Audubon av and 171st st, has been filed, and is now ready for public inspection, and that a meeting of the Board of Local Improvements of Washington Heights will be held in the Borough Office, City Hall, on Sept. 15 at 11 a. m., at which meeting said communication will be submitted to the Board.

CLINTON ST.—Borough President Ahearn gives notice under date of Sept. 1, that a communication signed by the Commissioner of Public Works, requesting repair of sidewalk at 16 Clinton st, has been filed, and is now ready for public inspection, and that a meeting of the Board of Local Improvements of the Corlears Hook District will be held in the Borough Office, City Hall, on Sept. 15 at 11.30 a. m., at which meeting said communication will be submitted to the Board.

LEXINGTON AV.—Borough President Ahearn gives notice under date of Sept. 1, that a communication signed by the Commissioner of Public Works, requesting repair of sidewalk at 1049 Lexington av, has been filed, and is now ready for public inspection, and that a meeting of the Board of Local Improvements of the Yorkville District will be held in the Borough Office, City Hall, on Sept. 15 at 11.45 a. m., at which meeting said communication will be submitted to the Board.

83D ST.—A request signed by the Commissioner of Public Works, calling for the repair of sidewalk at 122 East 83d st, has been filed in the office of the Borough President, and is now ready for public inspection. A meeting of the Board of Local Improvements of the Murray Hill District will be held in the Borough Office, City Hall, on Sept. 15 at 11.15 a. m., at which meeting said communication will be submitted to the Board.

23D ST.—A request signed by the Commissioner of Public Works, calling for the repair of sidewalk at 345 and 347 East 23d st, has been filed in the office of the Borough President, and is now ready for public inspection. A meeting of the Board of Local Improvement of the Kips Bay District will be held in the Borough Office, City Hall, on Sept. 15 at 11.40 a. m., at which meeting said communication will be submitted to the Board.

83D ST.—Borough President Ahearn gives notice under date of Sept. 1, that a communication, signed by the Commissioner of Public Works, requesting repair of sidewalk at 120 East 83d st, has been filed and is now ready for public inspection, and that a meeting of the Board of Local Improvements for the Murray Hill District will be held in the Borough Office, City Hall, on Sept. 15, at 11.15 a. m., at which meeting said communication will be submitted to the Board.

77TH ST.—Borough President Ahearn gives notice under date of Sept. 1, that a communication, signed by the Commissioner of Public Works, requesting repair of sidewalk at 10 East 77th st, has been filed and is now ready for public inspection, and that a meeting of the Board of Local Improvements of the Murray Hill District will be held in the Borough Office, City Hall, on Sept. 15 at 11.15 a. m., at which meeting said communication will be submitted to the Board.

2D AV.—Borough President Ahearn gives notice under date of Sept. 1, that a communication, signed by the Commissioner of Public Works, requesting repair of sidewalk at 402 2d av, has been filed and is now ready for public inspection, and that a meeting of the Board of Local Improvements of the Kips Bay District will be held in the Borough Office, City Hall, on Sept. 15, at 11.40 a. m., at which meeting said communication will be submitted to the Board.

23D ST.—A request signed by the Commissioner of Public Works calling for the repair of sidewalk at 307 East 23d st, has been filed in the office of the Borough President, and is now ready for public inspection. A meeting of the Board of Local Improvements of the Kips Bay District will be held in the Borough Office, City Hall, on Sept. 15, at 11.40 a. m., at which meeting said communication will be submitted to the Board.

18TH ST.—Borough President Ahearn gives notice under date of Sept. 1, that a communication, signed by the Commissioner of Public Works, requesting repair of sidewalk at 332 to 338 East 18th st, has been filed and is now ready for public inspection, and that a meeting of the Board of Local Improvements of the Kips Bay District will be held in the Borough Office, City Hall, on Sept. 15, at 11.40 a. m., at which meeting said communication will be submitted to the Board.

CONDEMNATION PROCEEDINGS.

FAIRVIEW AV.—Opening and extending from 11th av to Broadway. Commissioners John J. Quinlan and Samuel S. Slater give notice that they have completed their Estimate and Assessment in this proceeding. The limits of their assessment are as follows:

Beginning at the point of intersection of a line drawn at right angles to the easterly line of Broadway, from a point midway of the block between Fairview av and West 187th st, with a line parallel to and 100 feet westerly from the westerly line of Broadway; thence running northerly along said parallel line to its intersection with the westerly prolongation of the northerly line of Hillside av; thence easterly along said westerly prolongation of Hillside av, to the corner formed by the intersection of the southeasterly line of Nagle av and the northerly line of Hillside av; thence easterly along said westerly prolongation of Hillside av to the corner formed by the intersection of the southeasterly line of Nagle av and the northerly line of Hillside av; thence northeasterly along the southeasterly line of Nagle av to the corner formed by the intersection of the southeasterly line of Nagle av and the easterly line of Ellwood st; thence easterly on a straight line to its intersection with a line drawn at right angles to the westerly line of St. Nicholas av and distant 100 feet westerly therefrom, from a point midway of the block between Nagle av and Fairview av; thence southeasterly along the last-mentioned right angle line and its southeasterly prolongation to its intersection with a line parallel to and distant 100 feet northerly of the northerly line of Fort-George av; thence easterly along said line parallel to Fort George av and southeasterly and southerly along a line parallel to and distant 100 feet northeasterly and easterly from the northeasterly and easterly line of Amsterdam av to its intersection with the easterly prolongation of the northerly line of West 190th st; thence westerly along said last-mentioned prolongation and northerly line of West 190th st and its westerly prolongation to its intersection with the middle line of the block between Wadsworth av and Broadway; thence southerly along said middle line of the block to its intersection with a line drawn parallel to West 187th st from a point in the easterly line of Broadway midway of the block between Fairview av and West 187th st; thence westerly along said parallel line to the point or place of beginning; excepting from said area all streets, avenues and roads, or portions thereof, heretofore legally opened as such area is shown upon our benefit maps deposited as aforesaid.

WHEN BUYING PROPERTY.

In acquiring improved real estate, either as a speculation or for investment, great care should be exercised in avoiding buildings which may be devoted to the wrong use, such as an expensive commercial structure in a residential section or a costly apartment on a cheap site.

It is also good judgment to shun all improved parcels that have sustained physical damage, since ordinary depreciation is likely to be so largely increased in such cases as to ultimately render the investment an expense rather than a source of profit.

The percentage of depreciation caused by the elements is difficult to figure, but an estimate of it, made by Richard M. Hurd, is of worth. The scale of depreciation referred to is based on the assumption that the property is kept in a good state of repair. It is as follows:

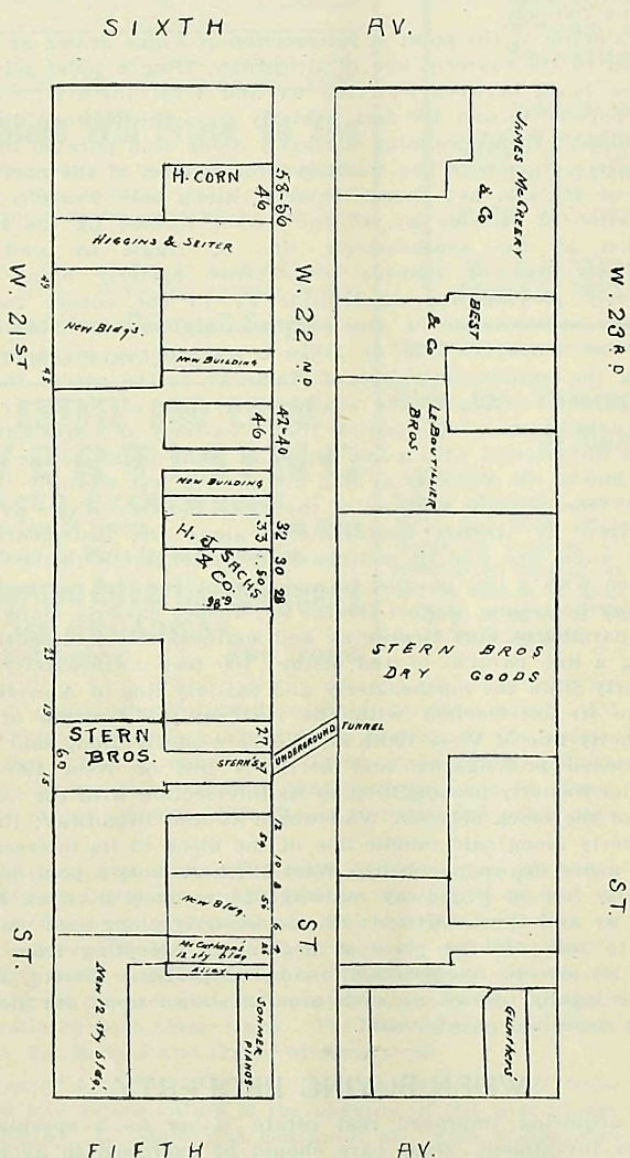
Class of buildings.	Life in years.	Annual depreciation, per cent.
Cheap frame tenement.....	10 to 15	5 to 10
Ordinary frame residences.....	25 to 30	2 to 3
Cheap brk tenements and office buildings....	25 to 30	2 to 3
Cheap brk or stone residences.....	35 to 50	1 to 2
Better class frame residences.....	35 to 50	1 to 2
Better class brk and stone residence.....	50 to 75	1 to 1½
Good brk and stone office buildings.....	75 to 100	
Steel skeleton buildings.....	Unknown.	

Desirable retail property usually yields about 6 per cent; on office building it ranges from 4 to 5 per cent; on apartment houses it is from 6 to 8 per cent.; and on tenements the net returns vary from 8 to about 12 per cent. These figures apply to Manhattan property.

A SPECULATIVE BLOCK.

The slow but sure incursion of business of the more substantial kind has already begun to effect a complete metamorphosis in the structural aspect of the southerly side of 22d st, between 5th and 6th avs. This quickening is attributed largely to the advent of the new subway along 6th av, augmented as well by the growth of a better class of trade in the bordering streets and avenues. To such an extent has this wave of improvement advanced that all but a few of the old brownstone residences have either been remodeled or torn down to make way for store and loft buildings of modern type. In proportion to the physical improvement in evidence on the block in question a considerable enhancement in values is noted. Parcels of the usual city lot size that were sold for approximately \$82,000 several years ago are now valued at \$50 per square foot, or \$125,000. Not a few owners of realty in that neighborhood, especially those who have made a careful study of conditions, affirm that even higher valuations are justified at this time.

Corresponding to the upward trend in values rentals have likewise increased, and were it not for the prolonged stagnate condition of trade few vacancies would be in evidence. In Nos. 40



and 42 West 22d st small basement stores that formerly rented for \$3,000 now bring \$3,600 per annum. In modern fireproof mercantile buildings similar to Nos. 28 to 32, stores bring \$5,000 and lofts from \$2,250 to \$2,400, according to location. While it cannot be denied that there are more than the ordinary number of vacancies in the older buildings on the block, their presence can largely be accounted for by the fact that many owners in exercising foresight not to tie up their investments for long periods are refusing yearly leases.

Of late the continued presence of several well known builders in that vicinity has given rise to the rumor that a large undertaking is projected which is doing much toward strengthening prices not only in this part of 22d st, but on both sides of 21st st as well. Some of those familiar with the locality are of the opinion that the rumor is based on the supposition that one of the nearby dry goods houses needs additional room for its expanding business, and while no information can be obtained which would confirm such a conviction color is lent the report by the assertion that each of the large mercantile concerns in close proximity to the 23d st subway station on 6th av have benefited largely since the opening of the Hudson tunnels.

Whatever the outcome, the element of speculation in 22d st property is likely to assert itself to a much greater degree in the future than it has in the past.

PAVEMENTS AND PROPERTY VALUES.

To realize fully the thoroughly bad condition of some of the leading streets and avenues within the limits of the municipality one must indulge in a tour of inspection in an automobile. Many of the much traveled highways leading from the city are in a dangerous state and require immediate attention. Not a few of the macadam roads in the outlying sections are deeply pitted causing water to collect therein, which often results in breakdowns to vehicles with attendant delays and expenses.

Not only is the condition mentioned a menace to property and life but its damaging influence is now and then reflected by a falling off in the demand for nearby stores and apartments which at times is so serious as to retard the sale of property. Good pavements of roadways invariably contribute much toward the enhancement in the value of bordering real estate, besides being an economic and social necessity.

According to J. W. Howard, the city's consulting engineer, in writing for the Contractor, the best pavements are obtained and maintained by employing honest, experienced and efficient men and by eliminating so-called practical politicians, whether office holders, party managers or others. He also affirms that paving contractors and the men who supply paving materials must include in their charges against a city or taxpayer not only the cost of construction, materials, tools and labor, but also any amounts they expend for so-called graft and political contributions; thus either increasing the cost of pavements or making their quality bad.

Engineer Howard believes that if printed forms of contracts and complete specifications are prepared by a competent paving expert, not under local influences, the community receives the benefit of the experience of many other places. He further asserts that if the specifications are published and enumerate the preliminary laboratory tests which the paving materials must meet and fully describe the materials, methods and processes, then with honest inspection, economic, good and durable pavements will be the result.

AN ECONOMICAL ROADWAY

Out in a small town in Minnesota an uncommon method of road treatment was followed which has proven a success, particularly since the new pavement can be used on steep grades as well as on a level surface. In this instance the driveway was first narrowed down to 30 feet, curbed, guttered and boulevarded. It was then excavated to a depth of 6 inches and surfaced. Five inches of dry crushed limestone 1½ to 2 inches in diameter was spread on and rolled down with a roller weighing about 10 tons.

When this was accomplished, boiling tar was applied, covering the surface entirely. A layer of broken stone, an inch or over in size and mixed with coarse gravel, was then laid on, the mixture being 3 parts of stone to one of gravel. First mixed dry on a flooring, this was then carefully mixed with hot tar and applied 2 inches thick, being subsequently tramped into position. The next treatment followed was the application of domestic cement, after which the road was thoroughly rolled again. Following this a coating of sand was laid on and the heavy roller again applied. The pavement was then allowed to stand for a fortnight when it was thrown open for public use.

All told, the expense of laying this pavement was approximately 80 cents per lineal foot to the owners of property on either side of the street. It is affirmed that the pavement mentioned is impervious to the attacks of the elements. A strong point in its favor lies in the fact that it gives off no dust during dry weather, even though the surface is not watered.

THE QUICKENING ON WASHINGTON HEIGHTS.

Broadly viewed there has been a distinct improvement in realty conditions on Washington Heights of late which indicates that the confidence of investors in real estate in that zone is gathering renewed strength. This quickening particularly interests property owners in the section referred to, more especially those who were unfortunate in buying at top prices in the boom of 1906, and who have been anxiously awaiting the arrival of the moment when they can unload at a profit.

The revival of interest in trading and renting will not only affect the value of real estate within the limits mentioned, but its beneficial influence will be communicated as well to property as far north as the Dyckman tract. The chief causes contributing toward this welcome change can be assigned to the gradual northward movement and an increased tendency on the part of lower West Side tenants to locate on higher ground.

A careful canvas of the locality north of 145th st will show a relatively smaller percentage of vacancies in apartments on Washington Heights than exist in some sections of the middle West Side. Where vacancies exist good reasons can invariably be given why the percentage seems inordinately large.

There is nothing unusual about the accelerated movement in realty on Washington Heights, and although it has been a long time coming, those who understand conditions knew that it simply had to be.

OFFICIAL LEGAL NOTICES

ATTENTION IS CALLED TO THE ADVERTISEMENT IN THE CITY RECORD OF the confirmation by the Board of Assessors, and the entering in the Bureau for the Collection of Assessments and Arrears, of assessments for LOCAL IMPROVEMENTS in the BOROUGH OF BROOKLYN:

12TH WARD, SECTION 2. HUNTINGTON STREET—SEWER, between Henry and Hicks Streets. 17TH WARD, SECTION 9. SEWER BASIN at the northwest corner of NORMAN AVENUE AND RUSSELL STREET. 26TH WARD, SECTION 12. SEWER BASINS at the northeast and northwest corners of HOPKINSON AND BLAKE AVENUES. 30TH WARD, SECTION 17. 60TH STREET—SEWER, between 9th and Ft. Hamilton Avenues. 31ST WARD, SECTION 21. BOWERY—SEWER, from Jones Walk to Steeplechase Walk. SEWER in STEEPLCHASE WALK, from the Bowery to a point about 225 feet southerly therefrom; in KENSINGTON WALK, from Surf Avenue to a point about 325 feet south of Bowery; in VAN BERGENS WALK, from Surf Avenue to a point about 325 south of Bowery; in BUSCHMANS WALK, from Surf Avenue to a point about 325 feet south of Bowery; in SCHWEICKERTS WALK, from Surf Avenue to a point about 325 feet south of Bowery; in STRATTONS WALK, from the end of existing sewer north of the Bowery to a point about 300 feet south of the Bowery; in JONES WALK, from Surf Avenue to a point about 550 feet south of Surf Avenue; and in SWAN WALK, from Steeplechase Walk to Tilyou Walk.

HERMAN A. METZ,
Comptroller.
City of New York, September 1, 1908. (5674)

PUBLIC NOTICES.

PUBLIC NOTICE IS HEREBY GIVEN to the owner or owners of all houses and lots, improved or unimproved lands affected thereby, that the following proposed assessments have been completed and are lodged in the office of the Board of Assessors for examination by all persons interested, viz.:

BOROUGH OF BROOKLYN.

List 39, No. 1. Sewer in Park place, between Hopkinson avenue and Eastern Parkway extension, and sewer basin at the northeast corner of Park place and Hopkinson avenue.
List 43, No. 2. Sewer in Eighty-fifth street, between First and Third avenues.
List 52, No. 3. Sewer in Third avenue, be-

tween Ninety-second and Ninety-fourth streets.
List 57, No. 4. Sewer in Forty-fifth street, between Sixth and Seventh avenues, and in Forty-sixth street, between Sixth and Seventh avenues.

List 62, No. 5. Sewer in Ninety-sixth street, between Marine avenue and Shore road.

List 89, No. 6. Sewer in Bay Twenty-third street, between Eighty-sixth street and Benson avenue; receiving basins at the northerly and easterly corners of Benson avenue and Bay Twenty-third street; also outlet sewer in Bay Twenty-third street, between Benson and Bath avenues.

All persons whose interests are affected by the above-named proposed assessments and who are opposed to the same, or either of them, are requested to present their objections, in writing, to the Secretary of the Board of Assessors, No. 320 Broadway, New York, on or before October 6, 1908, at 11 A. M., at which time and place the said objections will be heard and testimony received in reference thereto.

For full particulars see City Record.

ANTONIO ZUCCA,
PAUL WEIMANN,
JAMES H. KENNEDY,

Board of Assessors.

WILLIAM H. JASPER,
Secretary,
No. 320 Broadway.
City of New York, Borough of Manhattan,
September 4, 1908. (5665)

PUBLIC NOTICE IS HEREBY GIVEN to the owner or owners of all houses and lots, improved or unimproved lands affected thereby, that the following proposed assessments have been completed and are lodged in the office of the Board of Assessors for examination by all persons interested, viz.:

BOROUGH OF RICHMOND.

List 9893, No. 1. Flagging where not already done and reflagging where out of repair with flag or other natural or artificial stone the sidewalks in Chestnut avenue, between New York avenue and the railroad crossing, and in Maple avenue, between New York avenue and the railroad crossing, in the Fourth Ward; also in Clark street, between Broad street and McKeon street; in Canal street, between Bay street and Brook street, and in Canal street, between Wright street and Broad street, in the Second Ward; also in Anderson avenue, between Washington place and Simonson place; in Harrison avenue, between Nicholas avenue and Lafayette avenue; in Maple avenue, between Grove avenue and

Harrison avenue; in Morningstar road, between Cedar street and Richmond terrace; in Morningstar road, between Cedar street and Prospect street; in Richmond avenue, between Mersereau avenue and Elizabeth street; in Sharp avenue, between Harrison avenue and Grove avenue, and in Slight street, between Nicholas avenue and Lafayette avenue, Third Ward; also in Broadway, between Forest avenue and Myrtle avenue; in Broadway, between Castleton avenue and Britton street; in Davis avenue, between Henderson avenue and Castleton avenue; in Richmond terrace, between Broadway and Van street, and in Taylor street, between Cary avenue and Prospect street, First Ward; also in Daniel Low terrace, between Van street and Hamilton avenue, and on Richmond turnpike, between Montgomery and Monroe avenues, First Ward; also in Carroll place, between Church street and Westervelt avenue; in Castleton avenue, between Jersey street and Cebra avenue; in Jersey street, between Henry street and Richmond turnpike; in Daniel Low terrace, between Fort place and Vine street; in Seventh avenue, opposite Bismarck avenue; Richmond turnpike, between Brook street and Oak street; in Oak street, between Richmond turnpike and Brook street, and in Brook street, between Oak street and Richmond turnpike, in the First Ward; also in Henderson avenue, between Lafayette avenue and Clinton avenue, and in Lafayette avenue, between Henderson avenue and Prospect avenue, in First Ward; also in Henderson avenue, between Lafayette avenue and Fourth street; also to set curb in front of southeast corner of Brook street and Jersey street, in First Ward, and to do such other work as may be necessary to the completion of the work described.

All persons whose interests are affected by the above named proposed assessments and who are opposed to the same, or either of them, are requested to present their objections, in writing, to the Secretary of the Board of Assessors, No. 320 Broadway, New York, on or before October 6, 1908, at 11 a. m., at which time and place the said objections will be heard and testimony received in reference thereto.

For full particulars see City Record.

ANTONIO ZUCCA,
PAUL WEIMANN,
JAMES H. KENNEDY,

Board of Assessors.

WILLIAM H. JASPER,
Secretary,
No. 320 Broadway.
City of New York, Borough of Manhattan,
September 5, 1908.

REAL ESTATE RECORDS

Key to abbreviations:

1st.—Q. C. is an abbreviation for Quit Claim deed, f. e., a deed wherein all the right, title and interest of the grantor is conveyed, omitting all covenants and warranty.

2d.—C. a. G. means a deed containing Covenant against Grantor only, in which he covenants that he hath not done any act whereby the estate conveyed may be impeached, charged or encumbered.

3d.—B. & S. is an abbreviation for Bargain and Sale deed, wherein, although the seller makes no expressed consideration, he really grants or conveys the property for a valuable consideration, and thus impliedly claims to be the owner of it.

4th.—The street and avenue numbers given in these lists are, in all cases, taken from the insurance maps when they are not mentioned in the deeds. The numbers, it will occasionally be found,

do not correspond with the existing ones, owing to their having been no official designation made of them by the Department of Public Works.

5th.—The first date is the date the deed was drawn. The second date is the date of filing same. When both dates are the same, only one is given.

6th.—The figures in each conveyance, thus, 2:482—10, denote that the property mentioned is in section 2, block 482, lot 10.

7th.—It should also be noted in section and block numbers that the instrument as filed is strictly followed.

8th.—A \$20,000—\$30,000 indicates the assessed value of the property, the first figures being for the lot only and the second figures representing both lot and building. Letter P before second figure indicates that the property is assessed as in course of construction. Valuations are from the assessment roll of 1908.

CONVEYANCES

August 28, 29, 31, September 1, 2 and 3. (No. 10.)

BOROUGH OF MANHATTAN.

Bleecker st, Nos 385 to 387½ n e cor Perry st, 57.3x54.9x58.9x Perry st, Nos 85 and 87 55.2, three 3-sty frame tenements, stores in Bleecker st. Release dower. Fannie E wife Wm C Timm to John H Timm. Aug 25. Sept 2, 1908. 2:622—69 and 70. A \$28,500—\$34,500. nom

Cannon st, Nos 93 and 95, w s, 225 n Rivington st, 50x100, 6-sty brk tenement and store. Release mort. Henry Krakower to Samuel Deitch. Sept 1, 1908. 2:334—62. A \$35,000—\$75,000. nom

Same property. Samuel Deitch to Rebecca I Goldsmith, of New ark, N J. Morts \$70,000. Aug 31, Sept 1, 1908. 2:334. other consid and 100

Cathedral Parkway, Nos 209 to 213, or n s, 150 w 7th av, 100x100, 110th st 6-sty brk tenement. Clementine M Silverman to C M Silverman & Son, a corpn. Apr 23. Sept 1, 1908. 7:1826—22 to 25. A \$68,000—\$. nom Charles st, Nos 33 to 37, n s, 125 w Waverly pl, 60x95, 6-sty brk tenement. Julius Lichtenstein to Morris A Steinberg. Mort \$60,000. Sept 1. Sept 3, 1908. 2:612—30. A \$30,000—\$90,000. other consid and 100

Cherry st, No 23, s s, abt 240 w Roosevelt st, 25.1x79.8x25.1x81.3 w s, 4-sty brk tenement and store.

Cherry st, No 25, s s, abt 220 w Roosevelt st, 25x95.7, 4-sty brk tenement and store and 2-sty brk tenement in rear.

Cherry st, No 29½, s s, abt 175 w Roosevelt st, 12.9x84x12.11x84, part 4-sty brk tenement and store.

Cherry st, No 29, s s, abt 165 w Roosevelt st, 12.5x84x12.7x84, part 4-sty brk tenement and store.

Pearl st, Nos 364 and 366, e s, 156.6 n Franklin sq, runs n e 122.1 x n 5.5 x w 110.5 x s 36.5 to beginning, two 4-sty brk tenements and stores.

Chas W Healy to Chester A Luff, Newark, N J. 1-63 part. Sept 2. Sept 3, 1908. 1:109—6, 7, 9 and 10. A \$30,900—\$37,500; and 112—7. A \$16,000—\$18,500. nom

Cherry st, No 416 (418), n s, 250 w Jackson st, 25x97.8, 6-sty brk tenement and store. Robert Grosberg to Rebecca Danson. Morts \$31,700. Aug 28. Sept 1, 1908. 1:261—23. A \$11,000—\$31,000. other consid and 600

Dyckman st, n s, abt 225 w F st, deed reads lot 137 map (No 208) of Geo J S Thompson at Inwood, begins 100 n w Hudson av and 225 n w F st, runs n w 100 x n e 25 x s e 100 x s w 25 to beginning, vacant. Henry W Showers to Bolton Road Realty Co. a corpn. B & S. July 15. Sept 1, 1908. 8:2247—59. A \$2,500—\$2,500. 6,500

Fulton st, No 125, old No 117 n s, abt 100 e Nassau st, 25x118.11, Ann st, No 44 to s s Ann st x25.2x118.11, 5 and

6-sty brk loft and store building. 1:91—11. A \$79,800—\$95,000.

Pearl st, No 64 s e s, 27.5 n w Coenties slip, 28.6x Water st, No 38, on map No 34 105 to n w s Water st, x28.6x 103.6, 5-sty brk loft and store building. 1:7—25. A \$26,500—\$38,000.

West End av n e cor 89th st, runs n 201.5 to s s 90th st x e 89th st 325 to w s Broadway, x s w 201.5 to n s 89th st, x w 325 to beginning, several 1 and 2-sty frame sheds and vacant. 4:1237—1. A \$625,000—\$625,000.

John st, No 26, s s, 50.3 w Nassau st, 25x64.2x25.2x64, 4-sty brk loft and store building. 1:65—25. A \$84,700—\$93,000.

Also property in Philadelphia, Pa, and Baltimore, Md. John Evans, Marquis A'Oyley and ano HEIRS, &c Thos W Evans

- to Thomas W Evans Museum & Institute Society. All title. Q C. Aug 11, 1908. Aug 31, 1908. nom
- Houston st, No 97, s s, 75 e Thompson st, 25x73.2, 5-sty brk tenement and store. Michele B Di Santi to Raffaella Tusio. Mort \$25,000. Aug 24. Aug 28, 1908. 2:516-19. A \$16,500-\$19,000. nom
- Hamilton pl, No 107, s e s, 22.10 s 142d st, 15.9x55.9x14.6x48.8, 3-sty brk dwelling. Emilie Lorch to Delia Daly. Mort \$11,250 and all liens. July 16. Aug 29, 1908. 7:2073-38. A \$3,500-\$7,500. other consid and 100
- Lawrence st, Nos 54 and 56, s w s, 118.6 s e Amsterdam av, 50x100, 6-sty brk tenement and store. Arnold Kaiser to Sound Realty Co, a corpn. Mort \$50,000. Aug 31. Sept 2, 1908. 7:1966-104. A \$16,000-\$60,000. other consid and 100
- Mangin st, No 13 | s w cor Broome st, 75x50, 6-sty brk Broome st, Nos 19 and 21 | tenement and store. FORECLOS, May 1, 1908. Edw B La Fetra referee to Dean Holding Co. Mort \$36,000. July 2. Aug 28, 1908. 2:321-14. A \$25,000-P \$75,000. 3,000 over mort
- Same property. Dean Holding Co to Irving Bachrach and Isaac Schmeidler. B & S. All liens. Aug 15. Aug 28, 1908. 2:321. other consid and 100
- Monroe st, No 55, n s, 187.4 e Market st, 25x100, 6-sty brk tenement and store. Louis Gordon et al to The City of New York. July 29. Sept 3, 1908. 1:274-5. A \$17,000-\$40,000. 50,000
- Pearl st, No 410 | s e s, 61.11 s w New Chambers st, runs New Chambers st, No 48 | s e 57.5 to w s New Chambers st x s 32.6 x n w 80.3 to Pearl st x n e 25.1 to beginning, 5-sty brk tenement and store. Wm A Butler Jr EXR and TRUSTEE Fredk K Agate to Henry J Weber. Sept 1, 1908. 1:115-6. A \$17,000-\$22,000. nom
- Pearl st, No 280, s s, 60 w Beekman st, 19.9x89.7x20x87.10 w s, 4-sty brk loft and store building. Moses H Levy to Emanuel Levy. 1-3 part. B & S. All liens. Aug 17. Sept 2, 1908. 1:95-19. A \$11,100-\$16,500. nom
- Rivington st, No 189. Power of attorney. Molly Bizger to Sam Bizger. Aug 22. Aug 31, 1908. P A.
- Rivington st, Nos 58 and 60, n s, 46.2 e Eldridge st, 42x80, 3-sty brk synagogue. FORECLOS, July 17, 1908. Wm F Clare referee to Universal Building & Construction Co. Mort \$43,000. Aug 18. Aug 29, 1908. 2:416-36. A \$32,000-exempt. 5,200
- Sheriff st, No 120, e s, 125 s Houston st, 25x100, 6-sty brk tenement and store. Hyman Schiff to Max Borek. All liens. June 4. Sept 1, 1908. 2:335-7. A \$20,000-\$42,000. other consid and 100
- Walker st, Nos 98 to 102 | n e cor Lafayette st, runs n 60 x e 62 x e Lafayette st, No 109 | 11.7 x s 59.10 to Walker st x w 78.4 to beginning, 8-sty brk loft and store building. Release mort. Greenwich Savings Bank to Lafayette Building Co. Aug 1, 1908. Aug 29, 1908. 1:197-part lot 21. 20,000
- Same property. Lafayette Building Co to Fredk W Matthiessen of La Salle, Ill. Aug 28. Aug 29, 1908. 1:197. other consid and 100
- Washington st, No 52, w s, 107.2 n Morris st, 20x90x31.7x89.6, 1 and 2-sty brk stable.
- West st, No 29, e s, 120.6 n Morris st, 29.10x99x18.3x89.3, 3-sty brk loft and store building. FORECLOS, July 17, 1908. Frank Hendrick referee to Charles Levinson. Aug 22. Aug 28, 1908. 1:17-5 and 52. A \$49,500-\$59,000. 62,000
- William st, No 91, n w s, abt 80 n Maiden lane, 14.6x27.9x14.8x27.10, 4-sty brk loft and store building. Charles L Engel to Maiden Lane & William Street Co. Aug 26. Aug 29, 1908. 1:67-6. A \$31,100-\$33,000. other consid and 100
- Same property. FORECLOS, Aug 26, 1908. Arthur C Patterson referee to Charles I Engel. Aug 26. Aug 29, 1908. 1:67. 75,500
- William st, No 91, n w s, 78.4 n Maiden lane, runs n w 27.10 x n e 14.8 x s e 27.9 to st x s 14.6 to beginning, 4-sty brk loft and store building. Marie Sonntag widow et al to City Real Estate Co. All title. Q C. Aug 29, 1908. 1:67-6. A \$31,100-\$33,000. nom
- Wooster st, Nos 137 and 139, w s, 120 n Prince st, 50x100, 6-sty brk loft and store building. FORECLOS, Aug 31, 1908. Frank Hendrick referee to United States Trust Co of N Y. Sept 2. Sept 3, 1908. 2:515-34. A \$46,000-\$77,000. 83,100
- 4th st E, Nos 369 to 373, n e s, 109 s e Av D, 50x96, 1, 3 and 5-sty brk bakery. Regina Margaretten to Joseph, Leopold, Moses A and Saml I Horowitz. Mort \$35,000. June 30. Sept 2, 1908. 2:360-34 and 36. A \$38,000-\$43,000. other consid and 100
- 5th st E, No 222, s s, 308.1 w 2d av, 20.9x92.4, 3-sty brk tenement. Amalia Friedman to Martha Wolfman. Jan 6. Aug 28, 1908. 2:460-22. A \$13,000-\$16,000. nom
- 6th st E, No 625, n s, 368.6 e Av B, 24.9x90.10.
- 6th st E, No 627, n s, 393.3 e Av B, 24.9x90.10. two 5-sty brk tenements and stores. Louis Weisman to Mechel Landesbaum. All title. Mort \$47,000. Sept 1. Sept 2, 1908. 2:389-47 and 48. A \$32,000-\$48,000. other consid and 100
- 7th st E, Nos 213 and 213½. Agreement as to alteration of buildings and secures notes. Moritz Leibovitz of Brooklyn, contractor, with Mary Krasnoff, owner. Prior morts \$24,000. July 28. Sept 3, 1908. 2:390. 3,350
- 8th st E, No 364, s s, 158.3 e Av C, 24x97.6, 6-sty brk tenement and store. Hyman Schiff to Max Borek. All liens. June 4. Sept 1, 1908. 2:377-14. A \$14,000-\$35,000. other consid and 100
- 8th st E, No 333, n s, 164.3 w Av C, 24.9x93.11, 6-sty brk tenement. Hyman Schiff to Max Borek. All liens. June 4. Sept 1, 1908. 2:391-43. A \$17,000-\$37,000. other consid and 100
- 9th st E, No 315, n s, 200.2 e 2d av, 24.9x92.3x24.8x92.3, 6-sty brk tenement and store. Luis Weisman to Mechel Landesbaum. All title. Mort \$31,750. Sept 1. Sept 2, 1908. 2:451-54. A \$19,000-\$38,000. other consid and 100
- 10th st W, Nos 60 and 62, s s, 150.8 s e 6th av, 42.2x92.3, 7-sty brk tenement. Emily G Painter to Paul H Sheridan as TRUSTEE for Carnegie Trust Co. B & S. Given to secure note for \$7,500. Sub to mort for \$116,500. Dec 31, 1907. Sept 3, 1908. 2:573-11. A \$40,000-\$125,000. nom
- 14th st E, No 432, s s, 419 e 1st av, 25x94.2 to c 1 old Stuyvesant st x 29.10x110.6, 6-sty brk tenement and store. FORECLOS, Aug 31, 1908. James M Sullivan referee to Benjamin Kaufmann. Sept 1. Sept 3, 1908. 2:441-23. A \$19,000-\$44,000. 41,250
- 16th st E, No 536, s s, 170.7 w Av B, 24.11x103.3, with all title to strip. 0.1x— on e s, 5-sty brk tenement. Gaetano Lignante to Cira Lignante. All title. Aug 31. Sept 1, 1908. 3:973-38. A \$9,000-\$18,500. other consid and 100
- 16th st E, Nos 514 and 516, s s, 220.6 e Av A, 50x103.3, two 5-sty brk tenements and stores and 2 and 3-sty brk tenements in rear. John H Tietjen to Chas H Blohm, of Jersey City, N J. Mort \$—, Aug 28. Aug 31, 1908. 3:973-48, 49. A \$18,000-\$36,500. other consid and 100
- 19th st E, Nos 40 and 42, s s, 231 e Broadway, 42x92, 9 and 10-sty brk and stone loft, office and store building. Ewald Mommer to Forty-Two East Nineteenth Street Co. Mort \$140,000. Aug 28, 1908. 3:847-50. A \$86,000-\$200,000. other consid and 100
- 19th st W, No 270, s s, 170 e 8th av, 20x93.8, 4-sty brk tenement and 1-sty brk extension. Prudential Real Estate Corporation to Edward Early. Morts \$13,000. Sept 1. Sept 2, 1908. 3:768-75. A \$9,000-\$12,000. 100
- 20th st W, No 212, s s, 179.4 w 7th av, 25x83.11x25x83.3, 3-sty brk tenement and 3-sty brk tenement in rear. Annie L Klee widow et al to Patrick and Tole Harte. Aug 19. Aug 28, 1908. 3:769-46. A \$9,500-\$11,500. nom
- 20th st W, No 214, s w s, abt 204.4 w 7th av, 25x83.11x25x84.7, 3-sty brk tenement. Annie L Klee widow to Patrick and Tole Harte. Aug 19. Aug 28, 1908. 3:769-47. A \$9,500-\$11,500. nom
- 20th st W, No 222, s s, abt 300 w 7th av, 25x86.7x25x87.3 w s, 6-sty brk tenement. Morris Goldman to Isak Flam. Morts \$37,900. Aug 28. Sept 1, 1908. 3:769-51. A \$11,500-\$32,000. exch and 100
- 25th st E, No 325, n e s, abt 275 w 1st av, 25x98.9, 4-sty brk tenement and store. Chas F Henderson to Patk J Byrnes. Aug 27. Aug 28, 1908. 3:931-17. A \$9,500-\$12,500. 100
- 26th st E, No 326, s s, 250.4 w 1st av, 24.8x98.9, 5-sty brk tenement and store. Emanuel Schwal to Jacob Feirberg. ½ part. Mort \$22,450. July 27. Sept 2, 1908. 3:931-41. A \$10,000-\$20,000. other consid and 100
- 30th st E, No 328, s s, 349.2 e 2d av, 21x98.9, 4-sty brk tenement. Sarah E Griffiths to Francis M and Theodore Carpenter, of Mt Kisco, N Y. Q C. Sept 2. Sept 3, 1908. 3:935-45. A \$8,500-\$11,500. nom
- 30th st E, No 328, s s, 349.2 e 2d av, 21x98.9, 4-sty brk tenement. Francis M Carpenter et al HEIRS & c Phebe Carpenter to John A Kayan. Sept 1. Sept 3, 1908. 3:935-45. A \$8,500-\$11,500. other consid and 100
- 31st st, No 108 West. Power of attorney. Louis Hyman to Lena Hyman his wife. May 8. Aug 31, 1908.
- 37th st E, Nos 322 and 324, s s, 224 w 1st av, 48x98.9, two 4-sty stone front tenements. Chas E Crowell et al EXRS, & c, Emma A Richardson to Ellen Brady. Aug 25. Sept 1, 1908. 3:942-41 and 42. A \$20,000-\$29,000. 32,500
- 44th st W, No 522, s s, 325 w 10th av, 25x100.5, 5-sty brk tenement. Henry Nechols to Philip Lockley. Morts \$22,500. Sept 1. Sept 2, 1908. 4:1072-46. A \$9,000-\$20,000. other consid and 100
- 47th st W, Nos 133 to 137, n s, 420 e 7th av, 60x100.4, with all title to strip 60x0.1 in rear of above, 12-sty brk and stone hotel. 135 West Forty-seventh Street, a corpn. to Swetland Realty Co. Mort \$300,000. Sept 1, 1908. 4:1000-18. A \$110,000-\$135,000. other consid and 100
- 47th st W, No 173, n s, 60 e 7th av, 20x60.4, 3-sty stone front dwelling. Annie Evans to Ada L Westcott, Stephen C Millett and Henry E Black EXRS and TRUSTEES Robt E Westcott. Mort \$30,000. Sept 1. Sept 2, 1908. 4:1000-1C. A \$28,000-\$30,000. 100
- 48th st W, No 515, n s, 225 w 10th av, 25x100.5, 5-sty stone front tenement. Marjondonia Giorgio to Rosa Maraffina. Mort \$20,500. Aug 28. Sept 3, 1908. 4:1077-23. A \$9,000-\$19,000. other consid and 100
- 48th st W, No 523, n s, 325 w 10th av, 25x100.5, 5-sty stone front tenement. Marjondonia Giorgio to Rosa Maraffina. Morts \$19,000. Aug 28. Sept 3, 1908. 4:1077-19. A \$9,000-\$19,000. other consid and 100
- 49th st E, No 353, n s, 93.9 w 1st av, 18.9x100.5, 3-sty stone front dwelling. Jacob Loewel to Frima Nudelman. Mort \$7,000. Aug 29. Aug 31, 1908. 5:1342-22. A \$6,500-\$8,500. nom
- 51st st E, No 425, n s, 235.8 e 1st av, 16.8x100.5, 4-sty stone front tenement. John Reinhardt to Emil and John Tonetti. Mort \$4,500. Aug 27. Sept 3, 1908. 5:1363-10½. A \$5,300-\$8,000. other consid and 100
- 52d st E, No 310, s s, 160 e 2d av, 20x100.5, 4-sty stone front tenement. John Beveridge to Lillias P wife of and Daniel M Dunham. Morts \$11,000. Aug 29. Sept 3, 1908. 5:1344-46. A \$7,000-\$10,000. other consid and 100
- 53d st E, Nos 406 to 420, s s, 94 e 1st av, runs s 89.6 x s e 203.5 x n w 126.7 to s s 53d st x w 200 to beginning, 1 and 3-sty brk buildings. Theo Langenbahn to Wm P Rinckhoff. Mort \$62,000. Aug 27. Aug 28, 1908. 5:1364-39 and 40. A \$74,000-\$102,500. other consid and 100
- 52d st E, No 310, s s, 160 e 2d av, 20x100.5, 4-sty stone front tenement. Lillias P wife of and Daniel M Dunham to John Beveridge, of Mt Vernon, N Y. Mort \$7,500. Aug 29. Aug 31, 1908. 5:1344-46. A \$7,000-\$10,000. other consid and 100
- 54th st W, No 432, s s, 383.4 e 10th av, 16.8x53.6x16.8x52.3, 1-sty frame store. William Bucknor to John Ball. Sept 3, 1908. 4:1063-49. A \$5,000-\$5,000. other consid and 100
- 54th st W, No 432, s s, 383.4 e 10th av, 16.8x53.6x16.8x52.3, 1-sty frame store. John Ball to Louis Kendal. Mort \$2,000. Sept 3, 1908. 4:1063-49. A \$5,000-\$5,000. nom
- 55th st W, No 534, s s, 300 e 11th av, 25x100.5, 5-sty brk tenement. Jacob Freeman to May R Calthrop. Mort \$16,000. Aug 27. Sept 2, 1908. 4:1083-52. A \$9,000-\$16,000. other consid and 100
- 62d st W, No 224, s s, 350 w Amsterdam av, 25x100.5, 5-sty brk tenement. James A Hogan to Jacob T Hildebrandt. Mort \$19,000. Sept 1. Sept 2, 1908. 4:1153-47. A \$6,000-\$16,000. nom
- 62d st W, No 224, s s, 350 w Amsterdam av, 25x100.5, 5-sty brk tenement. Anna Behan to James A Hogan. Morts \$19,000. Aug 31. Sept 2, 1908. 4:1153-47. A \$6,000-\$16,000. other consid and 100
- 62d st W, No 224, s s, 350 w Amsterdam av, 25x100.5, 5-sty brk tenement. Marjorie G Singer to Anna Behan. B & S. Aug 27. Aug 29, 1908. 4:1153-47. A \$6,000-\$15,000. 100
- 64th st E, No 46, s s, 150 w Park av, 12.5x100.5, 4-sty and basement stone front dwelling. John A Rutherford to Wm McMills. Mort \$12,000. June 24. Aug 28, 1908. 5:1378-43. A \$25,000-\$28,000. other consid and 100
- Same property. Wm McMills to Francis Smyth. Mort \$12,000. Aug 25. Aug 28, 1908. 5:1378. other consid and 100
- Same property. Francis Smyth to Grace H Smyth his wife. Mort \$22,000. Aug 27. Aug 28, 1908. 5:1378. other consid and 100

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68th st W, No 9, n s, 100 w Central Park West, 28.6x100, 6-sty brk and stone tenement. Horace M Swetland to Alfred E Hanson, of Brooklyn. Mort \$50,000. Aug 28. Sept 1, 1908. 4:1121-28. A \$22,800-\$58,000. other consid and 100
Same property. Alfred E Hanson to One Thirty-five West Forty-seventh Street, a corp. Mort \$47,000. Sept 1, 1908. 4:1121. 100

69th st W, No 231, n s, 345 w Amsterdam av, 40x100.5, 6-sty brk tenement. Lewis W Boynton to Herman C Evarts. Mort \$60,000. Sept 1, 1908. 4:1161-17. A \$16,000-\$68,000. other consid and 100

73d st E, No 307, n s, 150 e 2d av, 25x102.2, 4-sty brk tenement. Abraham Wind to Abraham Mayer. Sept 1, 1908. 5:1448-7. A \$9,000-\$15,500. nom

74th st E, Nos 210 to 214, s s, 135 e 3d av, 50x102.2, two 4-sty brk tenements and stores and 2 and 3-sty brk tenements in rear. Emanuel Levy to Augusta Buchner, of Brooklyn, N Y. Mort \$29,500. Aug 14. Sept 3, 1908. 5:1428-42 and 43. A \$22,000-\$32,500. other consid and 100

75th st E, No 442, s s, 100 w Av A, 25x102.2, 6-sty brk tenement and store. Paul Braus et al to August Keller. Mort \$22,350. Sept 1, 1908. 5:1469-29. A \$8,000-\$30,000. other consid and 100

75th st E, No 442, s s, 100 w Av A, 25x102.2, 6-sty brk tenement and store. Hirsch Hommel to Abraham Orently. Mort \$29,250. Correction deed. Dec 26, 1907. Sept 1, 1908. 5:1469-29. A \$8,000-\$30,000. nom

78th st W, No 225, n s, 281 w Amsterdam av, 19x102.2, 3-sty and basement stone front dwelling. Chas R Hubert to James L Holland. Mort \$18,000. Aug 26. Aug 28, 1908. 4:1170-20½. A \$15,000-\$20,000. other consid and 100

78th st W, No 225, n s, 281 w Amsterdam av, 19x102.2, 3-sty and basement stone front dwelling. Chas F Schorer to Chas R Hubert, of Yonkers, N Y. Mort \$18,000. Apr 28. Aug 28, 1908. 4:1170-20½. A \$15,000-\$20,000. 24,500

80th st W, No 118, s s, 525 e Amsterdam av, 17.6x102.2, 4-sty and basement stone front dwelling. Albert L Schomp to Edwin S Robinson. Mort \$14,000. May 25. Sept 2, 1908. 4:1210-43. A \$10,000-\$21,000. nom

80th st E, No 232, s s, 187.1 w 2d av, runs s 78.11 x s e 2.7 x s 22.6 x w — x n 102.2 to st, x e 26.4 to beginning, 6-sty brk tenement and store. Betsie Wolt to Berel Kramer. Mort \$36,500. Sept 1. Sept 2, 1908. 5:1525-33. A \$11,000-\$34,000. nom

80th st E, No 232, s s, 187.1 w 2d av, runs s 78.11 x s e 2.7 x s 22.6 x w — x n 102.2 to st x e 26.4 to beginning, 6-sty brk tenement and store. Berel Kramer to Rose Smigel. Mort \$36,500. Sept 2. Sept 3, 1908. 5:1525-33. A \$11,000-\$34,000. nom

80th st E, No 112, s s, 275.10 w Lexington av, 18.4x102.2, 3-sty stone front dwelling. Celia R Marcus to Rey H wife Waldron P Belknap. Mort \$16,000. Aug 31. Sept 1, 1908. 5:1508-68. A \$11,500-\$16,500. other consid and 100

81st st E, No 211, n s, 127.1 e 3d av, 25.5x102.2, 6-sty brk tenement and store. Samuel Deitch to Nicolas Jacobson. Mort \$29,500. Sept 1. Sept 3, 1908. 5:1527-6. A \$11,000-\$32,000. other consid and 100

81st st E, No 211, n s, 127.1 e 3d av, 25.5x102.2, 6-sty brk tenement and store. Nathan Burnstine to Lena Coher, of Newark, N J. Mort \$33,000. May 19. Sept 2, 1908. 5:1527-6. A \$11,000-\$32,000. other consid and 100

Same property. Lena Cohen to Samuel Deitch. Mort \$29,500. Aug 19. Sept 2, 1908. 5:1527. other consid and 100

84th st W, No 25, n s, 368 w Central Park West, 32x102.2, 5-sty stone front tenement. Fredk H Sauer to Agnes R Boyd. Mort \$39,000. Sept 1, 1908. 4:1198-17. A \$22,000-\$42,000. other consid and 100

85th st W, No 25, n s, 210 w Central Park West, 20x102.2, 5-sty stone front dwelling. James Carlew to Edward Schaefer. Mort \$35,000. Aug 27. Aug 29, 1908. 4:1199-24. A \$15,000-\$25,000. other consid and 100

91st st W, No 80, s s, 75 e Columbus av, 25x100.8, 5-sty stone front tenement. Phillip H Wallenstein to Honora J and Patrick J Flynn. Mort \$17,000. Sept 1. Sept 2, 1908. 4:1204-60½. A \$16,000-\$25,000. other consid and 100

91st st W, No 124, s s, 308.4 w Columbus av, 33.4x100.8, 5-sty brk tenement. Alfred V Wittmeyer to Krell Realty Co. Mort \$45,000. Sept 1. Sept 2, 1908. 4:1221-45. A \$18,000-\$43,000. other consid and 100

92d st W, No 43, n s, 405 e Columbus av, 20x100.8, 3-sty and basement stone front dwelling. Mary A Mullins to Mary Muir. Q C. Aug 31. Sept 1, 1908. 4:1206-17. A \$11,000-\$16,000. nom

Same property. Mary Muir to Robert C MacElrath. Sept 1, 1908. 4:1206. other consid and 100

96th st W, No 204, s s, 117.3 w Amsterdam av, 27x100.8, 5-sty brk tenement. Charles Salmon and ano to Mary B Cunningham. Q C and correction deed. Aug 7. Sept 3, 1908. 4:1243-37. A \$16,000-\$29,000. nom

100th st E, Nos 111 and 113, n s, 227.6 w Lexington av, 51x100.11, two 5-sty brk tenements. Adolf Prince et al to Benj M Gruenstein and Jos L B Mayer. Mort \$55,000. Aug 21. Aug 31, 1908. 6:1628-6 and 7. A \$20,000-\$50,000. nom

100th st W, Nos 164 and 166, s s, 108.4 e Amsterdam av, 41.7x100.11, brk church. Henry Strunk to The German Evangelical Lutheran Trinity Church. Q C. Aug 27. Sept 1, 1908. 7:1854-59. A \$18,200—exempt. nom

100th st E, No 76 ½ s cor Park av, 73.3x25.11, 5-sty brk tenement. Park av, No 1316 ment. FORECLOS, Aug 28, 1908. James A Foley referee to Jonas Weil and Bernhard Mayer. Aug 31. Sept 1, 1908. 6:1605-40. A \$10,500-\$20,000. 2,000 over and above mort of 17,000

102d st W, No 14, s s, 126.11 e Manhattan av, 18x100.11, 5-sty brk tenement. James T Dougherty to Michael D Farrel. Mort \$13,000. Sept 1. Sept 2, 1908. 7:1837-42. A \$8,600-\$20,000. 100

104th st W, No 18, s s, 80 e Manhattan av, 20x100, 5-sty brk tenement. Helen F wife Agostino Montegriffo to James R Keane. Mort \$25,000. Aug 27. Aug 29, 1908. 7:1839-44. A \$8,800-\$20,000. other consid and 100

106th st E, No 212, s s, 160.6 e 3d av, runs s 23.5 x w 0.6 x s 40.2 x e 0.6 x s 24 x w 0.6 x s 13.4 x e 27 x n 100.11 to st x w 26.6 to beginning.

106th st, No 214, s s, 187 e 3d av, 27x100.11, two 6-sty brk tenements and stores. Max Aronson to Adolph Gittler. B & S. ½ part. All title. Aug 21. Aug 28, 1908. 6:1655-41 and 42. A \$22,000-\$70,000. nom

108th st E, Nos 315 to 321, n s, 250 e 2d av, 100x100.11, two 6-sty brk tenements and stores. Release mort. Henry Kern to Max Kurzrok, of Brooklyn. Sept 1. Sept 2, 1908. 6:1680-11 and 13. A \$30,000-\$122,000. 38,333.32

Same property. Release mort. Isidore Jackson and ano to same. Sept 1. Sept 2, 1908. 6:1680. 12,000

108th st E, Nos 323 to 329, n s, 350 e 2d av, 100x100.11, two 6-sty brk tenements and stores. Release mort. Henry Kern to Max Kurzrok, of Brooklyn. Sept 1. Sept 2, 1908. 6:1680-15 and 17. A \$30,000-\$122,000. 38,333.32

Same property. Release mort. Isidore Jackson and ano to same. Sept 1. Sept 2, 1908. 6:1680. 12,000

108th st E, Nos 331 and 333, n s, 450 e 2d av, 50x100.11, 6-sty brk tenement and store. Release mort. Henry Kern to Max Kurzrok, of Brooklyn. Sept 1. Sept 2, 1908. 6:1680-19 and 21. A \$30,000-\$122,000. 19,166.66

Same property. Release mort. Isidore Jackson and ano to same. Sept 1. Sept 2, 1908. 6:1680. 6,000

112th st E, Nos 246 and 248, s s, 100 w 2d av, 37.6x110.11, 6-sty brk tenement and store. Harris Faden to Osias Aschkenis. Mort \$48,000. Aug 31, 1908. 6:1661-30. A \$12,500-\$44,000. nom

112th st W, n s, 100 e Broadway, 25x100.11, vacant. Marie Saltz-sieder TRUSTEE Otto Schneider to Emily S Dow. Sept 2. Sept 3, 1908. 7:1884-6. A \$13,000-\$13,000. other consid and 100

112th st E, No 13, n s, 225 e 5th av, 19x100.11, 5-sty brk tenement. Wm A Phipps to Warren Pond, of Montclair, N J. Mort \$16,250. Aug 10. Aug 28, 1908. 6:1618-9½. A \$8,500-\$16,000. nom

113th st E, No 67, n s, 254.4 w Park av, 25.8x100.11, 5-sty brk tenement. Teresa Scholz to Gussie M Shelt. Mort \$16,000. Aug 31. Sept 1, 1908. 6:1619-25. A \$11,000-\$21,000. 100

Same property. Gussie M Shelt to Gilbert F Coshland. Mort \$18,000. Aug 31. Sept 1, 1908. 6:1619. 100

113th st W, No 616, s s, 214.6 e Riverside Drive, 20x100.11, 4 and 5-sty brk dwelling. Sabra A Deshon to Gamma Epsilon Chapter of Delta Tau Delta Fraternity, a corp. Mort \$16,500. Sept 1. Sept 2, 1908. 7:1895-30. A \$12,000-\$22,000. other consid and 100

113th st W, n s, 100 w Amsterdam av, 50x100.11, vacant. Lawyers Realty Co to Lawyers Title Ins & Trust Co. B & S. Feb 27, 1906. Sept 2, 1908. 7:1885-27 and 28. A \$26,000-\$26,000. other consid and 100

Same property. Lawyers Title Ins & Trust Co to Paterno Bros, a corp. Sept 1, 1908. Sept 2, 1908. 7:1885. other consid and 100

115th st E, Nos 315 and 317, n s, 200 e 2d av, 50x100.11, 6-sty brk tenement and store. Angelo Di Benedetto to Louis Peirano. Mort \$57,500. Aug 31. Sept 1, 1908. 6:1687-9. A \$7,000-\$58,000. other consid and 100

115th st W, Nos 237 and 239, n s, 225 e 8th av, 50x100.11, 5-sty brk tenement. Wm A P Phipps to Bessie M Phipps. Mort \$55,000. Aug 10. Aug 28, 1908. 7:1831-10. A \$22,000-\$60,000. nom

115th st E, No 11, n s, 200 e 5th av, 34.10x100.11, 5-sty stone front tenement and store. Harry Kovner to John Dobrer. Mort \$30,500. Aug 29. Aug 31, 1908. 6:1621-9. A \$17,000-\$36,000. other consid and 100

115th st E, No 167, n s, 257.6 w 3d av, 12.6x100, 3-sty stone front dwelling. FORECLOS, July 22, 1908. Stephen Callaghan referee to Noel B Sanborn TRUSTEE for Mary Van Dyks. Aug 4. Aug 31, 1908. 6:1643-27. A \$5,000-\$6,000. 5,500

118th st W, Nos 268 and 270, s s, 200 e 8th av, 50x100.11. Declaration as to part ownership in above premises. Hannah Englander to Louis Stern. Aug 17. Aug 31, 1908. 7:1923. —

118th st E, Nos 306 to 310, s s, 100 e 2d av, 81.6x100.10, two 6-sty brk tenements and stores. Robert Garcewich to Josephine La Bahn. All liens. Aug 24. Sept 1, 1908. 6:1689-46 and 47. A \$27,000-\$104,000. 100

119th st E, Nos 348-350, s s, 110 w 1st av, 40x100.11, 6-sty brk tenement and store. Mabel Orem to Samuel Lipman and Morris Naftolowitz. All liens. Aug 26. Aug 29, 1908. 6:1795-33. A \$9,500-\$16,000. other consid and 100

121st st W, No 234, s s, 339 w 7th av, 18x100.11, 5-sty brk tenement. Annie Lessler to Simon Levy. Mort \$16,000. Aug 26. Sept 3, 1908. 7:1926-47½. A \$8,600-\$16,000. nom

121st st W, No 315, n s, 95 e Manhattan av, 25x100.11, 5-sty stone front tenement. Henry H Korn to Hyman Friedman. Mort \$26,000. Aug 28. Aug 29, 1908. 7:1948-22. A \$10,500-\$24,000. other consid and 100

121st st E, No 520, s s, 225 e Pleasant av, runs s 80 x e 1.5 x s 20.11 x e 21.7 x n 100.11 to st x w 23 to beginning, vacant. Saml Banard to Martin C Wright. Mort \$6,000. July 13. Aug 28, 1908. 6:1817-26. A \$3,500-\$3,500. 10,000

121st st E, No 229, n s, 325 e 3d av, 25x100.11, 6-sty brk tenement and store. Hyman Friedman to Henry H Korn. Mort \$32,000. Aug 28. Aug 29, 1908. 6:1786-14. A \$7,000-\$31,000. other consid and 100

122d st E, Nos 247 to 251, n s, 101.6 w 2d av, 42x100.11, 6-sty brk tenement. Josef Gertner et al to Sunflower Realty & Security Corp. Mort \$45,000. Aug 27. Aug 28, 1908. 6:1787-19. A \$12,500—P \$35,000. other consid and 100

122d st W, No 238, s s, 488 w 7th av, 34x100.11, 5-sty brk tenement. FORECLOS, Aug 4, 1908. Frank Hendrick referee to Julia Mayer. Sept 1, 1908. 7:1927-53. A \$16,300-\$38,000. 40,100

124th st E, Nos 15 and 17, n s, 145 w Madison av, 50x100.11, 125th st E, No 24, s s, 95 w Madison av, 20x100.11, 125th st E, Nos 18 and 20, s s, 135 w Madison av, 40x100.11, 128th st E, Nos 157 and 159, n s, 135.6 e Lexington av, 50x99.11, Attorney st, No 105, w s, 60 s Rivington st, 20x50.

Declaration by Chas H Hart, Irene N Collard and Emma J Sheridan DEVISEES & Joseph B Hart to take said real estate free and clear of power of sale under said will. Aug 25. Sept 3, 1908. 6:1749 and 1777, and 2:348.

127th st E, No 74, s s, 127.6 w Park av, 12.6x99.11, 3-sty stone front dwelling. Manhattan Land & Security Co to Peter Clancimino, of Madison, N J. Mort \$6,500. Sept 3, 1908. 6:1751-42½. A \$4,500-\$8,000. 100

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129th st E, No 113, n s, 190 e Park av, 25x99.11, 5-sty brk tenement and store. Mary F Shepard to Agnes M Sheridan. Mort \$20,000. Aug 21. Sept 2, 1908. 6:1778-9. A \$8,000-\$17,500. nom

130th st E, No 29, n s, 92.6 w Madison av, 17.6x99.11, 3-sty stone front dwelling. Mary O'Connor to Catherine Harte. Mort \$7,000. Aug 27. Sept 1, 1908. 6:1755-13. A \$7,000-\$11,000. 100

133d st W, No 7. Power of attorney. Lydia Alexander to Maximilian Fraade. June 25. Aug 28, 1908.

133d st W, No 266, s s, 100 e 8th av, 16.8x99.11, 3-sty stone front dwelling. Eliz F Washburn to Harriet Garrison. B & S. Mort \$8,000. Sept 1. Sept 2, 1908. 7:1938-60. A \$6,600-\$9,000. other consid and 100

133d st W, No 262, s s, 133.4 e 8th av, 16.8x100, 3-sty stone front dwelling. Emilie Bein to Belle H Bein. Mort \$5,000. Aug 31, 1908. 7:1938-59. A \$6,600-\$9,000. nom

136th st W, No 17, n s, 260 w 5th av, 37.6x99.11, 6-sty brk tenement. Release mort. Chelsea Realty Co to Samuel Strasbourger. Sept 2. Sept 3, 1908. 6:1734-26. A \$16,000-\$46,000. 31,700

138th st W, Nos 33 and 37, n s, 295 w 5th av, 75x99.11, two 6-sty brk tenements and stores. FORECLOS, Aug 28, 1908. Henry B Hammond referee to Henry C Strahmann. Mort \$26,000. Aug 31, 1908. 6:1736-23 and 25. A \$28,000-\$88,000. 45,000

142d st W, No 515, n s, 425 e Broadway, 17x99.11, 3-sty brk dwelling.

Also all other land and personal property of which Richd M Berrian died seized.

Release dower. Belle M Berrian widow to Marie H Burt EXTRX Richd M Berrian. Aug 28. Sept 2, 1908. 7:2074-19. A \$5,000-\$12,000. 11,000

143d st W, No 470, s s, 63.2 e Amsterdam av, 16.10x99.11, 3 and 4-sty stone front dwelling. Matilda H Russak to Caroline W Sweezy. Mort \$10,000. Sept 1. Sept 2, 1908. 7:2058-56. A \$4,300-\$12,500. other consid and 100

145th st W, Nos 163 and 165, on map Nos 161 and 163, n s, 100 e 7th av, 40x99.11, 6-sty brk tenement and store. Samuel Lauria et al to Margaret Ludlow. Mort \$57,250. Aug 31. Sept 3, 1908. 7:2014-6. A \$21,000-\$56,000. other consid and 100

147th st W, No 439, n s, 325 w St Nicholas av, 22.6x79.11, 3-sty stone front dwelling. John Haffen et al to Alfred Hafner. Mort \$18,000. Aug 31. Sept 2, 1908. 7:2062-19. A \$5,700-\$14,500. other consid and 100

148th st W, No 215, on map No 213, n s, 287.3 w 7th av, 37.5x99.11, 5-sty brk tenement. Josiah Jones to Alice Blaine and August Nebeling. Mort \$34,000. Aug 31, 1908. 7:2034-19. A \$10,500-\$35,000. nom

153d st W, Nos 258 to 264, s s, 127 w Macombs Dam road, 100x100, two 6-sty brk tenements. David Zipkin to Lincoln Holding Co. All liens. Aug 10. Sept 3, 1908. 7:2038-55 and 57. A \$28,000-\$108,000. other consid and 100

157th st W, Nos 507 and 509, n s, 150 w Amsterdam av, 50x99.11, two 5-sty brk tenements. Marks Moses to Jacob Oppenheim. Mort \$51,000. Aug 28. Aug 31, 1908. 8:2116-43. A \$20,000-\$52,000. 100

161st st W, Nos 518 and 520, s s, 275 w Amsterdam av, 50x99.11, two 2-sty frame dwellings. FORECLOS, July 21, 1908. Isham Henderson referee to Pincus Lowenfeld and William Prager. Aug 20. Aug 28, 1908. 8:2119-27 and 28. A \$16,000-\$19,500. 16,225

169th st W, n s, 118.3 w Broadway, 25x75.8, vacant. Annie M Geraty to John J Geraty her husband. Aug 29. Sept 1, 1908. 8:2138-167. A \$3,500-\$3,500. other consid and 100

176th st W, n s, 100 w Audubon av, 150x99.11, vacant. Arthur W Saunders to Gem Realty Co. Mort \$38,000. May 27. Aug 31, 1908. 8:2133-54. A \$24,000-\$24,000. other consid and 100

177th st W, s s, 100 w Audubon av, 150x99.11, vacant. Arthur W Saunders to Gem Realty Co. Mort \$38,000. Dec 19. Aug 31, 1908. 8:2133-40. A \$24,000-\$24,000. other consid and 100

180th st W, n s, 229.5 e Fort Washington av, 100x110, vacant. The Fluri Construction Co to The Degenhardt Construction Co. Mort \$21,333.33. Aug 27. Aug 29, 1908. 8:2176-part lot 100. 1,000

184th st W, n s, 225 e Amsterdam av, 75x99.11, except part for park or st, vacant. Fernando Wood to Jos A Flannery. Mort \$—. Mar 20, 1903. Aug 31, 1908. 8:2149. omitted

Av A, No 1539, w s, 76.10 n 81st st, 25x106.6, 5-sty brk tenement and store. FORECLOS, Aug 19, 1908. Harvey T Andrews referee to Jonas Weil and Bernhard Mayer. Mort \$20,000. Aug 20. Aug 29, 1908. 5:1561-24. A \$10,500-\$23,500. 7,000 over mort

Amsterdam av, No 926, w s, 75.11 n 105th st, 25x100, 5-sty brk tenement and store. Elizabetha Nagel widow to Fred Dinkel. Mort \$18,000. Aug 31. Sept 1, 1908. 7:1877-32. A \$18,000-\$28,000. nom

Amsterdam av, No 1403 n e cor 129th st, runs e 96.3 x n e 8.1 x n 129th st, No 499 — x w 100 x s 24.9 to beginning, 5-sty brk tenement and store.

129th st, n s, 96.3 e Amsterdam av, runs e 3.7 x n 7 x s w to beginning.

Loring pl, w s, 80.1 n 183d st, 21x101.4x20.11x102.8, 3-sty brk dwelling.

Arthur Balthaser TRUSTEE under deed made by Marie Wittmack to Marie and Chas A Wittmack. Trust deed. Aug 22. Aug 29, 1908. 7:1969-1. A \$18,000-\$40,000; 11:3225. nom

Amsterdam av, Nos 2525 to 2531, e s, 45.4 n 185th st, 82.8x100x41.4x100, two 6-sty brk tenements and stores. Albert London to Anniren Realty Co. Mort \$93,000. June 25. Sept 3, 1908. 8:2149-76 and 77. A \$20,000-\$96,000. other consid and 100

Amsterdam av, Nos 1504 and 1506, w s, 119.10 s 135th st, 39.11x100, 6-sty brk tenement and store. Dora S Rothschild to Isaac Weingart. Aug 20. Sept 2, 1908. 7:1988-31. A \$20,800-\$60,000. other consid and 100

Broadway, e s, 74.11 s 152d st, 25x100, vacant. Edward C Burns to Thomas Ward. June 8. Sept 1, 1908. 7:2083-2. A \$16,000-\$16,000. other consid and 100

Broadway, No 2801 n w cor 108th st, 201.10 to 109th st x100, 108th st, No 301 two 11-sty brk and stone tenements. FORECLOS, July 28, 1908. M Linn Bruce referee to Carrie M Butler. Mort \$840,000. Aug 4. Aug 28, 1908. 7:1893-13 and 17. A \$240,000-\$950,000. 1,300,000 ✓

Broadway, e s the blk, 1-sty frame sheds and vacant.

87th st, s s Broadway & 86th Street Co, a corpn, to Bel-

Amsterdam av, w s nord Realty Co, a corpn. July 17. Sept 3,

86th st, n s 1908. 4:1234-19 to 46. A \$729,500- nom

Broadway, Nos 1780 and 1782, e s, 108.1 s 58th st, 53.10x111.3 x50x131.2, 1-sty frame shop.

57th st W, Nos 225 and 227, n s, 400 e 8th av, 50x100.5, vacant.

John E Marsh EXR & Ralph Marsh to The B F Goodrich Co of N Y, a corpn. Sept 2. Sept 3, 1908. 4:1029-13 and 15 and 17 and 18. A \$340,000-\$340,000. 375,000

Broadway, No 2861 n w cor 111th st, runs w 75 x n 46 x n e — x 111th st e — to Broadway x s 50.5 to beginning, vacant. Larimer A Cushman to The Larimer A Cushman Baking Co. All liens. Aug 29. Aug 31, 1908. 7:1894-47, 48. A \$57,000-\$57,000. other consid and 100

Broadway, Nos 3820 to 3826 n e cor 159th st, 99.11x100, 6-sty brk 159th st tenement and stores. Sound Realty Co to Arnold and Michaelis Kaiser. Mort \$210,000. Sept 1. Sept 2, 1908. 8:2118-1. A \$55,000-\$190,000. other consid and 100

Broadway, No 2787, w s, 100 s 108th st, 25x100, 5-sty brk tenement and store. Althea R Ward to Keystone Investing Co. Mort \$20,000. Sept 1. Sept 2, 1908. 7:1892-48. A \$27,000-\$37,000. other consid and 100

Broadway, No 2781 n w cor 107th st, 26.10x100, 5-sty brk tenement and store. Althea R Ward to Keystone Investing Co. Mort \$50,000. Sept 1. Sept 2, 1908. 7:1892-45. A \$42,000-\$60,000. other consid and 100

Same property. Keystone Investing Co to Frank A Jaeger. Mort \$50,000. Sept 1. Sept 2, 1908. 7:1892. other consid and 100

Broadway, Nos 3544 to 3548 n e cor 145th st, 99.11x125, 6-sty brk 145th st tenement and stores. Keystone Investing Co to Althea R Ward. Mort \$310,000. Aug 1. Sept 2, 1908. 7:2077-1. A \$107,000-\$170,000. other consid and 100

Broadway, No 734 (738), e s, abt 145 s Astor pl, runs s 24.9 x e 137.6 x n 24.9 x w 22 x n 0.6 x w 115.6 to beginning, 11-sty brk and stone loft and store building.

Vesey st, No 102, n e s, abt 85 e West st, 20x99.8x20.1x99.8, 3-sty brk and frame loft and store building.

Beatrice wife of and Olivier de Rodellec du Porzie to Marie C Post, of Bayport, L I. 1/2 part. Aug 13. Sept 2, 1908. 2:545-21. A \$105,000-\$110,000; 1:84-8. A \$23,500-\$26,000. nom

Edgecombe av, Nos 169 and 171, on map No 171, w s, 475 s 145th st, 40x100, 6-sty brk tenement. FORECLOS, Aug 27, 1908. Geo H Engel referee to Sarah Goldin. Mort \$37,000. Aug 27. Aug 28, 1908. 7:2051-81. A \$11,000-\$38,000. 1,000 over mort

Edgecombe av s e cor 137th st, 19.10x90, 3-sty brk dwelling.

137th st, No 324 Margt Ludlow to Edw Kates. Mort \$14,000. Aug 31. Sept 3, 1908. 7:1960-63. A \$12,000-\$21,000. nom

Same property. Edward Kates to William Hagedorn. Mort \$14,000. Sept 2. Sept 3, 1908. 7:1960. other consid and 100

Lexington av, No 1833, e s, 80.8 s 114th st, 20.3x78, 4-sty stone front tenement and store. Jacob T Hildebrandt to James A Hogan. Mort \$14,500. Aug 31. Sept 2, 1908. 6:1641-52. A \$8,500-\$14,500. other consid and 100

Same property. James A Hogan to Floris T Whittaker. Mort \$14,500. Aug 31. Sept 2, 1908. 6:1641. other consid and 100

Madison av, Nos 1427 and 1429, e s, 50.11 s 99th st, 50x100, 7-sty brk tenement. Benoit Wasserman to Philip Krauss. Mort \$79,000. Sept 1. Sept 2, 1908. 6:1604-52. A \$40,000-\$100,000. other consid and 100

Same property. Philip Krauss to Hamilton Holding Co, a corpn. Mort \$79,000. Sept 1. Sept 2, 1908. 6:1604. other consid and 100

Madison av, No 1618. Power of attorney. Alice Sullivan to Michl Sullivan. July 31, 1898. Aug 31, 1908.

Manhattan av, No 128, e s, 68.3 n 105th st, 16.4x86.10, 3-sty and basement brk dwelling. Mary D Reynolds to Louise A Hopf. Mort \$7,000 and all liens. Sept 1. Sept 2, 1908. 7:1841-16. A \$7,800-\$13,500. other consid and 100

Park av, No 821 n e cor 75th st, 27.2x100, 5-sty brk tenement 75th st, No 101 and store. Eliz H Halsey, of Summit, N. J., as HEIR & Caroline R Nichols to Rosie E Wood, of Rockland Co, N Y. Assignment of all title as collateral for note or loan of \$4,350 at 6%. Aug 31. Sept 2, 1908. 5:1410-1. A \$50,000-\$72,000. 4,350

Pleasant av, Nos 437 and 441, on map Nos 437 and 439, w s, abt 28 s 123d st, 50x100, 6-sty brk tenement and store. Jos Gertner et al to Sunflower Realty & Security Corpn. Mort \$42,000. Aug 27. Aug 28, 1908. 6:1810-26. A \$10,000-\$40,000. other consid and 100

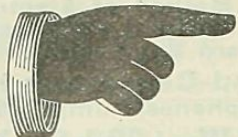
Riverside Drive n e cor 120th st, 54x100.3, vacant. Eliza W 120th st White of Litchfield, Conn, to Caroline White of Litchfield, Conn. 1/2 part. B & S. Mar 6. Sept 2, 1908. 7:1991-assessment with lot 13. nom

Riverside Drive e s, 54 n 120th st, runs n 38.8 x e 148.2 x s 115.4 120th st to n s 120th st x w 46.3 x n 54 x w 100.3 to beginning, vacant. Caroline White of Litchfield, Conn, to Eliza W White of Litchfield, Conn. 1/2 part. B & S. Mar 6. Sept 2, 1908. 7:1991-assessed with lot 13. nom

Riverside Drive n e cor 85th st, 102.2x200, vacant. City Investing Co to Riverside Drive Realty Co. B & S. Mort \$225,000. Aug 28. Sept 1, 1908. 4:1247-1. A \$190,000-\$190,000. other consid and 100

St Nicholas av, No 173, w s, 32.3 s 119th st, 22.9x107x19.5x95.1, 5-sty brk tenement. Kate wife Edward Molyneux to Michael Bunworth. Mort \$15,500. Aug 25. Sept 1, 1908. 7:1924-53. A \$9,500-\$18,000. nom

St Nicholas av, No 396, e s, 36.11 s 130th st, 18x125, 3-sty and basement stone front dwelling. Equitable Life Assur Soc of the U S to Teofila Spiro. C a G. Sept 1, 1908. 7:1955-47. A \$8,500-\$13,000. other consid and 100



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St Nicholas av, No 173, w s, 32.3 s 119th st, 22.9x107x19.5x95.1, 5-sty brk tenement. Michl Bunworth to Edw Molyneaux. Mort \$15,500. Aug 31. Sept 2, 1908. 7:1924-53. A \$9,500-\$18,000. nom

Wadsworth av s e cor 184th st, 99.11x100, vacant. Michl J Dowd 184th st to Dowd Construction Co. Mort \$20,000. Aug 6. Aug 29, 1908. 8:2165-55 to 58. A \$25,000-\$25,000.

West End av, Nos 834 and 836, e s, 50.11 s 101st st, 50x100, two 5-sty stone front tenements. Althea R Ward to Keystone Investing Co. Mort \$50,000. Sept 1. Sept 2, 1908. 7:1872-63 and 64. A \$40,000-\$78,000. other consid and 100

West End av, No 353, w s, 136.4 n 76th st, 22x55.5, 4-sty and basement brk (stone front) dwelling. Adelaide Lagasse to Theodosia S Howard. Mort \$18,000. Sept 1, 1908. 4:1185-73. A \$14,000-\$25,000. other consid and 100

1st av, No 290 | n e cor 17th st, 23x94, two 5-sty brk tenement and store. Louis Weisman to Mechel Landesbaum. All title. Mort \$27,000. Sept 1. Sept 2, 1908. 3:949-1. A \$18,500-\$31,000. other consid and 100

1st av, No 2414, e s, 50.6 s 124th st, 25x100, 5-sty brk tenement and store. Abraham Cohen to Rachael Vexler or Vechler. Mort \$19,500. May 13, 1907. Sept 3, 1908. 6:1811-47. A \$9,000-\$20,000. other consid and 100

2d av, No 947, w s, 40.5 n 50th st, 20x70, 4-sty stone front tenement and store. Maurice Herrmann to Marcus Friedlander. Mort \$11,500. Aug 31, 1908. 5:1324-24. A \$10,000-\$13,000. 100

2d av, Nos 2040 to 2044 | n e cor 105th st, 75.11x75, three 4-sty brk 105th st, No 301 | tenements and stores. Goodman Mortgage & Realty Co to Hamilton Holding Co, a corpn. All liens. Aug 2. Sept 3, 1908. 6:1677-1 to 3. A \$30,000-\$67,000. other consid and 100

3d av, No 1702, w s, 73.8 s 96th st, 27x100, 5-sty brk tenement and store. Charlotte L Ziegler to Charlotte A Hagemeyer. Mort \$23,000. Aug 31. Sept 1, 1908. 5:1524-37. A \$20,500-\$31,000. other consid and 100

3d av, Nos 371 and 373 | s e cor 27th st, 49.10x85, 7 and 8-sty 27th st, Nos 200 and 202 | brk tenement and stores.

3d av, No 369, e s, 49.10 s 27th st, 24.2x85, 7-sty brk loft and store building.

27th st, Nos 204 to 208, s s, 85 e 3d av, 75x98.8, 5 and 6-sty brk loft and store building.

26th st, No 209, n s, 110 e 3d av, runs e 25 x n 98.8 x w 27 x s 49.4 x e 2 x s 49.4 to beginning, 6-sty brk loft and store bldg. Israel A Rich to Henry H Schumacher. All title. B & S. All liens. Aug 28, 1908. 3:907-54 to 57 and 8. A \$110,000-\$262,000. nom

Same property. Paul Schwarz to same. 1-3 part. B & S. Aug 28, 1908. Mort \$220,000. 3:907. other consid and 100

7th av, No 587, e s, 39.1 n 41st st, 20x71.4x20.2x73.10, 4-sty brk tenement and store. John F Carroll to Frederick W Fieder Jr. July 27. Sept 2, 1908. 4:994-2½. A \$52,000-\$53,000. other consid and 100

7th av, Nos 589 to 595 | e s, 49.5 s 42d st, runs e 99.11 to w s, Broadway, Nos 1457 to 1463 | Broadway x s 92 x w 53.3 x s 0.4½ x w 71.4 to av x n 89 to beginning, 7-sty stone front hotel (Saranac). John H Edwards as RECEIVER of the New Amsterdam National Bank of N Y to Frederick W Fieder Jr. B & S. Mort \$400,000. Sept 1. Sept 2, 1908. 4:994-7. A \$900,000-\$925,000. 1,100,000

7th av, Nos 589 to 595 | e s, 49.5 s 42d st, runs e 99.11 to w s, Broadway, Nos 1457 to 1463 | Broadway x s 92 x w 53.3 x s 0.4½ x w 71.4 to av x n 89 to beginning, 7-sty stone front hotel (Saranac).

7th av, No 587, e s, 39.1 n 41st st, 20x71.4x20.2x73.10, 4-sty brk tenement and store. Frederick W Fieder Jr to Henry Phipps, of Westbury, L I. Mort \$400,000. Sept 1. Sept 2, 1908. 4:994-2½ and 7. A \$952,000-\$978,000. other consid and 100

10th av, No 317, w s, 49.4 n 28th st, 24.8x100, 5-sty brk tenement and store. Philip E Haag INDIVID and as EXR Ida Haag to Patrick J Cronin. Mort \$9,000. Sept 1, 1908. 3:700-31. A \$12,000-\$24,000. other consid and 100

12th av, old line, n w cor 49th st, if prolonged, 117x688.8 to exterior line x117.4 to n s 49th st x679, with docks, bulkheads, riparian rights, land under water, &c. Mary Ryan to Arthur E Tayer. Mort \$35,000 and all liens. July 20. Sept 3, 1908. 4:1108-17. A \$50,000-\$50,000. other consid and 100

Interior lot, begins at c l of blk bet 31st and 32d sts, at point 225 e 2d av, runs n 17 x e 25 x s 17 x w 17 to beginning, 2-sty brk building. Louis Frankel to Lizzie Newman. July 1. Sept 1, 1908. 3:937-part of lot 58. 100

MISCELLANEOUS.

Exemplified copy of last will and codicil of Eliza A Banta widow, of Mamaroneck, N Y. Feb 13, 1901. Aug 29, 1908. Wills. Five copies of the stenographers minutes in the matter of the application of Julia L Delafield to perpetuate the testimony of Maturin L Delafield and Thomas E Thorn at hearing held July 14, 1908, before Benj Fagan referee. Aug 27. Aug 28, 1908.

Revocation of power of attorney. Ernest P O'Sullivan to Percy B O'Sullivan. Sept 3, 1908.

Power of attorney. Giuseppe Anastasi to Rosario Anastasi. Aug 7, 1906. Sept 3, 1908.

Power of attorney. Bertha Abel to Harry Abel. Aug 26. Sept 3, 1908.

Power of attorney. Henry Phipps to John S Phipps. June 9. Sept 3, 1908.

Power of attorney. Lewis M Bloomingdale to Clara Bloomingdale. May 1. Aug 31, 1908.

Power of attorney. Marmaduke Tilden to Henry P Butler. Aug 8. Sept 2, 1908.

Power of attorney. John H Hammond of Gloucester, Mass, to Harris Hammond of Gloucester, Mass. Aug 26. Sept 1, 1908.

Power of attorney. Louis A Scharlach and ano to Sally Scharlach. Oct 3, 1907. Aug 28, 1908. P A.

BOROUGH OF THE BRONX.

Under this head the * denotes that the property is located in the new Annexed District (Act of 1895).

Barry st, late Leggett av s w cor 147th st, 100x25, vacant. Wm K 147th st Lancaster to Jos A Flannery. Mav 23. Aug 31, 1908. 10:2737. nom

Clinton pl, No 76, s s, 339 w Grand av, 27x100, 2-sty frame dwelling. Release mort. Lambert S and Abraham C Quackenbush to Michael J Keenan. July 31. Sept 3, 1908. 11:3207. nom

Same property. Michael J Keenan to Eliz A M Meany. Mort \$6,500. Aug 31. Sept 3, 1908. 11:3207. other consid and 100

Faile st, No 1015, w s, 489.1 s Bancroft st, 20x100, 3-sty brk dwelling. American Real Estate Co to Blume Hess. Sept 1. Sept 2, 1908. 10:2749. other consid and 100

Hall pl | e s, 163.1 s 167th st, runs e 51.8 and 48 to w s Intervale av | vale av x s 28 x w 56.7 and 52.7 to pl x n 30 to beginning, 2-sty frame dwelling and store and vacant. Mary Leimbacher to Louis Siegel. Mort \$7,700. Aug 31. Sept 1, 1908. 10:2700. other consid and 100

Jennings st, No 843, on map No 1111, n s, 143.9 w Wilkins av, 37.6x100.1x32.7x100, 5-sty brk tenement. Marie Mayer to Jennie Wormser. Mort \$22,500. Aug 29. Aug 31, 1908. 11:2965. other consid and 100

Oak Tree pl, No 608, s s, 176.3 w Hughes av, 21.9x95x21.5x95, 2-sty frame dwelling. CONTRACT. Barnett Nowack or Norvack et al with Alois L Ernst. Mort \$4,130. Aug 27. Aug 29, 1908. 11:3070. 500

Rogers pl, e s, 350.1 n Westchester av, 50x90, vacant. Jennie Melnick to Joseph Stromwasser and Sigmund Thau. Mort \$3,000. Aug 28. Sept 3, 1908. 10:2699. nom

*4th st, s e s, 140 n e Union av, 20x100, Westchester. John J Darcey to J C Julius Langbein. Mort \$2,000 and all liens. Aug 28. Sept 1, 1908. nom

*15th st, s s, 255 e Av B, 25x108, Unionport. Frank J Zentgraf to Julius Kaminsky. Sept 1, 1908. nom

132d st, Nos 689 and 691, n s, 170 e Trinity av, 30x110, two 2-sty frame dwellings. Isabella McCormack to Julia Vaine. B & S. All liens. June 1. Sept 2, 1908. 10:2561. other consid and 100

133d st, Nos 721 to 731, n s, 500 e Cypress av, 100x103.5x100x103.6, 2-sty brk factory and 1 and 2-sty frame stable in rear. FORECLOS Aug 14, 1908. Frank Moss referee to Solomon Ehrlich. Mort \$13,000. Aug 14. Aug 29, 1908. 10:2562. 500 over mort

134th st, No 539, n s, 200 w St Ann's av, 25x100, vacant. Sarah Cohen to Eidas Realty Co. Mort \$4,000. Aug 17. Aug 31, 1908. 9:2262. 1

136th st, Nos 241 to 245 | n e s, 175 n w 3d av, 75 to Rider av | Rider av, Nos 190 to 204 | x150, 1 and 3-sty brk and frame factory.

136th st, Nos 247 and 249, n e s, 125 n w 3d av, 50x150, 1 and 2-sty brk and frame factory.

136th st, No 251, n e s, 100 n w 3d av, runs n w 25 x n e 150 x s e 34.6 x s w 68.6 x n w 3 x s w 81.6 to beginning, 1 and 2-sty brk and frame factory.

136th st, n s, 99.6 w 3d av, runs n 81.11 x w 5.3 x s 82.1 to st, x e 0.4 to beginning.

Plot begins at s w cor lot 112 adj lot 111, runs e 59.6 x n 25 x w 59.7 x s 25 to beginning, being rear part of lots 112 and 113 map Mott Haven.

Henry Huber Co to George F Neidlinger of West Park, Ulster Co, N Y. Mort \$35,000. July 31. Sept 1, 1908. 9:2320. nom

141st st, No 300, s w s, 100 n w 3d av, 24x100, 2-sty frame dwelling. Frances Plassmann to Henry Herrlich. Sept 3, 1908. 9:2321. nom

149th st, No 737, n s, 154 e Robbins av, 46x100, 1-sty frame building and 2-sty frame tenement in rear. FORECLOS, July 9, 1908. Geo W Collins referee to Christopher Cassens. Aug 28, 1908. 10:2641. 9,500

149th st, No 151, n s, 98.9 e Walton av, 17.8x103.1x17.8x103.5, 3-sty brk tenement. Wm C Ormiston et al EXRS, &c, Wm Ormiston to Timothy F Fay. Oct 28, 1907. Aug 28, 1908. 9:2347. other consid and 5,000

Same property. Timothy F Fay to Edw Spranger. Mort \$4,500. Aug 17. Aug 28, 1908. 9:2347. other consid and 100

155th st, No 282, s s, 120.3 e Morris av, 25x100, 4-sty brk tenement. Mary A Hood to John Schlierer. Mort \$12,500. Aug 31. Sept 1, 1908. 9:2414. other consid and 100

161st st, No 764, s s, 148.6 e Forest av, 24.3x101.2, 3-sty frame tenement and store. Harriet A L Both to Emma L Shears. Mort \$6,000. Sept 2, 1908. 10:2657. 100

161st st, No 280, s s, 101 e Morris av, 65x125, except part for st, 3-sty frame dwelling. Isaac Pennamacoor et al to Barbara McArdle. Mort \$10,000. Sept 2, 1908. 9:2420. other consid and 100

163d st, No 410, s s, 75.6 e Melrose av, 37.6x100, 5-sty brk tenement. Jennie Wormser to William Schussler. Mort \$30,000. Aug 29. Aug 31, 1908. 9:2384. other consid and 100

165th st, No 661, old No 855, n s, 73.5 w Trinity av, 37.6x100, 5-sty brk tenement. Samuel Mann et al to Elise Zannatti. Mts \$35,500. Aug 7. Sept 1, 1908. 10:2633. other consid and 100

169th st, No 366, s s, 20 w Teller av, 20x90, 3-sty frame dwelling. Thornton Bros Co to Malvina Greenberg and Saml and Isaac Mendelsohn. Mort \$5,000. Aug 27. Aug 28, 1908. 9:2431. other consid and 100

169th st, No 359, n s, 79.11 e Findlay av, 20x90, 2-sty frame dwelling. Jennie Lampel to Miriam Kohn. ½ part. Mort \$1,480. Sept 2. Sept 3, 1908. 11:2782. nom

169th st, n s, 67.4 w Fox st, runs n 21.2 x e 3.8 x s 24.5 to beginning, gore. Geo F Tiffany to Ernest W Schade. Q C. Aug 28. Aug 31, 1908. 10:2719. nom

*173d st, w s, 381 s Gleason av, 50x100. Hugh O'Keefe to Lizzie O'Keefe. Aug 28, 1908. nom

176th st, late Morris st, s s, 109 e Anthony av, late Prospect av, runs s 134 x e 128 x n 31.6 x n e 196.6 to st, x s w 210 to beginning, except part for 176th st, 2-sty frame dwelling and vacant. Julia A Watson and ano to Daniel G Griffin. Mort \$7,000. Aug 26. Sept 1, 1908. 11:2892. other consid and 100

176th st, late Morris st, s s, 109 e Anthony av, late Prospect av, runs s 134 x e 128 x n 31.6 x n e 196.6 to st, x s w 210 to beginning, except part for 176th st, 2-sty frame dwelling and vacant. Julia A Watson and ano to Daniel G Griffin. Mort \$7,000. Aug 26. Sept 1, 1908. 11:2892. other consid and 100

176th st, late Morris st, s s, 109 e Anthony av, late Prospect av, runs s 134 x e 128 x n 31.6 x n e 196.6 to st, x s w 210 to beginning, except part for 176th st, 2-sty frame dwelling and vacant. Julia A Watson and ano to Daniel G Griffin. Mort \$7,000. Aug 26. Sept 1, 1908. 11:2892. other consid and 100

176th st, late Morris st, s s, 109 e Anthony av, late Prospect av, runs s 134 x e 128 x n 31.6 x n e 196.6 to st, x s w 210 to beginning, except part for 176th st, 2-sty frame dwelling and vacant. Julia A Watson and ano to Daniel G Griffin. Mort \$7,000. Aug 26. Sept 1, 1908. 11:2892. other consid and 100

176th st, late Morris st, s s, 109 e Anthony av, late Prospect av, runs s 134 x e 128 x n 31.6 x n e 196.6 to st, x s w 210 to beginning, except part for 176th st, 2-sty frame dwelling and vacant. Julia A Watson and ano to Daniel G Griffin. Mort \$7,000. Aug 26. Sept 1, 1908. 11:2892. other consid and 100

176th st, late Morris st, s s, 109 e Anthony av, late Prospect av, runs s 134 x e 128 x n 31.6 x n e 196.6 to st, x s w 210 to beginning, except part for 176th st, 2-sty frame dwelling and vacant. Julia A Watson and ano to Daniel G Griffin. Mort \$7,000. Aug 26. Sept 1, 1908. 11:2892. other consid and 100

THE GEORGE A. JUST CO.**239 VERNON AVENUE
LONG ISLAND CITY****IRON WORK****FOR
BUILDINGS**

- 180th st, n s, 108.7 e Daly av, 100x154.1x99.11x152.1, vacant. Joseph Fried to Arc Realty Co. B & S. Sept 3, 1908. 11:3128. other consid and 100
- 183d st, No 705, n s, 35.1 e Beaumont av, 18.2x75, 2-sty frame dwelling and store. Release mort. Theodore Wentz to Emil Ginsburger. Aug 27. Sept 2, 1908. 11:3101. 3,000
- 183d st, No 701 n e cor Beaumont av, 17.1x75, 2-sty Beaumont av, No 2292 frame tenement and store. Release mort. Theodore Wentz to Emil Ginsburger. Aug 27. Sept 1, 1908. 11:3103. 3,500
- 183d st, No 703, n s, 17.1 e Beaumont av, 18x75, 2-sty frame tenement and store. Release mort. Same to same. Aug 27. Sept 1, 1908. 11:3103. 3,000
- 188th st, n s, 550 e Tee Taw av, 33.4x110x33.4x109, 2-sty frame dwelling. Hugh McLernon to Geo O'Hanlon. Mort \$6,000. Aug 24. Aug 28, 1908. 11:3219. other consid and 100
- 194th st, late Kingsbridge road's w cor Morris av, 194.6x80, va-Morris av cant. Henry U Singhi to H U Singhi Realty Co, a corpn. Mort \$28,500. Aug 31. Sept 2, 1908. 11:3191. other consid and 100
- *216th st, s s, 302 w 4th st or av, 50x114. Pasqualina Guarino to Pasqualina Guarino. Mort \$600. Aug 27. Aug 29, 1908. other consid and 100
- *222d st, late 8th av, n s, abt 505 e 4th av, and being gore lot 76 map of Wakefield, 71.6x—x100x114, except part for 222d st. FORECLOS, Aug 10, 1908. Abram S Jaffer referee to Mercer Ramsay. Aug 27. Sept 3, 1908. 1,300
- *228th st, s s, 280 e Barnes av, 25x114, Wakefield. Carl M Nicholson to Rosa Solner. Mort \$4,000. Aug 27. Aug 31, 1908. nom
- *232d st, late 18th av, n s, 1,372.10 e White Plains road, 152.1x114. Rosa Solner to Carl M Nicholson. Mort \$3,000. Aug 31, 1908. nom
- *235th st, late 21st av, s s, 230 w White Plains road, 25x114. Emil Leske to John A Ewald. Mort \$4,000. Aug 24. Aug 31, 1908. other consid and 100
- 260th st, s s, 71.3 e Liebig av, 100x118.9, vacant. Also strip 5.11 wide lying bet s s 260th st on final map and s s Beech st on tax map. Also strip 5 ft wide lying bet w s Tyndall av as on final maps and w s Hill st on tax map. Sarah Bacharach et al EXRS Herrman Bacharach to Daniel S Morrison. Mort \$1,350. Aug 26. Aug 28, 1908. 13:3423. 2,700
- Andrews av, w s, 150.10 n 183d st, 50x99.11, vacant. Release mort. Ida J Ray to Thomas Haddock of Germonds, Rockland Co, N Y. Q C. July 23. Sept 1, 1908. 11:3225. nom
- Same property. Thomas Haddock to Alexander Walker. July 23. Sept 1, 1908. 11:3225. other consid and 100
- Aqueduct av, No 2222, e s, 187.6 s 183d st, 37.6x101.11, 2-sty frame dwelling. Wm C Bergen to Jacob Niemann. Mort \$7,000. Aug 31. Sept 1, 1908. 11:3211. other consid and 100
- Anthony av, e s, 75 s Prospect pl, 50x97.8x50x100, vacant. Wm H Schubert to Lucy C Delcher. Mort \$3,375. Sept 2, 1908. 11:2890. other consid and 100
- Brook av, Nos 1341 and 1343, w s, 91.8 s Anna pl, 41.7x90, 6-sty brk tenement and store. R & W Realty Co to Charlotte Salm. Mort \$31,500. Sept 1. Sept 2, 1908. 11:2893. other consid and 100
- Brook av, Nos 1068 to 1074, e s, — n 165th st and 110.3 n land N Y & Harlem R R, runs s e 49.11 x n e 100 x n w 79.8 to av x s 106.3 to beginning, two 2-sty frame dwellings and 4-sty frame tenement. Leo Levinson to City Real Estate Co. Mort \$8,000. Sept 2, 1908. 9:2392. other consid and 100
- *Barker av, e s, 166 n Julianna st, 34x125. Etta Forgotston to Sarah Bernstein. B & S. Jan 15, 1907. Aug 31, 1908. nom
- Belmont av, Nos 2165 and 2167, w s, 329.6 n 181st st, 49.5x79.3x49.5x80.7, two 2-sty frame dwellings. Sarah Cohen to Belmont Bond & Mortgage Co. Mort \$3,500. Aug 29. Aug 31, 1908. 11:3082. nom
- *Boston Post road, n s, abt 72 e Cedar st, 24x94x25x—; also all title to lots 132 and 133 revised map Seneca Park; also all title to w ½ plot 492 map Arden property. Patrick J Brady to Brady Realty Co. B & S and C a G. Aug 25. Aug 28, 1908. other consid and 100
- *Barker av, w s, 175 s Mace av, 50x100. Leonard J Studley to Franklyn J Studley. Mort \$875. July 17. Aug 31, 1908. nom
- *Briggs av, n e cor 4th st, 50x110x47x110, Williamsbridge. Joseph Rotstein to Delia Cary. Mort \$1,000. Sept 2. Sept 3, 1908. other consid and 100
- Brook av, w s, 50 n 170th st, 75x90, vacant. Samuel Rosenberger to Cohen & Eckman Corpn. Mort \$6,800. Aug 31. Sept 3, 1908. 11:2896. 100
- *Baychester av, w s, at n line N Y, Westchester & Boston R R Co, runs n w 423.3 x s w 100 x n w 143.5 to s e s Boston road x s w 31.4 x s w 18.8 x s e 117.2 x s w 80 x s e 603.5 to land N Y, Westchester & Boston R R Co x n e 277.5 to beginning. Baychester av, w s, at s s land said railroad company, runs s e 1,098.9 x s w 19.4 x s e 23.2 to av x s e 242.8 x s w 191.11 x n w 139.7 x n w 306.3 x n w 770.6 to land of said railroad company x n e 277.5 to beginning. Baychester av, e s, 1,962.8 s e Boston road, runs s e 137.8 x n e 132.6 x n w 191.1 to beginning, containing altogether 9 685-1,000 acres. Edward Brady et al to Brady Realty Co. B & S and C a G. Mort \$3,900. Aug 25. Aug 28, 1908. other consid and 100
- Belmont av, w s, 227.6 s 182d st, 50.2x79.4x50x80.7, vacant. FORECLOS, June 18, 1908. Harry A Mendelson referee to Sarah Cohen. Mort \$1,000. July 9. Aug 28, 1908. 11:3082. 2,500
- Boston road, No 1382, abt 280 n Union av, 40x134.2x41.9x122.3, 5-sty brk tenement and store. Hyman Goldfarb to Harry Herzog. Mort \$42,250. Aug 26. Aug 28, 1908. 11:2962. other consid and 100
- Briggs av, No 2924, e s, 25.1 n 199th st, late Garfield st, 25.1x101.8x25x104, 2-sty frame dwelling. James R Keane to Helen F wife Agostino Montegriffo. Mort \$1,400. Aug 27. Aug 28, 1908. 12:3296. exch
- Bryant av, e s, 125 n 172d st, 25x100, vacant. James A Lynch to Cornelius O'Keeffe. Aug 28. Aug 29, 1908. 11:3001. other consid and 100
- Brook av, Nos 1337 and 1339, w s, 133.4 s Anna pl, 41.7x90, 6-sty brk tenement. R & W Realty Co to Anna H Brewer. Mort \$33,000. Sept 1. Sept 2, 1908. 11:2893. other consid and 100
- College av, Nos 477 to 481 n w cor 146th st, 110x37.6, 6-sty brk 146th st, No 317 tenement and store. 146th st, Nos 313 and 315, n s, 37.6 w College av, 37.6x110, 6-sty brk tenement and store. William Oppenheim to Joseph P Hayes. All liens. Aug 17. Sept 2, 1908. 9:2329. other consid and 100
- *Carpenter av, e s, 26.9 s 235th st, strip, 0.3x105.6. Release mort. The North Borough Home Co to Friedrich Vollmar. Aug 7. Sept 2, 1908. nom
- Crimmins av, Nos 325 and 327, w s, 191.10 n 141st st, 47.10x80, 5-sty brk tenement. David H Stein to Magdalena Kaicher, of Brooklyn, N Y. Q C. 1-3 part. June 29. Aug 31, 1908. 10:2556. nom
- Same property. Esther Blumenthal to same. Aug 13. Aug 31, 1908. 10:2556. other consid and 100
- Same property. Annie Wilson to same. Aug 13. Aug 31, 1908. 10:2556. other consid and 100
- Concord av, No 341, w s, 140 s 142d st, 16.8x100, 3-sty brk dwelling. Release mort. Fanny C Lyon et al as TRUSTEES Samuel E Lyon to Phoebe Minzie. Nov 30, 1907. Sept 3, 1908. 10:2573. 4,000
- *Cleveland av, s s, being lots 10 and 11 and westerly part of lot 12, 145x100, Penfield property, South Mt Vernon. Herman Gauss to Max Wulfsohn. Mort \$3,825. July 16. Aug 29, 1908. other consid and 100
- Davidson av, No 2364, e s, 185 n North st, 17x115, 2-sty brk dwelling. Zilpha Berrian to John Connelly. Mort \$4,200. Sept 3. 1'08. 11:3198. other consid and 100
- Daly av, No 1980, e s, 225.9 n Tremont av, 25x46.9x25x46.1, 2-sty frame dwelling. Carl L Keil to Philip Cahill. Mort \$2,300. Aug 29. Sept 3, 1908. 11:3126. nom
- *Elliott av, n w s, 25 n e Schuyler st, 100x100.8x111.4x100. Chas H Mallen et al to Cath A Mallen. All title. June 20, 1908. Aug 28, 1908. nom
- *Forest av, e s, 250 n West Farms road, 25x100, Westchester. Michael Baumeister to Eliza L Flynn. Mort \$2,000. Sept 1. Sept 3, 1908. other consid and 100
- Forest av, Nos 1037 to 1041, w s, abt 121.4 n 165th st, 75x98.6, two 2-sty frame dwellings. Also all other real property situated in City of N Y to which party 1st part has any right, title or interest. Eliz Hatton to Winifred and Frank Hatton. Sub to life estate in above reserved to party 1st part. Mort \$—. Oct 27, 1906. Aug 31, 1908. 10:2650. gift
- Forest av, Nos 1037 and 1039, w s, abt 121.4 n 165th st, 55x98.6, two 2-sty frame dwellings. Winifred M Hatton or Wood to Frank Hatton or Wood. ½ part. B & S and C a G. Mort \$—. Mar 25, 1908. Aug 31, 1908. 10:2650. nom
- Franklin av, No 1385, w s, 133.8 s 170th st, 44x207.6x26.3x208.1, 2-sty frame dwelling. Prescott Realty Co to Frank B Miller. Mort \$5,500. Sept 1. Sept 2, 1908. 11:2931. other consid and 100
- Same property. Union Exchange Bank to Prescott Realty Co. B & S. Aug 29. Sept 2, 1908. 11:2931. other consid and 100
- Franklin av, No 1390, e s, 38 n Jefferson pl, 37.6x100, 5-sty brk tenement. Rose Smigel to Betsie Wolt. Mort \$36,000 and all liens. Sept 1. Sept 2, 1908. 11:2935. nom
- Franklin av, Nos 1239 and 1241, w s, abt 420 s 169th st, 50x115.3x46.2x100, 5-sty brk tenement. FORECLOS, July 21, 1908. David C Myers ref to Bronx Borough Bank. Mort \$27,000. Aug 21. Sept 1, 1908. 10:2612. \$8,350 over mort
- *Grace av, w s, 125 n Lyon av, 25x100, Westchester. Martin Pletscher to Louise Faas. Mort \$3,700. Sept 2. Sept 3, 1908. other consid and 100
- *Grant av, n s, 175 e Garfield st, 25x100, Van Nest. Frank Zounk et al to Alois Kafka. Mort \$3,500. Sept 1. Sept 3, 1908. other consid and 100
- Grant av, Nos 1034 and 1036, e s, 282.8 n 165th st, 50x100.10x50x101.1, two 3-sty brk dwellings. Cohen & Eckman Corpn to Samuel Rosenberger. Morts \$15,000. Sept 1. Sept 3, 1908. 9:2448. nom
- Gerard av n e cor 168th st, runs n along av 136.9 x n w along av 168th st | 27.11 x e 158.8 x s 43.9 x w 22.2 x s 111.9 to st x w 125 to beginning, vacant. James A Deering et al to Wm L Sheaffer of Pottsville, Pa. Mort \$3,500. July 17. Aug 28, 1908. 9:2481. nom
- *Gunter (Fox) av, e s, 150.2 s Kingsbridge road, 25x100, Edenwald. John S Kerns to Minnie Kerns his wife. Aug 28. Sept 1, 1908. nom
- Hughes av, e s, 190 n 189th st, 25x87.6. Agreement to release mort upon payment of \$1,300. Ottilie Siedler with Geo E Stonebridge. July 20. Re-recorded from Aug 20, 1908. Sept 1, 1908. 11:3078. nom
- Hull av, e s, 170.9 n 207th st, 18.9x100, 3-sty brk dwelling. Thos F Riley et al to Mary E Rochfort. Mort \$4,000. Aug 31. Sept 2, 1908. 12:3351. other consid and 100
- Hoe av, e s, 75 s 172d st, 25x100, 2-sty frame dwelling. Sadie Aaron to Carmine Liberti and Frank Cusati. Mort \$5,500. Aug 26. Sept 29, 1908. 11:2988. other consid and 100
- Intervale av, No 985, w s, 343.10 n Westchester av, 75x100, 2-sty frame dwelling and vacant. Eliz A McGrath et al HEIRS James K Giles to Margt Giles widow. B & S. Feb 29, 1908. Aug 31, 1908. 10:2699. other consid and 100
- Jerome av, s s, 293 w Minerva pl, 56x93.11x44.5x108.4, vacant. Josephine Schwarz to Daniel Houlihan. Aug 29, 1908. 12:3319. other consid and 100
- Longfellow av, No 1317, w s, 150 n Freeman st, 25x100, 2-sty frame dwelling. Peter Halvorson to Cornelius D Noonan. Sept 1. Sept 2, 1908. 11:2999. other consid and 100
- *Livingston av, e s, 470.3 s Kingsbridge road, 25x100. Fred Rado et al to Hudson P Rose Co. Aug 19. Aug 31, 1908. other consid and 100
- *Lyon av, s e s, 78 s Parker av, 75x100, Westchester. Joseph Newman to Amelia Steinmetz. Aug 17. Sept 3, 1908. other consid and 100
- Liebig av, e s, 250 s 260th st, 50x95. Also strip 5 ft wide lying bet e s Liebig av as on final map and e s Forest st as on tax map, vacant. Sarah Bacharach et al EXRS Herrman Bacharach to John A and Mary Gillen. Aug 26. Aug 28, 1908. 13:3423. 1,400

HECLA IRON WORKS

North 10th, 11th and 12th STREETS

BROOKLYN,

NEW YORK

Architectural Bronze

AND

IRON WORK

Liebig av, e s, 300 s 260th st, 50x95.
Also strip 5 ft wide lying in front of above, vacant.
Same to Peter F Gillen. Aug 26. Aug 28, 1908. 13:3423. 1,400

Liebig av, e s, 350 s 260th st, 25x95.
Also strip 5 ft wide lying in front of above, vacant.
Same to Raffaele A Bisesi. Aug 26. Aug 28, 1908. 13:3423. 750

Liebig av, e s, 200 s 260th st, 50x95.
Also strip 5 ft wide lying in front of above, vacant.
Same to Henry C Boeddiher. Aug 26. Aug 28, 1908. 13:3423. 1,450

Liebig av, e s, 150 s 260th st, 50x95.
Also strip 5 ft wide lying in front of above, vacant.
Same to Frederick P Hummel. Aug 26. Aug 28, 1908. 13:3423. 1,450

Liebig av, e s, 100 s 260th st, 50x95.
Also strip 5 ft wide lying in front of above, vacant.
Same to John F McLaughlin. Aug 26. Aug 28, 1908. 13:3423. 1,450

Liebig av, s e cor 260th st, 100x71.3.
Also strip lying bet e s Forest st on tax map and e s Liebig av on final map, vacant.
Also strip lying bet n s Beech st on tax map and n s 260th st on final map.
Same to Delia Kennedy. Aug 26. Aug 28, 1908. 13:3423. 1,925

*Maple av, w s, 25 n 214th st, 25x100.
*Maple av, n w cor 214th st, 25x100.
Antonio Lamberti to Nina Muller. Mort \$—, Aug 29. Aug 31, 1908. other consid and 100

*Old Boston road, s s, midway bet Cedar and Oak sts, runs s — to plot 9 x e 50 x n — to road x w 54.6 to beginning, being part of lot 492 map Arden property. Patrick J Brady to Brady Realty Co. B & S and C a G. Aug 25. Aug 28, 1908. other consid and 100

*Pelham road, w s, 26.2 s Libby st, runs w 77.1 x s 25 x w 10 x s 50 x e 63.3 to road x n 78.8 to beginning, Throggs Neck. Blanche B Terrill to Cogswell-Taylor Impt Co, a corpn. Mort \$1,000. July 30. Sept 2, 1908. 100

*Prospect av, s s, 100 e Fort Schuyler road, 57x88.9x—x90, Westchester Terrace. James O'Hern to Mary O'Hern his wife. Aug 29. Sept 2, 1908. nom

Park av, Nos 3772 and 3774, e s, 140 s 171st st, 40x150, two 3-sty frame tenements. William Schussler to Maria Mayer. Mort \$4,600. Aug 29. Aug 31, 1908. 11:2902. other consid and 100

Prospect av, No 575, w s, 225 n 149th st, as in 1899, 25x100, 3-sty frame tenement. Bertha Katcher to Ana Landes. Mort \$8,000. Aug 29. Aug 31, 1908. 10:2674. other consid and 100

*Parker av, e s, 225 s Lyon av, 25x100, Westchester. Marcus Nathan to Otto F and Paul P Wagner. Mort \$4,750. Aug 28. Aug 31, 1908. other consid and 100

Perry av, No 3053, w s, 275 s Woodlawn road, 25x100, 3-sty frame tenement. Wm C Bergen to John H Lynch. Mort \$5,000. Sept 2. Sept 3, 1908. 12:3334. other consid and 100

*Parker av, w s, 375 s Lyon av, 25x100. Marcus Nathan to Harry Nerenberg. Aug 28, 1908. other consid and 100

Rider av, n w s, 118 s 144th st, 75x125 to s e s Old Mott Haven Canal pl. Canal now Canal pl, vacant. Adelaide J Alcott to Chas V and John H Wehrum exrs Chas C Wehrum. 1/2 part all liens. Aug 29. Sept 1, 1908. 9:2340. exch

Rider av, n w s, 193 s 144th st, 50x125 to Old Mott Haven Canal. Canal pl. now Canal pl, vacant. Chas V Wehrum and John H Wehrum EXRS of Chas C Wehrum to Adelaide J Alcott. Aug 31, 1908. 9:2340. 1

Ryer av, No 2043, w s, 220.1 n Burnside av, 25x100, 2-sty frame dwelling. Wm J Edwards to Anna F Hodgins. Q C and correction deed. Aug 27. Sept 3, 1908. 11:3149. nom

Summit av, e s, 80 s 164th st, 75x94.6, part 2-sty frame dwelling and vacant. Margt A Lyons to Mary R Lyons. Mort \$9,000. Aug 7. Aug 29, 1908. 9:2524. other consid and 100

Summit av, No 1000, n e cor 164th st, 25x100, 6-sty brk tenement 164th st and store. FORECLOS, Aug 19, 1908. Gilbert H Montague referee to P Henry Delehanty. Sept 1. Sept 3, 1908. 9:2525. 24,700

Sedgwick av, w s, 292.7 n Private st and being lot 12 map Bailey estate, 25.5x100x25.4x100, 2-sty brk dwelling. Fordham Realty Co to Clarice H Crouch. Mort \$5,000. Aug 31. Sept 1, 1908. 11:3237. other consid and 100

*Taylor av, w s, 150 s Columbus av, 25x100, except part for av. Joseph Krulis to Gertrude Gerlach. Mort \$3,000. Sept 1, 1908. other consid and 100

Tinton av, No 1180, e s, 168.10 s 168th st, 16.8x132.5, 2-sty frame dwelling. FORECLOS, Aug 6, 1908. Michael J Egan ref to Mary E Doyle extrx Thomas O'Rorke. Aug 21. Sept 1, 1908. 10:2672. 6,200

Tiebout av, No 2456, e s, 70 s 189th st, runs s w 42.1 x s e 100 x n e 42.1 x n w 100 to beginning, 2-sty frame dwelling.
Katonah av, n w cor 233d st, runs w 38.10 x n 86.6 x s 99.10 to 233d st beginning, 2-sty frame tenement and store.
FORECLOS, Aug 25, 1908. Robt W Maloney referee to Eliz L Holland. Mort \$4,000. Aug 29, 1908. 11:3022, 12:3374. 3,025

Tyndall av, w s, 100 s 260th st, 75x95.
Also strip 5 ft wide lying in front of above, vacant.
Sarah Bacharach et al EXRS Herrman Bacharach to Martin D Corbett. Mort \$1,500. Aug 28, 1908. 13:3423. 2,000

Tyndall av, w s, 175 s 260th st, 50x95, with strip 5 ft wide lying in front of above, vacant. Same to Richd P O'Brien. Aug 26. Aug 28, 1908. 13:3423. 1,400

Tyndall av, n w cor 259th st, runs n 49.6 x w 95 x s 50 x w 95 to e s Liebig av x s 110.9 x s 30 to st x n e 218.1 to beginning, with strip 5 ft wide lying bet w s Hill st on tax map and w s Tyndall av on final map, vacant. Same to Frank Hosford. Mort \$4,500. Aug 26. Aug 28, 1908. 13:3423. 9,000

Tyndall av, w s, 225 s 260th st, 100x95, vacant, with strip 5 ft wide lying in front of above. Same to Annie B Kilpatrick. Mort \$1,400. Aug 21. Aug 28, 1908. 13:3423. 2,800

Union av, No 634, e s, 128.1 s 152d st, 16.8x90, 2-sty brk dwelling. Ignatz Pick to William Lechnyr and Mary his wife tenants by entirety. Mort \$5,000. Sept 1. Sept 2, 1908. 10:2674. other consid and 100

Union av, e s, 100 n 166th st, 100 to s s 167th st x 100, vacant. 167th st Anna H Brewer to R & W Realty Co. Mort \$20,700. Sept 1. Sept 2, 1908. 11:2893. other consid and 100

Union av, n e cor 167th st, 125x100, vacant. Charlotte Salm to 167th st R & W Realty Co. Mort \$21,500. Sept 1. Sept 2, 1908. 10:2680. other consid and 100

Vyse av, s w cor Jennings st, 75x100, vacant. Elise Zanmatti Jennings st to Samuel Mann and Portia Horwitz. Mort \$5,000. Aug 19. Sept 1, 1908. 11:2987. nom

Vyse av, No 1157, w s, 360 n 167th st, 20x100, 3-sty brk dwelling. FORECLOS, Aug 13, 1908. Leopold W Harburger referee to Wm T Park. Aug 17. Sept 2, 1908. 10:2752. 500

Whitlock av, s e s, 128.10 n e Leggett av, 50x98.5x50.7x96.4, vacant. Frank J Sinnott to Ellen M Quinlan. Sept 2. Sept 3, 1908. 10:2730. other consid and 100

Whitlock av, s e s, 128 n e Leggett av, runs s e 121.4 x n e 50.7 x n w 129 to Whitlock av x s w 50 to beginning, except part for av, vacant. Leopold Hutter to Frank J Sinnott of Mamaroneck, N. Y. Q C. Sept 1. Sept 3, 1908. 10:2730. nom

*West Farms road to Westchester, n s, 50 w Forest st, 25x100, except part for West Farms road. Christian Wilhelm to Chas Strittmatter. Aug 27. Aug 28, 1908. other consid and 100

Washington av, No 950, e s, 117.9 n 163d st, 25x80.7x25x80.6, 4-sty brk tenement. John J Murphy to Rosabelle L Murphy. C a G. July 7. Aug 28, 1908. 9:2368. nom

Washington av, Nos 1402 and 1404, n e cor 170th st, runs n 100 x 170th st, Nos 701 and 749. e 150 x n 1.5 x e 28 x s 101.6 to st x w 178 to beginning, except part for av, 4-sty brk tenement and store, 2-sty frame dwelling, 2-sty frame stable and vacant. Fannie Schwartz to Chas and Chas Berndt Jr, Rose McCoy and Dorothea E Hansing. 1-3 part. All title. Mort \$32,000. July 29. Aug 28, 1908. 11:2911. nom

Same property. Ida Carmel to same. 1-3 part. All title. Mort \$32,000. July 29. Aug 28, 1908. 11:2911. nom

Same property. Dora Edelberg to same. 1-3 part. All title. Mort \$32,000. July 29. Aug 28, 1908. 11:2911. nom

Webster av, Nos 2773 and 2775, n w cor 198th st, 48.2x89.9x48.5x 198th st. 1/2 part. 2-sty brk store. Francis Stafford to Margaret A Stafford. 1/2 part. B & S. Mort \$14,000. Aug 28. Sept 2, 1908. 12:3279. other consid and 100

3d av, No 3311, w s, 120.5 s 165th st, 25.2x125.8x25.2x123.1, except strip 15 ins on s s, 3-sty frame (brk front) tenement and store. Emanuel M Steindler to Jos Hahn. B & S and C a G. Aug 27. Aug 31, 1908. 9:2369. nom

3d av, No 3750, on map Nos 3748 and 3750, e s, 87.4 n St Pauls pl, 40x100, 5-sty brk tenement and store. William Hagedorn to John B O'Donnell. Mort \$40,000. Sept 2. Sept 3, 1908. 11:2927. other consid and 100

3d av, No 3200, e s, 81.4 n 161st st, 18.3x97.2x18.3x96.3, 4-sty brk tenement and store. Frederick Wehnes to Charles Wehnes. 1/2 part. Mort \$17,000. Sept 1. Sept 3, 1908. 10:2620. other consid and 100

*Lot 148 amended map Adea Park. Leodegar Siebert to August Strasser. Mort \$1,500. Sept 1. Sept 3, 1908. other consid and 100

*Lot 394 map estate Eliz R B King, City Island. Release mort. Edith King to Thos B Watson. Aug 27. Sept 3, 1908. 500

*Lot 155 map No 426 of building lots in 24th Ward near Williamsbridge Station. Release mort. Milton Realty Co to Giuseppe Certo. Sept 2. Sept 3, 1908. 100

*Lots 148 and 149 amended map Adea Park. Hugo Wabst to Leodegar Siebert. Mort \$888. Feb 5. Sept 2, 1908. nom

*Lots 5, 7 to 11, 13 and 14, map No (1288) of Colorado Realty Co, being a sub-division of lot 40 of the parsonage of St Peters Church at Westchester, each lot being 25x111, except lot 13, which is 24x—, and lot 14, being a strip of land, —x—. Mary Welcker to Wm Buhl and Matthew T Halpin. Mort \$9,136. Sept 1. Sept 2, 1908. other consid and 100

*Lots 7 and 9, same map. Release mort. Colorado Realty Co to same. Sept 1. Sept 2, 1908. 1,700

LEASES

Under this head all Leases recorded, Assignment of Leases and Leasehold Conveyances will be found. The expressed consideration following the term of years for which a lease is given means so much per year.

August 28, 29, 31, September 1, 2 and 3.

BOROUGH OF MANHATTAN.

Bleecker st, Nos 151 and 153, west store on ground floor. Joseph Casen to Isaac Russ; 5 years, from May 1, 1908. Aug 31, 1908. 2:537.....1,020

Bleecker st, No 315. Assign lease. Peter Murray to S Liebmanns Sons Brewing Co. Aug 29. Sept 1, 1908. 2:591.....nom

Bleecker st, No 315. Assign lease. Patrick J Flatley to Peter Murray. Aug 29. Sept 1, 1908. 2:591.....nom

Cannon st, No 133. Assignment of rents under lease. Marcus Rosenthal to Antoinette B De Witt, of Morris Township, N. J. All title. Sept 1. Sept 3, 1908. 2:335.....nom

Columbia st, Nos 61 and 63. Surrender lease. Abraham Bernstein to Jos Caesar. Aug 22. Aug 31, 1908. 2:333.....1,333.33

Hester st, Nos 197 and 199, store and basement. Frank Pittelli to Andrea Grosso; 4 years, from Jan 1, 1908. Sept 1, 1908. 1:236.....1,200

Jackson st, No 19, all. Wm B Read as AGENT to Walter F Mayer; from May 27, 1908, to May 1, 1913. Sept 2, 1908. 1:266. 600

Lewis st, No 110, south basement store and bakery and 3 rooms on s s of stop floor. Israel Jacobowitz to Herman Jacob; 3 10-12 years, from July 1, 1908. Sept 2, 1908. 2:330.....780 and 840

Lispenard st, No 33, cellar under store. Louis Vogel to Elias Krane; 3 7-12 years, from July 1, 1908. Aug 31, 1908. 1:210. 300

JOHN C. ORR CO., India, Java and Huron Sts. and East River City of New York, Borough of Brooklyn

SASH, DOORS, BLINDS AND HOUSE TRIM LUMBER OF ALL KINDS FOR BUILDERS

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- Ludlow st, No 75. Assign lease. Charles Sender to the Suffolk Boarding and Livery Stable, a corpn. Aug 29. Sept 1, 1908. 2:408\$500 and two notes each for 150
- Ludlow st, No 75, all. Geo Hassler to Chas Sender; 10 years, from May 1, 1908. Sept 1, 1908. 2:408.....3,700 and 4,000
- Mulberry st, No 84, all. Katherine wife of J H Doherty to Giovannella Di Fazio; 5 years, from May 1, 1907. Sept 1, 1908. 1:200.....2,250
- Ridge st, Nos 155 to 161, cellar2,250
- Attorney st, Nos 164 and 166, yards.....|
- Solomon Frankel and ano to Jacob Lederfind; 5 years, from May 1, 1908. Aug 31, 1908. 2:345.....900 and 1,500
- Rivington st, Nos 69-73, s e cor Allen st, stores, &c. Assign lease. Samuel Syrop to David Marz. Aug 28. Sept 1, 1908. 2:415.....nom
- Same property. Consent to assign lease. Max Diek to Samuel Syrop. Aug 31. Sept 1, 1908. 2:415.....
- Thompson st, No 55, all. Ernest E M Bullowa to Antonio Petroni; 3 years, from Sept 1, 1911. Aug 28, 1908. 2:489.....1,140
- University pl, No 116, basement. Geo M Kaiser to Albert Digiovanna; 3 years, from Sept 1, 1908. Aug 28, 1908. 2:570.....240
- Water st, No 396. Assign lease. Wm and Thos P Burke to Tony Ananiso. Aug 28. Aug 31, 1908. 1:258.....nom
- 4th st, No 159, n s, 275 w Av A, 25x96.2, the lot. John J Astor to Louisa Thies; 20 years, from May 1, 1899. Sept 1, 1908. 2:432.....taxes, &c, and 750
- 5th st, No 802, s e cor Av D, store, &c. Mary Rosenberg to Leon Feldman; 4 9-12 years, from Aug 1, 1908. Sept 2, 1908. 2:360.....720
- 6th st, No 511, n s, 175 e Av A, 23.7x90.10. Assign lease. Jacob Perlman to Dora Perlman. All title. All liens. Aug 27. Sept 1, 1908. 2:402.....nom
- 6th st, No 504 East. Assign lease. Lawrence Betz exr Lorenz Betz to Maria Mai. Aug 31. Sept 1, 1908. 2:401.....7,000
- 6th st, No 746 East, parlor and 1st floors. Chone Jaffe to Jacob Rosenbluth; 1 year, from May 1, 1908, with privilege renewal. Aug 31, 1908. 2:375.....840
- 9th st, No 614 East. Assign lease. Wilhelm or Wilhelm Iran or Trian to Samuel Cepik. Sept 3, 1908. 2:391.....nom
- Little West 12th st, Nos 8 to 12, s s, about 70 w Greenwich st, 54x80. Assign lease. Mary Anna Timken to J Henry Timken, of Hoboken, N J. Aug 26. Aug 29, 1908. 2:644.....nom
- 22d st, n e s, 175 s e 11th av, 75x98.8, the lots. Francis L Ogden to Eliza N Hall; 21 years, from Sept 1, 1908, with renewal. Sept 2, 1908. 3:694.....taxes &c, and 2,700
- 24th st, No 434, s w s, 404 s e 10th av, 14.8x80, all. Mary M Sherman to Ada M Luckey; 21 years, from May 1, 1908, with privilege of renewal. Aug 29, 1908. 3:721.....taxes, &c, and 260 and 350
- 24th st, No 456, s s, 210.8 e 10th av, 14.8x80. Consent to assign lease. Margt V C MacNutt to James E Mitchell and Emma A Shafford. Aug 17. Aug 29, 1908. 3:721.....
- Same property. Assign lease. Emma A Shafford widow to James E Mitchell. May 14. Aug 29, 1908. 3:721.....1,600
- 32d st, No 7, n s, 245 w Madison av, 25x98.9, all. Matilda P de Dorticos to Carrie E Wheelock; 10 years, from Oct 1, 1908. Sept 1, 1908. 3:862.....11,500 and 12,000
- 42d st, n s, extends from 7th av to Broadway, 58.4x26.1x51.4x25.1. Assign lease. Charles Thorley to Standard Realty & Impt Co. Mar 2. Aug 31, 1908. 4:995.....nom
- 47th st, No 1, n s, 92 w 5th av, 28.6x100.5x20.6x92.5, all of the lot. TRUSTEES of Columbia College to Jeannette P wife James D Goin; 21 years, from Oct 15, 1902, with renewal. Sept 2, 1908. 5:1263.....taxes, &c, and 1,394
- 50th st, Nos 148 to 152, s s, 200 e 7th av, runs s 100.5 x e 8.4 x s 100.5 to n s 49th st, Nos 147 and 149, x e 41.8 x n 200.10 to 50th st x w 50 to beginning.....
- 49th st, No 151, n s, 187.6 e 7th av, 20.10x100.4.....|
- Assign lease. The B & H Motor Car Co to Francis S Hoyt. Aug 27, 1908. Aug 28, 1908. 4:1002.....15,000
- 51st st, No 12, s s, 250 w 5th av, 22x100.5, all. TRUSTEES of Columbia College to Elias C Benedict; 21 years, from April 1, 1909, with renewal. Sept 1, 1908. 5:1266.....taxes, &c, and 2,500
- Same property. Assigns two leases. Elias C Benedict to Wm W and Thos M Hall. Aug 27, 1908. Sept 1, 1908. 5:1266100
- 53d st, No 332 East, east store, basement and 5 rooms above store. Julius Levy and ano to Martin Ade; 3 years, from Nov 1, 1908. Sept 3, 1908. 5:1345.....576
- 80th st, No 230 East. Surrender lease. Bernard Hirschberg to Anna Orenstein. All title. Sept 1, 1908. 5:1525.....omitted
- 88th st, No 164 East, store. Mary Mayer to Philip Wolber; 5 years, from June 1, 1908. Sept 1, 1908. 5:1516.....480 and 540
- 107th st, No 348 East, ground floor. Burns Bros, a corpn, to Beckman Hill Live Poultry Co; 2 years, from Sept 1, 1908. Sept 3, 1908. 6:1700.....1,200
- 108th st, Nos 11 to 15 West, all. Adolf Gluck to Knickerbocker Leasing & Realty Co; 3 years, from Sept 1, 1908. Aug 28, 1908. 7:1844.....10,800
- 110th st, No 232 East, store. Frank Milek to Joseph Robilotta; 5 years, from Sept 1, 1908. Aug 28, 1908. 6:1659.....300
- 112th st, No 324 East, store on e s, rooms in rear and cellar. Cesidio Boccio to Raffaele G Bastone; 8 years, from Aug 1, 1908. Aug 31, 1908. 6:1683.....600
- 112th st, No 324 East. Assign lease. Raffaele G Bastone to Davies J Marshall. Aug 31. Sept 2, 1908. 6:1683.....nom
- Same property. Reassign lease. Davies J Marshall to Raffaele G Bastone. Sept 2, 1908. 6:1683.....nom
- 114th st, No 351 East, double store. Angelo Di Benedetto to Luigi Fumo; 5 years, from Sept 1, 1908. Aug 31, 1908.....732 and 852
- 115th st, No 462 East, all. Harris Kliger to Vincenzo and Frank DeLorenzo; 5 years, from Sept 1, 1908. Sept 3, 1908. 6:1708.....1,450
- Amsterdam av, s e cor 160th st, store and basement. Catherine Danker to Arthur A Mullady; 10 years, from Aug 1, 1908. Sept 3, 1908. 8:2109.....1,500 to 1,800
- Amsterdam av, No 615, s e cor 90th st. Bill of sale and assign lease. Ellen M Ragan INDIVID and as ADMRX Owen McCann to Hugh Morrow. Aug 31. Sept 2, 1908. 4:1220.....7,767.23
- Same property. Assign lease. Hugh Morrow to Geo C Kienzie. Sept 1. Sept 2, 1908. 4:1220.....nom
- Same property. Reassign lease. Geo C Kienzie to Hugh Morrow. Sept 2, 1908. 4:1220.....nom
- Broadway, n w cor 111th st, store room and basement adj on n s of the bakery. The Larimer A Cushman Baking Co to Moses Oppenheimer and ano. Aug 31, 1908, 5 years, from completion of premises (5 years renewal at \$3,000). Sept 1, 1908. 7:1894.....2,500
- Broadway, s w cor Manhattan st, store No 7. Assign lease. Wm H Cosman to Henry Weber. All title. Aug 28. Sept 2, 1908. 7:1995.....nom
- Broadway, No 3182, store. Julia A Donahue to Elias Cholakis; 5 1-12 years, from Apr 1, 1908. Sept 3, 1908. 7:1995.....780 & 960
- Lenox av, s w cor 117th st. Assign lease. Delia Daly and ano to Wm Daly. Aug 25. Aug 26, 1908. 7:1901. Corrects error in last issue when location was Lenox av, s e cor 117th st.....nom
- Lenox av, No 192, all. Florence Colgate TRUSTEE to Max Dantes; 3 years, from May 1, 1908. Aug 28, 1908. 6:1718.....1,450
- Madison av, e s, extends from 58th to 59th st, —x100.5, Lenox Lyceum. Consent to assign lease. John D Crimmins to Walter J Solomon. Aug 10. Aug 29, 1908. 5:1294.....
- Same property. Assign lease. Walter J Solomon to Fifty-Ninth Street-Madison Avenue Co. Aug 11. Aug 29, 1908. 5:1294.....nom
- 1st av, No 1317, store, &c. Antonie Bohaty to Monitor Realty Co; 5 years, from May 1, 1907. Sept 1, 1908. 5:1445.....1,548
- 1st av, No 805, n w cor 45th st. Extension of lease until May 1, 1915. Julius Fleischhauer et al to John Hoppe. Aug 1. Aug 28, 1908. 5:1338.....nom
- 1st av, No 2251, store and basement. Vito Fanelli to Peter Kornbis or Kombis; 5 years, from Sept 1, 1908. Aug 29, 1908. 6:1687.....600 and 720
- 2d av, No 2004, all. Anna Damico to Max Bernstein, Hyman Rosenzweig and William Schneid; 5 years, from May 1, 1908. Aug 31, 1908. 6:1675.....2,000
- 2d av, No 2365, leasehold. FORECLOS, June 16, 1908. Chas W Ridgway referee to Ottilie Hyams. Aug 26. Aug 28, 1908. 6:1786.....175
- 2d av, No 485, store, &c. Morris Glucksman to Max Luria; 10 years, from Sept 1, 1908. Sept 3, 1908. 3:908.....1,344
- Same property. Surrender lease dated June 29, 1908. Max Luria to Morris Glucksman. Sept 2. Sept 3, 1908. 3:908.....nom
- 3d av, No 2230, n w cor 121st st, n 1/2 of 2d store, &c. Geo B Corsa to Jakob Rundback; 5 8-12 years, from Sept 1, 1908. Sept 1, 1908. 6:1770.....2,500
- 5th av, n e cor 26th st, n s of 2d floor. Improved Property Holding Co of N Y to Wm B Leonard; 10 years, from Feb 1, 1908. Aug 29, 1908. 3:856.....15,000
- 6th av, No 987. Assign lease. Henry Bottjer to Geo A Kienzie. Aug 20. Aug 31, 1908. 4:1008.....nom
- Same property. Reassign lease. Geo A Kienzie to Henry Bottjer. Aug 20. Aug 31, 1908. 4:1008.....nom
- 6th av, No 186, all. John Hayes to Charles Lehrenkrauss; 3 years, from Sept 1, 1908, with 3 years renewal. Sept 2, 1908. 2:576.....3,000
- 7th av, No 2299, cor store, &c. Norwood Holding Co to David Loewenstein; 10 years, from Nov 1, 1908. Sept 3, 1908. 7:1919.....1,200 to 1,900
- 8th av, No 2349. Assign lease. Michl J Curran to John H 126th st, No 300 W. O'Connell. Mort \$7,000. Aug 27. Aug 28, 1908. 7:1952.....nom
- 8th av, No 327, all. Fredk Etz to Louise Roeber; 5 years, from May 1, 1903. Aug 29, 1908. 3:750.....2,100
- Same property. Extension of lease for 5 years, from May 1, 1908. Feb 6, 1908. Aug 29, 1908. 3:750.....nom
- Same property. Assign lease. Louise Roeber to Henry W Frank. Feb 28, 1908. Aug 29, 1908. 3:750.....nom

BOROUGH OF THE BRONX.

- 169th st, No 819 East, parlor floor and basement. Edw Magner to Herbert H Reilly; 2 years, from June 1, 1908. Sept 3, 1908. 11:2968.....300
- Alexander av, s e s, 25 s w 143d st, 60x105. Assign lease. Gustave A Epple and ano EXRS Adam Epple to William Wuensche. Feb 3. Sept 3, 1908. 9:2305.....nom
- *Barker av, No 68, all. Jacob Abramowitz to Rafiel Saperstein; 6 months, from Nov 1, 1908. Sept 2, 1908.....for term, 150
- College av, No 480 n e cor 146th st, —x—. Assign lease. Sebas-146th st, No 331 E. tiano Di Palermo to Salvatore Lucchese. July 28. Aug 31, 1908. 9:2329.....nom
- *Eastchester road, s w cor Blondell av, —x—. Assign lease. Carmine Yanaro to the Ebling Brewing Co. Aug 31. Sept 1, 1908.....nom
- Rider av, — cor 136th st, 150x150, with an interior lot 25x60 described in deed dated July 31, 1908, all of factory, &c. Geo F Neidlinger to Federal-Huber Co, a corpn, of Illinois; 10 years, from Sept 1, 1908. Sept 1, 1908. 9:2320, taxes, &c, and a sum equal to 5 1/2% on \$40,000 and if more of \$35,000 shall be paid off then a sum equal to 5 1/2% on \$75,000.....
- St Anns av, Nos 202 and 204, store, &c. Minnie Gordon et al to Benjamin Rosenberg; 5 years, from Aug 1, 1908. Sept 2, 1908. 10:2549.....960
- *Unionport road, No 1713, store, &c. Josephine De Luca to Frank Milone; 3 years, from Oct 1, 1908. Sept 3, 1908.....264 and 288
- Willis av, No 234, e s, 25 s 138th st, —x—, all. Geo Keller to Jos Wormser; 5 years, from Dec 1, 1905. Aug 29, 1908. 9:2282.....3,000
- 3d av, No 3594, n e cor 169th st, first floor. Margaretha B Reinhardt to Bruno Schwentner; 3 years, from Mar 1, 1908. Sept 1, 1908. 11:2925.....1,500
- 3d av, No 2766, n e cor 146th st, all. Thomas Lenane to Walburga Bender; 2 years and 8 1/2 months, from Aug 15, 1908. Sept 1, 1908. 9:2307.....\$2,972 and \$1,860 for last year

KING'S WINDSOR CEMENT

For Plastering Walls and Ceilings

Elastic in its nature, can be applied with 25 per cent. less labor and has 12½ per cent. more covering capacity than any other similar material.

J. B. KING & CO., No. 1 Broadway, New York

MORTGAGES

NOTE.—The arrangement of this list is as follows: The first name is that of the mortgagor, the next that of the mortgagee. The description of the property then follows, then the date of the mortgage, the time for which it was given and the amount. The general dates used as headlines are the dates when the mortgage was handed into the Register's office to be recorded.

Whenever the letters "P. M." occur, preceded by the name of a street, in these lists of mortgages, they mean that it is a Purchase Money Mortgage, and for fuller particulars see the list of transfers under the corresponding date.

The first date is the date the mortgage was drawn, the second the date of filing; when both dates are the same, only one is given.

Subscribers will find mortgages in this list with the wrong block number attached. The block number we give is taken from the instrument as filed.

Mortgages against Bronx property will be found altogether at the foot of this list.

August 28, 29, 31, September 1, 2 and 3.

BOROUGH OF MANHATTAN.

Ade, Martin to Lion Brewery. 53d st, No 332 East. Saloon lease. Aug 20, demand, 6%. Sept 3, 1908. 5:1345. 1,800

Anderson, Clarence E to TITLE GUARANTEE & TRUST CO. 65th st, No 154, s s, 283 e Amsterdam av, 19x100.5. Aug 27, due, &c, as per bond. Aug 29, 1908. 4:1136. 14,000

Berkman, Davis and Louis H Silver with Wolf Brand. Montgomery st, Nos 40 and 42. Extension of mort for \$3,000. Aug 24, Sept 2, 1908. 1:269. nom

Bachrach, Irving and Isaac Schmeidler to THE STATE BANK. Mangin st, No 13, s w cor Broome st, Nos 19 and 21, 7x50. Prior mort \$36,000. Aug 27, 1 year, 6%. Aug 28, 1908. 2:321. 24,251.20

Biermann, Adolph to Jacob Alexander. 115th st, No 17, n s, 160 w Madison av, 25x100.11. Prior mort \$16,000. Aug 24, due &c, as per bond. Aug 29, 1908. 6:1621. 5,500

Burke, Luke A to Mary G Talbot and ano, of Greenwich, Conn. 168th st, No 510, s s, 166.8 w Amsterdam av, 16.8x95.5. Aug 28, 1908, 3 years, 5½%. 8:2123. 6,500

Bruneman, Sara to Samuel Elkan. 39th st, No 533, n s, 325 e 11th av, 25x98.9. Aug 25, 1 year, 6%. Aug 28, 1908. 3:711. 1,000

Birnbaum, Samuel to Frank Sternberg. Madison st, No 352, s s, 240.2 e Scammel st, 23.3x94.10x23.3x95.1. Aug 27, 2 years, 6%. Aug 28, 1908. 1:266. 2,000

Blaine, Alice and August Nebeling to Josiah Jones. 148th st, No 215, on map No 213, n s, 287.3 w 7th av, 37.5x99.11. P M. Prior mort \$34,000. Aug 31, 1908, 3 years, 6%. 7:2034. 7,500

Beveridge, John to Daniel M Dunham and ano. 52d st, No 310, s s, 160 e 2d av, 20x100.5. P M. Prior mort \$7,500. Aug 29, 1 year, 5½%. Aug 31, 1908. 5:1344. 3,500

Block, Betsy widow, and Rosa A and Leah wife of Jacob Block and Jacob L, Peter, Bernhard and Louis M Block and Dora Philipoisky (by atty), and Sarah wife of and Saml Blumberg to Persis L Killam. Delancey st, No 104, n s, 38.7 e Ludlow st, 25x75. Prior mort \$—. Sept 1, due Sept 1, 1916, 6%. Sept 3, 1908. 2:410. gold, 7,500

Ball, John of Borough of Richmond, N Y, to William Bruckner. 54th st, No 432, s s, 383.4 e 10th av, 16.8x53.6x16.8x52.3. P M. Sept 3, 1908, 2 years, 5%. 4:1063. 2,000

Beljord Realty Co to METROPOLITAN LIFE INS CO. Broadway, n e cor 86th st, 201.11 to 87th st x328.10 to Amsterdam av x201.5 to 86th st x343 to beginning. Sept 3, due Nov 1, 1913, 6%, until Nov 1, 1911, and 5% thereafter. Sept 3, 1908. 4:1234. 3,000,000

Same to same. Same property. Certificate as to above mort. Aug 28, Sept 3, 1908. 4:1234. —

Beljord Realty Co, a corpn, to Broadway and 86th St Co, a corpn. Broadway, e s, 87th st, s s, Amsterdam av, w s, and 86th st, n s, the blk. P M. Prior mort \$3,000,000. July 17, due &c as per bond. Sept 3, 1908. 4:1234. 1,500,000

Brady, Ellen to DRY DOCK SAVINGS INST. 37th st, Nos 322 and 324, s s, 224 w 1st av, 2 lots, each 24x98.9. 2 P M mortgages each \$10,000. Sept 1, 1908, 5 years, 5%. 3:942. 20,000

Byrnes, Patk J to Chas F Henderson. 25th st, No 325, n e s, abt 275 w 1st av, 25x98.9. Aug 27, due Jan 1, 1910, 6%. Sept 1, 1908. 3:931. 2,000

Carroll, Royal Phelps of Newport, R I, to Chelsea Realty Co. 49th st, No 41, n s, 145 e Madison av, 22x100.5. Prior mort \$50,000. Sept 2, 1908, 1 year, 6%. 5:1285. 10,000

Calthrop, May R to Jacob Freeman. 55th st, No 534, s s, 300 e 11th av, 25x100.5. P M. Prior mort \$16,000. Aug 27, due Feb 1, 1911, 6%. Sept 2, 1908. 4:1083. 1,750

Callman, Lawrence J to DRY DOCK SAVINGS INSTITUTION. 10th st, No 142, s s, 125 e Waverly pl, 25x95. Sept 2, 1908, 3 years, 5%. 2:610. 15,000

Cimmett, Maurice I to Isidor Levin and Emerich Kohn. 97th st, No 327, n s, 225 w 1st av, 25x100.11. Prior mort \$14,000. Aug 27, due Feb 27, 1909, 6%. Aug 29, 1908. 6:1669. 3,250

Cosgrove, Michael to Henrietta Barth. 3d av, No 1488, s w cor 84th st, 24.2x93.6. Leasehold. Aug 28, installs, 6%. Aug 29, 1908. 5:1512. notes, 6,000

Crystal Realty & Construction Co to City Mortgage Co. Broadway, s e cor 161st st, 99.11x100. June 17, demand, 6%. Aug 28, 1908. 8:2119. 140,000

Same to same. Same property. Certificate as to above mort. June 17, Aug 28, 1908. 8:2119. —

Cohn, Maurice to Wm F Decker. 118th st, No 229, n s, 260 w 2d av, 25x100.11. Aug 31, 3 years, 5½%. Sept 1, 1908. 6:1783. 20,000

Cunningham, Mary B to Jennie H Morrison. 96th st, No 204, s s, 117.3 w Amsterdam av, 27x100.8. Prior mort \$25,500. Aug 3, 2 years, 6%. Sept 3, 1908. 4:1243. 5,500

Cunningham, Mary B to Baruch Wolff. 96th st, No 204, s s, 117.3 w Amsterdam av, 27x100.8. Aug 3, 5 years, 5½%. Sept 3, 1908. 4:1243. 25,500

Dubrowsky, Elias to James N Webb. Av B, No 9, s e s 59.7 s w 2d st, 19.10x80. Assign rents to secure notes. Aug 28. Aug 31, 1908. 2:384. nom

Deutsch, Louis to N Y TRUST CO. 7th av, No 424, w s, 41.2 n 33d st, runs n 19.3 x w 69.10 x s 5.9 x e 8.8 x s 13.6 x e 61.2 to beginning. Sept 3, 1908, 3 years, 5%. 3:783. 47,500

Daum, Louis with Wm F Decker. 118th st, No 229 East. Subordination agreement. Aug 31, 1908. 6:1783. nom

Dinkel, Fred to Elizabetha Nagel. Amsterdam av, No 926, w s, 75.11 n 105th st, 25x100. P M. Prior mort \$18,000. Aug 31, due, &c, as per bond. Sept 1, 1908. 7:1877. 14,750

Dowd Construction Co to TITLE GUARANTEE & TRUST CO. Wadsworth av, s e cor 184th st, 99.11x100. Aug 24, due Apr 27, 1909, 6%. Aug 29, 1908. 8:2165. 85,000

Same to same. Same property. Certificate as to above mort. Aug 6, Aug 29, 1908. 8:2165. —

Dollard, Patrick A to John L Bowles. Plot bounded s w by State st, 30 ft s e x 9 and 9½ State st, 64.4 n e by land Joseph Rose and Equitable Life Assurance Society of the U S, 26.6, and n w by No 11 State st, 49; Plot bounded n by Pearl st 19.6, e by lands of Clark & Ludlow 91, s by land Jos Carre 19.5, and w by Jos Carre 85.6; State st, Nos 9, 11 and 12 and Nos 10 and 12½, sometimes known as No 14 Pearl st, begins at point in State st at line bet lands of Joseph Carre and land herewith, runs s along State st, 55.3 x n e 60 and 24.5 x n 52.7 x w 1.8 x n 49.11 x w along Pearl st, 12.1 x s 50.3 and 29.11 x w 17.11 and 2.10 x s 8 x s e 7.1 x s w 64 to beg; Lighthouse st, n s, 82.6 w Washington st, —x50.3x60x50.4; Whitehall st, Nos 57 and 58, e s, 82.2 s Front st, 40.4x40.7x39x37.6; also land in Queens Co. 1-6 part. All title. Aug 31, 1 year, 6%. Sept 1, 1908. 1:49 and 218. 12,000

EQUITABLE LIFE ASSURANCE SOCIETY OF THE U S with Joshua L Barton. 61st st, No 117 East. Extension mortgage. June 1, Sept 2, 1908. 5:1396. nom

Evarts, Herman C to Lewis W Boynton. 69th st, No 231, n s, 345 w Amsterdam av, 40x100.5. P M. Sept 1, 1908, 5 years, 6%. 4:1161. 11,000

Elfers, Pauline to DRY DOCK SAVINGS INST. 99th st, Nos 161 and 171, n s, 100 e Amsterdam av, 2 lots, each 25x100.11. Two mortgages, each \$18,500. Sept 1, 1908, 5 years, 5%. 7:1854. 37,000

Same and August Roffman with same. Same property. Two subordination agreements. Aug 31, Sept 1, 1908. 7:1854. nom

Fleischmann (Maximilian) Co with Geo V Fluri and ano. 149th st, No 460, s s, 100 e Amsterdam av, 75x99.11. Extension mort. Aug 27, Sept 2, 1908. 7:2063. nom

Friedlander, Marcus to Maurice Herrmann. 2d av, No 947, w s, 40.5 n 50th st, 20x70. P M. Prior mort \$8,500. Aug 31, 1908, 5 years, 6%. 5:1324. 3,000

Faruolo, Michele to Matilda A Stier. 11th st, No 430, s s, 169 w Av A, 25x94.8. Prior mort \$11,000. Aug 29, 3 years, 5½%. Sept 1, 1908. 2:438. 6,000

Fiske, John A, of Cocoa, Fla, and Abraham Crittenden Fiske, of N Y, to TITLE INS CO of N Y. 88th st, No 261, n s, 172 w Broadway, 18x100.8. Aug 21, 3 years, 4½%. Sept 1, 1908. 4:1236. 7,000

Freier, Nathan to John Brummer. 101st st, No 129, n s, 100 w Lexington av, 25x100.11. Prior mort \$15,000. Sept 1, 1908, due Mar 1, 1910, 6%. 6:1629. 2,500

Freier, Nathan to American Mortgage Co. 101st st, No 129, n s, 100 w Lexington av, 25x100.11. Sept 1, 1908, 5 years, 5%. 6:1629. 15,000

Freier, Nathan to American Mortgage Co. 101st st, No 131, n s, 75 w Lexington av, 25x100.11. Sept 1, 1908, 5 years, 5%. 6:1629. 16,000

Freehold Construction Co to Emily de Silver Clinton. 102d st, Nos 123 and 125, n s, 277.6 e Park av, 50x100.11. Aug 28, 1908, 5 years, 5%. 6:1630. 40,000

Same to same. Same property. Certificate as to above mort. Aug 28, 1908. 6:1630. —

Flynn, Honoria J and Patrick J to Phillip H Wallenstein. 91st st, No 80, s s, 75 e Columbus av, 25x100.8. P M. Prior mort \$—. Sept 1, 5 years, 6%. Sept 2, 1908. 4:1204. 11,000

Feist, Henrietta to Lorenz Feist. 134th st, No 107, n s, 150 w Lenox av, 25x99.11. April 1, 1907, 5 years, 5%. Sept 2, 1908. 7:1919. 5,000

Coin, Jeannette P to David H Hyman. 47th st, No 1, n s, 92 w 5th av, runs n w — x n 92.5 x w 20.6 x s 100.5 to st, x e 28.6 to beg. Leasehold. Sept 1, 3 years, 6%. Sept 2, 1908. 5:1263. 10,000

Gamma Epsilon Chapter of Delta Tau Delta Fraternity, a corpn, to Sabra A Deshon. 113th st, No 616, s s, 214.6 e Riverside Drive, 20x100.11. P M. Sept 1, due Sept 1, 1923, 6%. Sept 2, 1908. 7:1895. 9,000

GREENWICH SAVINGS BANK with Benoit Wasserman. Madison av, Nos 1427 and 1429. Extension mortgage. Aug 13, Sept 2, 1908. 6:1604. nom

Grossman, Mae A, of Mossmore, N J, to Julia P wife of John Outcalt. 131st st, Nos 620 and 622, s s, 325 w Broadway, 50x 99.11. Aug 28, 5 years, 5½%. Aug 29, 1908. 7:1997. 10,000

Grossman, Mae A to THE TWELFTH WARD BANK. 131st st, Nos 620 and 622, s s, 325 e Broadway, 50x99.11. Prior mort \$10,000. Aug 28, due &c as per bond. Aug 29, 1908. 7:1997. 1,900

Grossman, Benj and Hyman Cohen to Jules Weil. Delancey st, Nos 224 and 226, n w cor Willett st, No 47, 88x44.8. Aug 26, due Aug 27, 1910, 6%. Aug 28, 1908. 2:338. 2,000

Grosso, Andrea to Lion Brewery. Hester st, Nos 197 and 199. Saloon lease. July 31, demand, 6%. Sept 1, 1908. 1:236. 400

Guglielmo Mattia and Angelo to Bond & Mortgage Guarantee Co. 115th st, Nos 316 and 318, s s, 200 e 2d av, 50x100.10. Aug 28, due &c as per bond. Sept 1, 1908. 6:1686. 13,000

German Evangelical Lutheran Trinity Church, a corpn, to BOWERY SAVINGS BANK. 100th st, Nos 164 to 168, s s, 90 e Amsterdam av, 60x100.11. Aug 31, 3 years, 5%. Sept 1, 1908. 7:1854. 25,000

Hoff, John J to LAWYERS TITLE INS & TRUST CO. 127th st, No 246, s s, 399.6 e 8th av, 13x99.11. Aug 31, 1908, 3 years, 5%. 7:1932. 7,000

Harte, Patrick and Tole to Annie L Klee widow. 20th st, No 214, s w s, abt 204.4 w 7th av, 25x83.11x25x84.7. P M. Aug 26, due Aug 24, 1911, 5%. Aug 28, 1908. 3:769. 9,000

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99 John St., New York.

Harte, Patrick and Tole to Lizzie Loos wife Charles Loos and ano. 20th st, No 212, s s, 179.4 w 7th av, 25x83.11x25x83.3. P M. Aug 26, due Aug 24, 1911, 5%. Aug 28, 1908. 3:769. 9,000

Howard, Theodosia S to Theron Davis. West End av, No 353, w s, 136.4 n 76th st, 22x55.5. P M. Prior mort \$18,000. Sept 1, 1908, 1 year, 5%. 4:1185. 2,000

Hanson, Alfred E, of Brooklyn, to THE SEAMENS BANK FOR SAVINGS, N Y. 68th st, No 9, n s, 100 w Central Park West, 28.6x100. Sept 1, 1908, 5 years, 5%. 4:1121. 47,000

Hess Bros, Inc, to UNION TRUST CO of N Y. 30th st, Nos 502 to 516, s s, 100 w 10th av, 200x98.9. Aug 31, 5 years, 5½%. Sept 1, 1908. 3:701. 95,000

Same to same. Same property. Certificate as to above mort. Aug 31. Sept 1, 1908. 3:701. —

Heymann, Charles to Sarah S Fee, of Brooklyn. Academy st, w s, 100 n Post av, 50x100. Aug 26, 2 years, 6%. Aug 28, 1908. 8:2220. 2,500

Hershkovitz or Hershkowitz, David to Davis Cohn. Ludlow st, No 40, e s, 125.6 n Hester st, 25.3x87.6x25.2x87.6. Aug 26, 5 yrs, 6%. Aug 28, 1908. 1:310. 8,000

Hunter, Sarah K to whom it may concern. Manhattan av, No 498. Receipt for payment of \$1,000 on account of mort. Aug 25. Aug 29, 1908. 7:1947. —

Hildebrandt, Jacob T to James A Hogan. 62d st, No 224, s s, 350 w Amsterdam av, 25x100.5. P M. Prior mort \$19,000. Sept 1, 2 years, 6%. Sept 2, 1908. 4:1153. 750

Hogan, James A to Sadie V Brady. 62d st, No 224, s s, 350 w Amsterdam av, 25x100.5. P M. Aug 31, 5 years, 5%. Sept 2, 1908. 4:1153. 14,000

Same to Marjorie G Singer. Same property. P M. Prior mort \$14,000. Aug 31, 6 years, 6%. Sept 2, 1908. 4:1153. 5,000

India Wharf Brewing Co and LINCOLN TRUST CO with Herman A Strubbe. Columbus av, No 70. Subordination agreement. Aug 28. Aug 29, 1908. 4:1134. nom

Jacobowitz, David to Samuel Rosenberg. 7th st, No 301, n s, 40.7 w Lewis st, 39.1x73. Prior mort \$31,000. Aug 28, 1908. due Sept 1, 1911, 6%. 2:363. 4,000

Kurzrok, Max, of New York, to John J Halstead and ano trustees for Thomas J Halstead, &c, will Pearson S Halstead. 108th st, Nos 323 to 329, n s, 200 w 1st av, 2 lots, each 50x100.11. Two mort, each \$40,000. Aug 31, 5 years, 5½%. Sept 2, 1908. 6:1680. 80,000

Kurzrok, Max of Brooklyn, N Y, and Isidor Jackson and Abraham Stern with John J Halstead and ano trustees for Thos J Halstead, &c, under will Pearson S Halstead. 108th st, Nos 323 to 329, n s, 350 e 2d av, 100x100.11. Subordination agreement. Sept 1. Sept 2, 1908. 6:1680. nom

Kurzrok, Max, of Borough of Brooklyn, N Y, and Isidore Jackson and Abraham Stern with LAWYERS TITLE INS & TRUST CO. 108th st, Nos 331 and 333, n s, 150 w 1st av, 50x100.11. Subordination agreement. Sept 1. Sept 2, 1908. 6:1680. nom

Kurzrok, Max, of Brooklyn, N Y, and Isidor Jackson and Abraham Stern with LAWYERS TITLE INS & TRUST CO. 108th st, Nos 315 to 321, n s, 250 e 2d av, 100x100.11. Subordination agreement. Sept 1. Sept 2, 1908. 6:1680. nom

Krauss, Philip to Benoit Wasserman. Madison av, Nos 1427 and 1429, e s, 50.11 s 99th st, 50x100. P M. Prior mort \$65,000. Sept 1, due Sept 1, 1917, 6%. Sept 2, 1908. 6:1604. 14,000

Kane, Bridget C, of Larchmont, N Y, to Fannie W Brown, of Plainfield, N J. 61st st, No 138, s s, 20 w Lexington av, 20x80. Aug 28, 1908, 3 years, 5%. 5:1395. 13,000

Korn, Henry H with Eugen and Louisa Schulz. 121st st, No 315 West. Extension agreement. June 5. Aug 29, 1908. 7:1948. nom

Keystone Investing Co to Sophie Marx. 145th st, Nos 535 to 541, n s, 125 e Broadway, 100x½ blk. Certificate as to mort for \$5,000. Aug 25. Aug 28, 1908. 7:2077. —

Same to ALBANY COUNTY SAVINGS BANK. Same property. Certificate as to mort for \$85,000. Aug 25. Aug 28, 1908. 7:2077. —

Keller, August to Paul Braus and ano. 75th st, No 442, s s, 100 w Av A, 25x102.2. P M. Sept 1, 1908, 1 year, 6%. 5:1469. 2,000

Kurzrok, Max to LAWYERS TITLE INS & TRUST CO. 108th st, Nos 315 to 321, n s, 250 e 2d av, 2 lots, each 50x100.11. 2 mort, each \$40,000. Sept 1, 1908, 5 years, 5½%. 6:1680. 80,000

Kurzrok, Max to LAWYERS TITLE INS & TRUST CO. 108th st, Nos 331 and 333, n s, 150 w 1st av, 50x100.11. Sept 1, 1908, 5 years, 5½%. 6:1680. 40,000

Kayan, John A to Charles Dorn and ano. 30th st, No 328, s s, 349.2 e 2d av, 21x98.9. P M. Sept 2, 5 years, 5½%. Sept 3, 1908. 3:935. 8,000

Kobre, Max with David Kass. Lenox av, Nos 560 and 562, n e cor 138th st, No 69, 49.11x85. Extension mort. Aug 1. Sept 2, 1908. 6:1736. nom

Kates, Edward to John B O'Donnell. Edgecombe av, s e cor 137th st, No 324, 19.10x90. P M. Prior mort \$14,000. Sept 2, due Feb 1, 1910, 6%. Sept 3, 1908. 7:1960. 3,500

Levy, Isaac and Simon Weinstein with METROPOLITAN LIFE INS CO. Park av, s e cor 96th st, 100.8x90. Extension mort of \$170,000 at 6%. Aug 28. Aug 29, 1908. 5:1524. nom

Lawyers Mortgage Co to Sarah A Lloyd. Manhattan av, No 111, w s, 91.11 n 104th st, 18x50. Extension mortgage at increased interest from 4½ to 5½%. Aug 10. Sept 3, 1908. 7:1840. nom

Lockley, Philip to Henry Nechols. 44th st, No 522, s s, 325 w 10th av, 25x100.5. P M. Prior mort \$16,000. Sept 1, 3 years, 6%. Sept 2, 1908. 4:1072. 6,500

Love, Wm to LAWYERS TITLE INS & TRUST CO. 102d st, No 76, s s, 100 e Columbus av, 30x100.11. Sept 2, 1908, 5 years, 5%. 7:1837. 22,000

Leeds & Catlin Co to HAMILTON TRUST CO as trustees. Certificate as to subsidiary mortgage or deed of trust dated July 15, 1908. July 15. Sept 2, 1908. —

Levinson, Charles to Ingomar Goldsmith exr and trustee Isaac Rosenfeld. Washington st, No 52, w s, 107.2 n Morris st, 20x90x 31.7x89.6; West st, No 29, e s, 120.6 n Morris st, 29.10x90x 18.3x89.3. P M. July 22, due Aug 27, 1910, 5%. Aug 28, 1908. 1:17. 52,500

Lowenfeld, Pincus and William Prager to MUTUAL LIFE INS CO of N Y. 161st st, Nos 518 and 520, s s, 275 w Amsterdam av, 50x99.11. P M. Aug 27, due &c as per bond. Aug 28, 1908. 8:2119. 13,000

Luttgen, Penelope A to Harry Mack. 100th st, No 235, n s, 185 e West End av, 15x100.11. Prior mort \$—. Aug 31, installs. 6%. Sept 1, 1908. 7:1872. 500

Lockley, Philip to Theresa Blumenthal. 11th av, No 582, e s, 60.5 s 44th st, 20x65. Prior mort \$—. Aug 31, 2 years, 6%. Sept 1, 1908. 4:1072. 2,000

Lincoln Holding Co to whom it may concern. 153d st, s s, 153 e 8th av, 100x½ blk. Certificate as to two mort for \$40,000 each. Aug 17. Sept 3, 1908. 7:2038. —

Lincoln Holding Co to Emily H Moir. 153d st, Nos 258 and 260, s s, 127 w Macombs pl, 50x99.11. Sept 3, 1908, 5 years, 5%. 7:2038. 40,000

Lincoln Holding Co to Sigmund M Lehman. 153d st, Nos 262 and 264, s s, 177 w Macombs pl, 50x99.11. Sept 3, 1908, 5 years, 5%. 7:2038. 40,000

Miller, Annie to Wm P Curley and ano. 11th st, Nos 322 and 324 West. Assign rents to extent of \$1,250. July 1. Aug 28, 1908. 2:633. 1,000

McEvoy, Dennis to Montague Aaron. 123d st, No 528, s s, 333.2 w Amsterdam av, 33.4x100.11. Prior mort \$30,000. Aug 27, due &c as per bond. Aug 28, 1908. 7:1977. 6,000

Michelson, Samuel to Alice H Sturges. 112th st, Nos 20 and 22, s s, 50 w Madison av, runs w 67.9 x s 54.11 to c l Old Harlem road x s w — x e 83.8 x n 100 to beginning. Aug 14, 1 year, 6%. Aug 28, 1908. 6:1617. gold, 5,000

Michelson, Samuel to LAWYERS TITLE INS & TRUST CO. 112th st, No 22, s s, 50 w Madison av, 38.8x100.11. Aug 14, 5 yrs, 5½%. Aug 28, 1908. 6:1617. 40,000

Michelson, Samuel to LAWYERS TITLE INS & TRUST CO. 112th st, No 20, s s, 88.8 w Madison av, runs w 29 x s 54.11 to c l Old Harlem road x s w — x e 44.11 x n 100.11 to beginning. Aug 14, 5 years, 5½%. Aug 28, 1908. 6:1617. 30,000

Marks, Louis to Sarah Snyder. Ridge st, No 148, e s, 100 n Stanton st, 25x100, with use of alley on north. Sept 1, 3 years, 6%. Sept 2, 1908. 2:345. 2,000

Mayer, Abraham to Abraham Wind. 73d st, No 307, n s, 150 e 2d av, 25x102.2. P M. Sept 1, 1908, 5 years, 5%. 5:1448. 8,000

MacElrath, Robt C to Mary Muir. 92d st, No 43, n s, 405 e Columbus av, 20x100.8. P M. Sept 1, 1908, 3 years, 5%. 4:1206. 14,000

Mayer, Julia to TITLE GUARANTEE & TRUST CO. 122d st, No 238, s s, 488 w 7th av, 34x100.11. P M. Aug 31, due &c as per bond. Sept 1, 1908. 7:1927. 26,000

Marrone, Michael to American Mortgage Co. 110th st, Nos 342 and 344, s s, 100 w 1st av, 2 lots, each 25x100.11. 2 mort, each \$8,000. Sept 1, 1908, 5 years, 5½%. 6:1681. 16,000

Meyer, Isaac to Amelia Cohen. 195th st, No 67, n s, 195 e Madison av, 25x100.11. P M. Prior mort \$15,000. Sept 2, 3 years, 6%. Sept 3, 1908. 6:1611. 3,000

Moersch, Philip and Valentine Wille to Christine Wille. St Nicholas av, No 140, n e cor 180th st, 100x100. Prior mort \$170,000. Aug 11, due &c as per bond. Sept 3, 1908. 8:2153. 15,400

Muller, Henry to TITLE GUARANTEE & TRUST CO. 121st st, No 353, n s, 186 w Manhattan av, 16x100.11. Sept 2, due &c as per bond. Sept 3, 1908. 7:1948. 9,000

Mowbray, Thos H of Allendale, N J, to Bessie S Everitt. Bowery, Nos 214 and 214½, w s, abt 265 n Spring st, 25x100. Aug 31, 1 year, 6%. Sept 3, 1908. 2:492. 1,500

N Y TRUST CO with Mary Ryan. 12th av, old line, n w cor 49th st, if prolonged, 117x688.8 to exterior line x117.4x679, with docks, bulkheads, riparian rights, &c. Extension mort. Feb 7, 1907. Sept 2, 1908. 4:1108. nom

Orphan Asylum Society of the City N Y with Althea R Ward. West End av, No 836, e s, 50.11 s 101st st, 25x100. Extension mort. Aug 27. Sept 2, 1908. 7:1872. nom

Orphan Asylum Society in the City N Y with Althea R Ward. West End av, No 834, e s, 75.11 s 101st st, 25x100. Extension mort. Aug 27. Sept 2, 1908. 7:1872. nom

Potsdam, Jacob to Sidney Ascher. Madison av, No 1839, n e cor 120th st, 17.9x83. Sept 3, 1908, due &c as per bond. 6:1747. 1,000

Poland Spring Co to FARMERS LOAN & TRUST CO. Broadway, No 1180, e s, 26.6 n 28th st, 26.5x94.7x24.8x85.1. Aug 24, 3 years, —. Aug 31, 1908. 3:830. 125,000

Same to same. Same property. Certificate as to above mort Aug 20. Aug 31, 1908. 3:830. —

Paterno Bros, a corpn, to LAWYERS TITLE INS & TRUST CO. 113th st, n s, 100 w Amsterdam av, 50x100.11. Sept 1, demand, 6%. Sept 2, 1908. 7:1885. 115,000

Same to same. Same property. Certificate as to above mortgage. Sept 1. Sept 2, 1908. 7:1885. —

Penco Realty Co to METROPOLITAN LIFE INS CO. Riverside Drive, n e cor 136th st, 102.6x122.10x99.11x145.8. Sept 1, due Nov 1, 1911, 6%. Sept 2, 1908. 7:2002. 175,000

Same to same. Same property. Certificate as to above mort. Sept 1. Sept 2, 1908. 7:2002. —

Pantano, Louisa and Pasquale, of Brooklyn, to Giovanni Luzzato, of Brooklyn. 2d av, No 2200, n e cor 113th st, No 301, 20.11x 80. Aug 27, 3 years, 6%. Aug 28, 1908. 6:1685. 4,000

Reynolds, May D to Andrew Diehl. 34th st, No 338, s s, 148 n w 1st av, 23x98.9; 34th st, No 340, s s, 125 n w 1st av, 23x98.9. June 10 due, &c, a per bond. Sept 2, 1908. 3:939. 500

Redding, Matthew and Theresa M to EMIGRANT INDUSTRIAL SAVINGS BANK. 131st st, No 523, n s, 275 w Amsterdam av, 25x99.11. Sept 2, 1908, 3 years, 5%. 7:1986. 2,000

Rector, &c, of St Philips Church in City of N Y to Rector, &c, Trinity Church in City N Y. 30th st, Nos 115 to 131, n s, 188.6 w 6th av, runs w 239.5 x n 43.2 x e 238.2 x s 91.6 to beginning. Prior mort \$90,000. June 29, 5 years, 5%. Sept 1, 1908. 3:806. 11,000

Rainbow, Lillian C to LAWYERS TITLE INS & TRUST CO. 55th st, No 147, n s, 208.4 e Lexington av, 16.8x100.5. Aug 28, 1908, 5 years, 5½%. 5:1310. 11,000

Same to Sarah F Peck. Same property. Prior mort \$11,000. Aug 28, 1908, 3 years, 6%. 5:1310. 1,500

MAPLEDORAM & CO.**REAL ESTATE BROKERS****Bay Ridge Property****Our Specialty****FIFTH AVE. AND 79th ST.
BROOKLYN, N. Y.**

TELEPHONE, 724 BAY RIDGE

Rosengarten, Leo to Fannie Koehler. 133d st, No 204, s s, 137.6 w 7th av, 37.6x99.11. Aug 27, due Sept 1, 1910, 6%. Aug 28, 1908. 7:1938. 5,000

Rumore, John to Sam Vitellaro and Sebastiano Cataldo. 80th st, Nos 512 to 516, s s, 223 e Av A, 75x102.2. Aug 25, 1 year, 6%. Aug 28, 1908. 5:1576. 5,515

Strasbourg, Samuel to Wm F Armstrong. 136th st, No 17, n s, 260 w 5th av, 37.6x99.11. Sept 2, 5 years, 5½%. Sept 3, 1908. 6:1734. 30,000

Scheer-Ginsberg Realty & Construction Co to Brevoort Real Estate Co. 151st st, Nos 535 and 537, n s, 150 e Broadway, 75x99.11. Sept 3, 1908, 3 years, 5%. 7:2083. 81,000

Same to same. Same property. Certificate as to above mort. Sept 3, 1908. 7:2083.

Scheer-Ginsberg Realty & Construction Co to Brevoort Real Estate Co. 152d st, Nos 534 and 536, s s, 150 e Broadway, 75x99.11. Sept 3, 1908, 3 years, 5%. 7:2083. 84,000

Same to same. Same property. Certificate as to above mort. Sept 3, 1908. 7:2083.

Silverman (C M) & Son, Inc, to MANHATTAN LIFE INS CO. Cathedral Parkway, Nos 209 to 213, n s, 150 w 7th av, 100x100. Sept 3, 1908, due &c as per bond. 7:1826. 165,000

Same to same. Same property. Certificate as to above mort. Sept 3, 1908. 7:1826.

Sound Realty Co to John W Kight. Broadway, Nos 3544 to 3548, n e cor 145th st, 99.11x125. Certificate as to reduction of mort. Sept 1. Sept 2, 1908. 7:2077. nom

Steinberg, Morris A to Julius Lichtenstein. Charles st, Nos 33 to 37, n s, 125 w Waverly pl, 60x95. P M. Sept 1, 3 years, 6%. Sept 3, 1908. 2:612. 30,000

Sprung, Wolf with Chas J Newman. 23d st, No 331 East. Agreement modifying terms of mort. Sept 2. Sept 3, 1908. 3:929. nom

Shelt, Gussie M to Theresa Scholz. 113th st, No 67, n s, 254.4 w Park av, 25.8x100.11. Prior mort \$16,000. Aug 31, 2 years, 6%. Sept 1, 1908. 6:1619. 2,250

Stolzenberg, Anna M with Wm F Decker. 118th st, No 229 East. Subordination agreement. Aug 31. Sept 1, 1908. 6:1783. nom

Spiro, Teofila to EQUITABLE LIFE ASSUR SOC of the U S. St Nicholas av, No 396, e s, 36.11 s 130th st, 18x125. P M. Sept 1, 1908, 5 years, 5%. 7:1955. gold, 12,500

Smigel, Rose to Betsie Volt. 80th st, No 232, s s, 187.1 w 2d av, runs s 78.11 x s e 2.7 x s 22.6 x w — x n 102.2 to 80th st, x — 26.4 to beginning. P M. Prior mort \$36,000. Sept 1, due Mar 1, 1909, 6%. Sept 2, 1908. 5:1525. 500

Sweezy, Caroline W to Matilda H Russak. 143d st, No 470, s s, 63.2 e Amsterdam av, 16.10x99.11. P M. Prior mort \$—. Sept 1, 3 years, 6%. Sept 2, 1908. 7:2058. 2,500

Schiff, Hyman and Max Borek to Independent Order Brith Abraham of The U S of America. Av D, No 131, n w cor 9th st, No 749, runs w 93 x n 46.6 x e 23 x s 20.6 x e 70 to av, x s 26 to beg; 106th st, Nos 73 and 75, n s, 25 w Park av, 50x75.11. Aug 18. Secures performance of duties of Hyman Schiff as treasurer of above order. Sept 2, 1908. 2:379, 6:1612. 30,000

Smyth, Francis to Henry A C Taylor, of South Portsmouth, R I. 64th st, No 46, s s, 150 w Park av, 12.5x100.5. P M. Aug 25, due Aug 27, 1911, 4½%. Aug 28, 1908. 5:1378. 22,000

Schiffman, Fani and Abraham Tracklin to Caecilie Ettinger. 129th st, No 56, s s, 135 e Lenox av, 27.6x99.11. Prior mort \$22,000. Aug 25, due Aug 9, 1909, 6%. Aug 28, 1908. 6:1726. 500

Strubbe, Herman to LINCOLN TRUST CO. Columbus av, No 70, w s, 50.8 s 63d st, 25x100. Aug 28, 1908, 5 years, 5½%. 4:1134. 26,000

Salzberg, David to Miriam Tuckman. 99th st, n s, 79 w 2d av, 26x101. Aug 17, 3 years, 6%. Aug 28, 1908. 6:1649. 1,000

Tortora, Thomas to Eliza Dean. 53d st, No 161, n s, 95 w 3d av, 27.4x100.5. Sept 1, 1908, 3 years, 5%. 5:1308. 18,000

Same to Herman H Becker. Same property. Prior mort \$18,000. Sept 1, 1908, 3 years, 6%. 5:1308. 4,000

Tischler, Morris M to TITLE GUARANTEE & TRUST CO. 2d av, No 2018, s e cor 104th st, No 300, 25.11x75. Aug 31, due, &c, as per bond. Sept 1, 1908. 6:1675. 19,000

Taylor, Arthur E to Mary Ryan. 12th av, as originally laid out, w s, at n s 49th st, if prolonged, runs n 117 to n s of a water grant x w 688.8 x s 117.4 to st x e 679 to beginning, with all docks, bulkheads, &c; also all title to land under water Hudson River in front of above. P M. Prior mort \$35,000. July 20, due &c as per bond. Sept 3, 1908. 4:1108. 30,000

Tonetti, Emil and John to John Reinhardt. 51st st, No 425, n s, 235.8 e 1st av, 16.8x100.5. P M. Sept 3, 1908, 3 years, 6%. 5:1363. 2,400

Universal Building & Construction Co to Joseph H Schwarz. Rivington st, Nos 58 and 60, n s, 46.2 e Eldridge st, 42x80. P M. Aug 21, due Feb 21, 1909, 6%. Aug 29, 1908. 2:416. 3,557.50

Same to same. Same property. Certificate as to above mort. Aug 19. Aug 29, 1908. 2:416.

Verderosa, or Gagliardi, Caterina A and Michael Gagliardi to Tony Giordano. 124th st, No 411, n s, 150 e 1st av, 25x100.11. Sept 1, due Mar 1, 1910, 6%. Sept 3, 1908. 6:1812. 2,000

Wolfson, Leopold to Isaac Weingart. Amsterdam av, Nos 1508 and 1510, w s, 79.11 s 135th st, 39.11x100. Feb 1, 1 year, 6%. Sept 2, 1908. 7:1988. 6,500

Weingart, Isaac to Wm R Rose. Amsterdam av, Nos 1504 and 1506, w s, 119.10 s 135th st, 39.11x100. P M. Sept 1, 3 years, 5%. Sept 2, 1908. 7:1988. 48,000

Whittaker, Floris T to James A Hogan. Lexington av, No 1833, e s, 80.8 s 114th st, 20.3x78. P M. Aug 31, 1 year, 6%. Sept 2, 1908. 6:1641. 1,500

Wanninger, Chas and Horatio and Marie C Nelson exrs, &c, Wm Nelson to GERMAN SAVINGS BANK. 7th av, Nos 191 to 199, e s, 24.8 n 21st st, runs e 100 x n 74 x e 25 x n 13.3 x w 56 x n 11.9 x w 69 to av x s 98.9 to beg. Sept 2, 1908, 1 year, 5%. 3:797. 40,000

Whiffen, Ella M of Mt Vernon, N Y, to TITLE GUARANTEE & TRUST CO. 52d st, Nos 244 and 246, s s, 100 w 2d av, 50x100. Sept 3, 1908, due &c as per bond. 5:1325. 20,000

Wetterer, William to Wm R Rose as trustee. Washington st, No 708, w s, 64 n Perry st, runs n w 88 x n 16 x n e 18 x s e 75.6 x s 23 to beginning. P M. Aug 8, 1895, 1 year, 5%. Aug 31, 1908. 2:637. 6,000

Whiting, Wm H of Bound Brook, N J, to ALBANY COUNTY SAVINGS BANK. Beekman st, No 21, s w s, abt 140 e Nassau st, 22.6x100x23.2x100; Beekman st, No 19, s w s, 21.9x100. Aug 28, 3 years, 5%. Sept 1, 1908. 1:92. 130,000

Weingarten, Abraham C to Davis Cohen. Ludlow st, No 40, e s, 125.6 n Hester st, 25.3x87.6x25.2x87.6. Subordination agreement. Aug 24. Aug 28, 1908. 1:310. nom

Wersba, Ida to Jacob Brown. 112th st, No 24, s s, 358 w 5th av, 31x100.11. Prior mort \$22,000. Aug 28, 3 years, 6%. Aug 29, 1908. 6:1595. 6,000

Zipser, Edward to Simon Wolf and ano exrs and trustees Herrman Schiffer. 118th st, No 158, s s, 252.3 w 3d av, 25x100.11. Aug 19, 3 years, 5%. Aug 28, 1908. 6:1645. 18,000

Zipser, Edw and Samuel to Morris Walfish. 118th st, No 158, s s, 252.3 w 3d av, 25x100.11. Sept 1, 1908, 1 year, 6%. 6:1645. 4,000

BOROUGH OF THE BRONX.

Under this head the * denotes that the property is located in the new Annexed District (Act of 1895).

AMERICAN SAVINGS BANK and Margt Knox with Julia J Hirsch. Fox st, s s, 358.11 e Prospect av, 80x109. Subordination agreement. Aug 10. Aug 28, 1908. 10:2683. nom

Aldous, Herbert with Tremont Building & Loan Assoc. Aqueduct av, e s, 101.3 s 184th st, runs e 56.4 x n 20.2 x w 53.2 to av x s 20.4. Subordination agreement. Aug 31. Sept 1, 1908. 11:3209, 3212. nom

Amabile Filomena to LAWYERS TITLE INS & TRUST CO. Arthur av, e s, 300 s 186th st, 25x87x25x86.11. Sept 1, 5 years, 5½%. Sept 3, 1908. 11:3073. 9,000

Bender, Walburga to A Hupfels Sons, a corpn. 3d av, No 2766. Saloon lease. Aug 10, demand, 6%. Sept 1, 1908. 9:2307. 3,667.56

Burke, Lillian K to Amy V Wilkinson. 184th st, n s, 71.5 w Walton av, 25x69.2x25x68.10. Prior mort \$4,800. Aug 28, 1908, 1 year, 5%. 11:3188. 700

*Bolen, Georgiana to John P Wenninger. 11th st, n s, 355 e Av C, 50x108. Unionport. Prior mort \$—. Aug 21, 3 years, 6%. Aug 29, 1908. 800

*Buhl, Wm and Matthew T Halpin to Mary Welcker. Lots 5, 8, 10, 11, 13 and 14, map Colorado Realty Co, being a sub-division of lot 40 of Parsonage of St Peters Church. P M. Prior mort \$5,900. Sept 1, 3 years, 6%. Sept 2, 1908. 3,236

Brewer, Anna H to R & W Realty Co. Brook av, Nos 1337 and 1339, w s, 133.4 s Anna pl, 41.7x100. P M. Sept 1, 3 years, 6%. Sept 2, 1908. 11:2893. 6,000

*Benkiser, Chas A with TITLE GUARANTEE & TRUST CO. Pleasant av, e s, 150 n 216th st, 50x100. Subordination agreement. Aug 19. Sept 2, 1908. nom

*Blass, Emma to TITLE GUARANTEE & TRUST CO. Pleasant av, e s, 150 n 216th st, 50x100. Aug 18, due &c as per bond. Sept 2, 1908. 2,500

*Buhl, Wm and Matthew T Halpin to Eliz K Dooling. Starling av, s s, 146 w Glebe av, 25x111.8x25x111.9. P M. Sept 1, 3 years, 5½%. Sept 2, 1908. 4,000

*Same to same. Starling av, s s, 196 w Glebe av, 25x111.5x25x111.7. P M. Sept 1, 3 years, 5½%. Sept 2, 1908. 4,000

Blewett, Jennie to Jacob Danzig. Intervale av, e s, 194.3 n Home st, 24.11x59.1x25x67.1. Sept 1, 1908, 3 years, 5½%. 11:2974. 5,000

Cohen, Max to Augusta Haase. Grant av, No 1058, e s, 207.8 n 165th st, 25x101.5x25x101.7. Aug 31, 2 years, 6%. Sept 1, 1908. 9:2448. 1,500

Cohen & Eckman, a corpn, to Gustave J Haase. Grant av, No 1056, e s, 182.8 n 165th st, 25x100. Aug 31, 2 years, 6%. Sept 1, 1908. 9:2448. 1,500

Crouch, Clarice H to Fordham Realty Co. Sedgwick av, w s, 292.7 n Private st, and being lot 12 map Bailey estate, 25.5x100x25.4x100. P M. Aug 31, due Mar 1, 1909, 6%. Sept 1, 1908. 11:3237. 3,000

*Ciallella, Alfonso to William Lloyd and ano exrs Henry Lloyd. Sheil st, n s, 108.10 e 4th av, 33x105.5. Aug 31, 1908, 3 years, 6%. 1,900

Corbett, Martin D to Sarah Bacharach et al exrs and exrs Herrman Bacharach. Tyndall av, w s, 100 s 260th st, 75x95; also strip 5 ft wide lying bet w s Tyndall av as shown on final map and w s Hill st as shown on tax map. P M. Aug 26, due, &c, as per bond. Aug 28, 1908. 13:3426. 1,500

*Country Club Land Assoc to Stephen Carlton Clark. Certificate as to mort for \$130,000. Aug 27. Aug 28, 1908.

*Cleary, William to Frank Gass. Lot 170 map Sec 2 St Raymond Park. Aug 15, due July 1, 1911, 5½%. Aug 28, 1908. 3,500

Cohen, Sarah to J J Karby O'Kennedy. Belmont av, w s, 227.6 s 182d st, 50.2x79.3x50x80.7. June 1, due, &c, as per bond. Aug 28, 1908. 11:3082. 2,500

*Dickie, Jane A to Daniel Stiess exr Katharina Barthel. Fordham av, s e cor Main st, 100x38.2x100x34, except part for st. City Island. Aug 27, 1 year, 6%. Aug 28, 1908. 1,000

Delehanty, P Henry of Brooklyn, N Y, and Thos F Devine to John Aspinwall and ano trustees John L Aspinwall for benefit Helen A Redfield. 164th st, n e cor Summit av, 100x25. P M. Sept 1, 3 years, 5½%. Sept 3, 1908. 9:2525. 24,000

Di Pasca, Elvira to Lena Koch. Boone av, n e s, 136.10 n w Freeman st, 25x87.11x25x84.8. Sept 1, 3 years, 6%. Sept 2, 1908. 11:3012. 1,200

*Earley, Martin J to Henry and Carrie F Guion, of Brooklyn. John st, s w cor Bowne st, 122.1x— to Eastchester Bay x— on curve to Bowne st x223.4 to beginning, City Island. Aug 4, 3 years, 6%. Sept 1, 1908. 5,000

Eidas Realty Co to Sarah Cohen. 134th st, n s, 200 w St Anns av, 25x100. P M. Prior mort \$20,000. Aug 17, due &c as per bond. Aug 31, 1908. 9:2262. 3,750

Ehrlich, Solomon to The General Synod of the Reformed Church in America. 133d st, Nos 721 to 731, n s, 500 e Cypress av, 100x103.5x100x103.6. Aug 20, 3 years 5½%. Aug 29 1908. 10:2562. 13,000

*Flynn, Eliza L to Michl Baumeister. Forest st, e s, 250 n W 1st Farms road, 25x100. P M. Sept 1, 2 years, 6%. Sept 3, 1908. 2,000

*Faas, Louise to Frieda Dicks. Grace av w s, 125 n Lyon av, 25x100. Prior mort \$3,700. Sept 2, due June 8, 1911, 5%. Sept 3, 1908. 2,800

Fox, Fredk P to TITLE GUARANTEE & TRUST CO. Webster av, s w cor 199th st, 200.7 to Oliver pl, x100. Aug 31, due, &c, as per bond. Sept 3, 1908. 12:3279. 25,000

Frey, Gustave to John Paul. 3d av, w s, 75 s 167th st, 25x100. Prior mort \$5,000. Aug 31, 1908, 1 year, 6%. 9:2371. 2,000

- *Floy, Sarah A with Joseph Krulis. Taylor av, No 1641. Extension mort. Aug 18. Sept 1, 1908. nom
- *Fuchs, Daniel to Thomas C Arnow. Lot No 5 blk A map (No 969) Arnow estate. Prior mort \$3,500. Aug 27, 1 year, 6%. Aug 28, 1908. 900
- Greenberg, Malvina and Saml and Isaac Mendelsohn to Thornton Bros Co. 169th st, No 366, s s, 20 w Teller av, 20x90. P M. Prior mort \$5,000. Aug 27, installs, 6%. Aug 28, 1908. 9:2431. 1,100
- Ginsburger, Emil to Theresa Foy. 183d st, No 705, n s, 35.1 e Beaumont av, 18.2x75. Sept 1, 3 years, 5½%. Sept 2, 1908. 11:3103. 4,000
- Ginsburger, Emil to Annie M Atwood. 183d st, No 703, n s, 17.1 e Beaumont av, 18x75. Sept 1, 1908, due Jan 1, 1912, 6%. 11:3103. 3,500
- Same to Christopher Wright. Beaumont av, No 2292, n e cor 183d st, No 701, 75x17.1. Sept 1, 1908, due Jan 1, 1912, 6%. 11:3103. 4,500
- *Gerlach, Gertrude to Joseph Krulis. Taylor av, w s, 150 s Columbus av, 25x100, except part for Taylor st. P M. Prior mort \$3,000. Sept 1, 1908, 3 years, 6%. 1,500
- Horan, Nellie J to Wm E Rabell. Woodcrest av, No 1011, w s, 176.4 n 164th st, late Kemp pl, 25.2x85. Prior mort \$4,500. Sept 1, 1908, 1 year, 6%. 9:2512. 500
- Hirsch, Julia J to AMERICAN SAVINGS BANK. Fox st, No 572, s s, 398.11 e Prospect av, 40x109. Aug 28, 1908, 3 years, 5½%. 10:2683. 23,000
- Hirsch, Julia J to THE AMERICAN SAVINGS BANK. Fox st, No 568, s s, 358.11 e Prospect av, 40x109. Aug 28, 1908, 3 years, 5½%. 10:2683. 23,000
- Hosford, Frank to Sarah Bacharach et al extrx and exrs Herrman Bacharach. 259th st, n w cor Tyndall av, runs n 49.6 x w 95 x s 50 x w 95 to e s Liebig av x s 110.9 to an angle point x s again 30 to st x n e 218.1 to beginning; also strip 5 ft wide bet w s Hill st as shown on tax map and w s Tyndall av on final map. P M. Aug 26, due &c as per bond. Aug 28, 1908. 13:3423. 4,500
- Houlihan, Daniel to Josephine Schwarz. Jerome av, s s, 293 w Minerva pl, 56x93.11x44.5x108.4. P M. Aug 28, 3 years, 5%. Aug 29, 1908. 12:3319. 2,500
- *Hogan, John J and James W Nelson to William Lloyd and ano exrs Henry Lloyd. Stillwell av, e s, abt 328 s McDonald st, 25.2 x100. Aug 26, due Sept 1, 1911, 6%. Aug 28, 1908. 3,000
- Herrlich, Henry to Christine Herrlich. 141st st, s w s, 100 n w 3d av, 24x100. Sept 3, 1908, 5 years, 5%. 9:2321. 2,500
- Hodgins, Anna F to Wm Georgi as gdn Isabella Georgi and ano. Ryer av, w s, 220.10 n Burnside av, 25x100. Aug 1, 3 years, 5½%. Sept 3, 1908. 11:3149. 4,000
- Hess, Blume to American Real Estate Co. Faile st, No 1015, w s, 489.6 s Bancroft st, 20x100. P M. Sept 1, 5 years, 5½%. Sept 2, 1908. 10:2749. 8,500
- Same to same. Same property. P M. Prior mort \$8,500. Sept 1, installs, 6%. Sept 2, 1908. 10:2749. 2,500
- Hayes, Joseph P to LAWYERS TITLE INS & TRUST CO. 146th st, Nos 313 and 315, n s, 37.6 w College av, 37.6x110. Sept 1, 5 years, 5½%. Sept 2, 1908. 9:2329. 26,000
- Same to same. College av, Nos 477 to 481, n w cor 146th st, No 317, 110x37.6. Sept 1, 5 years, 5½%. Sept 2, 1908. 9:2329. 38,000
- Same and Sundel Hyman with same. College av, n w cor 146th st, 110x75. Subordination agreement. Aug 31, Sept 2, 1908. 9:2329. nom
- Hirsch Lumber Co with Isidor L Cohen. Bronx River, w s, adj lands of Denison & Pearce, at point 30 s of dock landing belonging to Town of Westchester, contains 66-100 acres; road from West Farms to Hunts Point and adj West Farms Creek, and bounded n by a lot formerly belonging to Town of Westchester, —x—, being a water lot, except part for East 174th st and West Farms road. Extension 2 mortis. Aug 20. Sept 1, 1908. 11:3020. nom
- *Johnson, Peter to The Franklin Society for Home Building & Savings. Wilson pl, s s, 200 e Barker av, 25x137.6. Aug 28, 1908, installs, 6%. 1,300
- Jameson, Mary C to Leon J Hyams. Bathgate av, No 1866, e s, 26 n 176th st, 23x70.7. Prior mort \$4,000. Aug 27, due Sept 1, 1910, 6%. Aug 29, 1908. 11:2924. 500
- Jameson, Mary C to Theodore L Bailey. Bathgate av, No 1866, e s, 26 n 176th st, 23x70.7. Aug 27, due Sept 1, 1913, 5½%. Aug 28, 1908. 11:2924. 4,000
- Jackle, Michael to Geshe M McPherson guardian Geshe M Grube, of Bainbridge, N Y. Crotona av, w s, 25 s 179th st, late Lebanon st, 25x100. Aug 27, 3 years, 5%. Aug 28, 1908. 11:3079. 3,600
- Kanter, Samuel and Bennie Holtzberg to Julius Wolf. Clay av, w s, 264.11 n 169th st, 16.8x82.7x16.8x82.9. Aug 28, due Sept 1, 1910, 6%. Aug 29, 1908. 11:2782. 1,000
- Keil, Charles L to Manhattan Mortgage Co. Ryer av, w s, 420.1 n Burnside av, 50x132.8x50.9x141.7. Aug 28, due Mar 1, 1909, 6%. Aug 29, 1908. 11:3149-3156. 10,000
- Kilpatrick, Annie B to Sarah Bacharach et al trustees, extrx and exrs Herrmann Bacharach. Tyndall av, w s, 225 s 260th st, 100x95; also strip 5 ft wide as shown on final map bet w s Tyndall av and w s Hill st as shown on tax map. P M. Aug 21, 3 years, 5½%. Aug 28, 1908. 13:3423. 1,400
- *Kayser, Wm F to Simeon C Bradley. 237th st, s s, 125 e Byron st, and being lot 12 blk 10 map property Whitehall Realty Co. Sept 1, 3 years, 6%. Sept 2, 1908. 500
- Keller, George to John M Gibson. Willis av, No 234, e s, 25 s 138th st, 25x74.4. Aug 25, 1 year, 6%. Aug 31, 1908. 9:2282. 5,000
- *Kafka, Alois to Frank Zounek and ano. Grant av, n s, 175 e Garfield st, 25x100. P M. Prior mort \$3,500. Sept 1, 3 years, 5½%. Sept 3, 1908. 1,350
- *Kaminsky, Julius to Frank J Zentgraf. 15th st, s s, 255 e Av B, 25x108. P M. Sept 1, 3 years, 5%. 2,000
- Liberti, Carmino and Frank Cusati to Patk J Hinchy. Hoe av, e s, 75 s 172d st, 25x100. Aug 27, due, &c, as per bond. Aug 29, 1908. 11:2988. 3,300
- Lutz, Andrew to Mary E Bonner. 187th st, n s, 117.11 w Webster av, 25x99. Sept 3, 1908, 3 years, 5½%. 11:3025. 3,300
- *Lagana, Rosaria to Joseph P Schwab. Washington st, e s, abt 235 s Washington pl, 25x105.2. Prior mort \$400. Sept 1, demand, 6%. Sept 2, 1908. 800
- *Lawson, Chas B to BRONX SAVINGS BANK. Washington st, w s, 305 s Railroad av, 100x216 to Jackson st, Unionport. Aug 20, due &c as per bond. Sept 1, 1908. 4,000
- Meehan Construction Co to Chas E Adler. Tiffany st, No 925, w s, 205 s 163d st, —x—. Certificate as to mort for \$16,000. Aug 12. Sept 1, 1908. 10:2711. —
- Mulholland, Ellen to B Adams Burnett. Park av, w s, 392.6 s 182d st, 25x97.11x25x96.11. July 24, due Dec 15, 1910, 6%. Sept 2, 1908. 11:3030. 1,000
- Miller, Helen G widow Wm R to Ernest Sass. Southern Boule-
- vard, w s, 50 n 187th st, 25x96.3x24.8x100. Sept 2, 1908, 3 yrs, 5%. 11:3115. 1,000
- McGlynn, Peter J and Bernard J Keegan to EMIGRANT INDUSTRIAL SAVINGS BANK. 3d av, e s, 66 n Tremont av, 25x93.5x24.11x91.10. Sept 1, 5 years, 5%. Sept 2, 1908. 11:3060. 15,000
- Same and John J Bealin with same. Same property. Subordination agreement. Aug 31. Sept 2, 1908. 11:3060. nom
- *Molla, Edward to Giacomo and Giuseppe Infermisi. Columbus av, s s, 50 e Lincoln st, 25x100. Prior mort \$3,850. Aug 12, 1 year, 6%. Sept 2, 1908. 415
- *McCarthy, John D with Joseph Rotstein. Briggs av, n e cor 4th st, 50x110x47x110, Williamsbridge. Extension mortgage. July 8. Sept 3, 1908. nom
- *Mackintosh, Geo B to Annie Crimmins. Bear Swamp road, e s, and being lot 2 map in partition action Wells et al vs Storer et al. Aug 28, 3 years, 6%. Aug 31, 1908. 1,000
- Mayer, Maria to Jennie Wormser. Park av, Nos 3772 and 3774, e s, 140 s 171st st, 2 lots, each 20x150. 2 P M mortis, each \$1,650; 2 prior mortis \$—. Aug 29, 3 years, 6%. Aug 31, 1908. 11:2902. 3,300
- Malcolm (Thomas D) Construction Co to City Mortgage Co. Tiffany st, w s, 356.3 n 165th st, 90x100. Building loan. Aug 28, demand, 6%. Sept 3, 1908. 10:2716. 56,000
- Same to same. Same property. Certificate as to above mortgage. Aug 28. Sept 3, 1908. —
- Majewsky, Annie M to TITLE GUARANTEE & TRUST CO. Tinton av, No 776, e s, 33.4 s 158th st, 16.8x100. Sept 3, 1908, due, &c, as per bond. 10:2655. 3,000
- Morrison, Daniel S to Sarah Bacharach et al extrx and exrs Herrmann Bacharach. 260th st, s s, 71.3 e Liebig av, runs e 118.9 to w s Tyndall av x s 100 x w 118.9 x n 100 to beginning; also strip 5.11 wide lying bet s s 260th st as on final map and s s Beech st on tax map; also strip 5 ft wide lying bet w s Tyndall av as shown on final map and w s Hill st as on tax map. P M. Aug 26, due &c as per bond. Aug 28, 1908. 13:3426. 1,350
- *Miller, Wm D and Wm W Penfield (in bond only) to Florence S Weil, of Brooklyn. White Plains road, w s, 318.11 n Kossuth st, 26.5x130.8x26.5x131.10, Washingtonville. Aug 28, 3 years, 6%. Aug 29, 1908. 2,500
- *Maroon, Bessie to Hudson P Rose Co. Rose pl, n s, 100 w Parker av, 20x100. P M. Aug 24, due Nov 24, 1911, 5%. Aug 28, 1908. 600
- *Noack, Ernest to Mary J Haviland. Columbus av, s s, 424 w Bronxdale av, runs s 47.5 to land N Y, N H & H R R Co x w along said land 39.7 x n 41.10 to av x e 39 to beginning. Aug 28 1908, installs, 6%. 225
- Noonan, Cornelius D to LAWYERS TITLE INS & TRUST CO. Longfellow av, No 1317, w s, 150 n Freeman st, 25x100. P M. Sept 1, 5 years 5½%. Sept 2, 1908. 11:2999. 3,500
- Same to Peter Halvorson. Same property. P M. Prior mort \$3,500. Sept 1, 4 years, 6%. Sept 2, 1908. 11:2999. 1,200
- *Oates, Herbert W to Hieronimus Vierling. Elliott av, n s, lot 56 map Schuylerville, at Throggs Neck, 50x126. Sept 1, 3 years, 6%. Sept 2, 1908. 1,400
- O'Keeffe, Cornelius to James A Lynch. Bryant av, e s, 125 n 172d st, 25x100. P M. Aug 28, due &c as per bond. Aug 29, 1908. 2,000
- O'Hanlon, George to Hugh McLernon. 188th st, n s, 550 w Tee Taw av, 33.4x110x33.4x—. P M. Prior mort \$6,000. Aug 27, 2 years, 5½%. Aug 28, 1908. 11:3219. 2,200
- Phelan, Wm L and Harry C Benline to Conrad Heberer. Vyse av, No 1217, w s, 191.4 n Home st, 18.9x100. Aug 28, due, &c, as per bond. Sept 3, 1908. 11:2986. 1,500
- *Pleasants, Virginia widow to Marion Miller, of Jersey City, N J. 224th st, s s, 171.8 w Bronxwood av, 33.4x114, Williamsbridge. Aug 31, 3 years, 6%. Sept 1, 1908. 1,000
- Phelan, Wm L and Harry C Benline to Victor Gerhards. Vyse av, No 1219, w s, 210.1 n Home st, 18.9x100. Prior mort \$6,000. Aug 28, due &c as per bond. Aug 29, 1908. 11:2986. 1,500
- Phelan, William L and Harry C Benline to Peter Otten. Vyse av, No 1221, w s, 228.10 n Home st, 18.9x100. Prior mort \$6,000. Aug 28, due &c as per bond. Aug 29, 1908. 11:2986. 1,500
- Same to same. Vyse av, w s, 247.7 n Home st, 18.9x100. Prior mort \$6,000. Aug 28, due &c as per bond. Aug 29, 1908. 11:2986. 1,500
- Rath, Frederick to Benjamin Korminsky. 148th st, No 660 East. Extension mort. Aug 27. Aug 29, 1908. 9:2292. nom
- *Rose (Hudson P) Co with James W Nelson and ano. Stillwell av, e s, abt 328 s McDonald st, 25.2x100. Subrogation agreement. Aug 26. Aug 28, 1908. nom
- Reilly, Reilly or O'Reilly, Susan widow, and Delia White, child of Owen Reilly to Rudolf Broger. Stebbins av, e s, 133.9 n Freeman st, runs e 126.11 x w 127.2 to av, s 25 to beg. Sept 2, demand, 6%. Sept 3, 1908. 11:2965. 500
- Rosenberger, Saml to Cohen & Eckman, a corpn. Grant av, No 1064, e s, 282.8 — 165th st, 25x100.11x25x100.1. P M. Prior mort \$7,500. Sept 1, due, &c, as per bond. Sept 3, 1908. 9:2448. 900
- Same to same. Grant av, No 1066, e s, 307.8 n 165th st, 25x100.10x25x100.11. P M. Prior mort \$7,500. Sept 1, due, &c, as per bond. Sept 3, 1908. 9:2448. 900
- *Steinmetz, Amelia wife Sam'l B to North N Y Co-Operative Bldg & Loan Assn. Lyon av, s e s, 25 n line bet lots 27 and 28, 25 x100, being part of lots 28 and 29, blk C, map Dore Lyon property, Westchester. Aug 1, 3 years, 5½%. Sept 3, 1908. 4,000
- *Same to same. Lyon av, s e s, 50 n line bet lots 27 and 28, 25x100, being part lots 29 and 30, blk C, same map. Aug 1, 3 years, 5½%. Sept 3, 1908. 4,000
- *Same to same. Lyon av, s e s, at line bet lots 27 and 28, runs s e 100 x n e 25 x n w 100 to av, x s w 25 to beg, being part lot 28, same map. Aug, 3 years, 5½%. Sept 3, 1908. 4,000
- Siegel, Louis to Mary Leimbacher. Hall pl, e s, 163.1 s 167th st, runs e 51.8 x e 47 to w s Intervale av, x s 28 x w 56.7 and 52.7 to pl, x n 30 to beg. P M. Prior mort \$6,000. Aug 31, due Aug 1, 1912, 6%. Sept 1, 1908. 10:2700. 1,700
- Salm, Charlotte to R & W Realty Co. Brook av, Nos 1341 and 1343, w s, 91.8 s Anna pl, 41.7x90. P M. Sept 1, 3 years, 6%. Sept 2, 1908. 11:2893. 4,500
- Singhi (H U) Realty Co to City Mortgage Co. Morris av, s w cor 194th st, late Kingsbridge road, 80x194.6. Building loan. Sept 2, 1908, demand, 6%. 11:3191. 60,000
- Same to same. Same property. Certificate as to above mort. Sept 2, 1908. 11:3191. —
- *Siebert, Leodegar to Hugo Wabst. Lots 148 and 149 amended map Adea Park. P M. Feb 5, due May 5, 1909, 6%. Sept 2, 1908. 612
- *Spero, Sarah to William Lloyd and ano exrs Henry Lloyd. St Lawrence av, w s, 25 n Merrill st, 50x100. Aug 31, 1908, 3 years, 5½%. 3,500
- Schaulfelberg, Robt H to Edw H Arnold. 155th st, n s, 270 w Elton av, 25x100. Aug 28, due &c as per bond. Sept 1, 1908. 9:2377. 2,000

GERMAN
AND
AMERICAN
Sales Offices
45 B'way, N. Y. City
WORKS
HAMBURG
ALSEN ON HUDSON RIVER, N. Y.

ANNUAL CAPACITY 3,000,000 BBLS

ALSEN
"THE ABSOLUTELY SAFE CEMENT"

This Brand
of Portland Cement is
too favorably known
in EVERY COUNTRY
where cement is used
to need further descrip-
tion.

Scheps, Alex to Tremont Building & Loan Assoc. Aqueduct av, e s, 101.3 s 184th st, runs e 56.4 x n 20.2 x w 53.2 to av x s 20.4 to beginning. Aug 22, installs, 6%. Sept 1, 1908. 11:3209 and 3212. 4,500

Spranger, Edward to TITLE GUARANTEE & TRUST CO. 149th st, No 151, n s, 98.10 e Walton av, 17.8x103.1x17.8x103.5. P M. Aug 27, due &c, as per bond. Aug 28, 1908. 9:2347. 4,500

Spranger, Elizabeth to TITLE GUARANTEE & TRUST CO. 149th st, No 149, n s, 81.2 e Walton av, runs n 92 x e 8.11 x n 10.3 x e 8.7 x s 103.5 to st x w 17.8 to beginning, except part for av. Aug 27, due, &c, as per bond. Aug 28, 1908. 9:2347. 4,500

Shapero, Samuel with LAWYERS TITLE INS & TRUST CO. 169th st, No 911 East. Subordination agreement. July 24, Aug 28, 1908. 10:2719. nom

Tremberger, Michael to The General Synod of the Reformed Church in America. 133d st, Nos 721 to 731, n s, 500 e Cypress av, 100x103.5x100x103.6. Subordination agreement. Aug 20. Aug 29, 1908. 12:2562. nom

Tuoti, Giuseppe to Vito A Pittaro. Morris av, n e cor 152d st, 50x 100.3, except part for Morris av. Prior mort \$13,500. Aug 21, due Sept 1, 1910, 6%. Aug 28, 1908. 9:2412. 2,000

*Taubert, Dorothea nee Harjes to Matilda J Tietjen. Lot No 427 map Washingtonville. Aug 25, due July 1, 1911, 6%. Aug 28, 1908. 1,000

*Tuchman, Herman to Amory Eliot and ano trustees Rollin H Lynde. Forest st, w s, 250 n West Farms road, 50x100, and being lots 44 and 45 map property of J J Gleason dated May 15, 1894. 2 morts, each \$4,500. Sept 1, 1908, due Feb 1, 1912, 5 1/2%. 9,000

Vogel, Anastasia to LAWYERS TITLE INS & TRUST CO. 169th st, n e s, 152.4 n w Fox st, runs n e 67.7 x n 25 x n w 6.4 x s w 83.6 to st x s e 20.7 to beginning. July 24, 5 years, 5 1/2%. Aug 28, 1908. 10:2719. 4,700

*Vinciguierre, Salvatore to G De Witt Clocke. Parker av, e s, abt 185 s Castle Hill av, 25x100. Aug 27, due Sept 1, 1911, 6%. Aug 28, 1908. 4,000

Vetrano, Carmine to Nathaniel B Farrar. 204th st, or Potter pl, n s, 125 w Cadiz pl, 25x125. June 29, 3 years, 5 1/2%. Sept 1, 1908. 12:3311. gold, 1,000

Wehnes, Fredk to Eliz Wehnes. St Anns av, No 164, e s, 50 n 135th st, 25x100. Equal lien with mortgage for \$9,500. Sept 1, 3 years, 5%. Sept 3, 1908. 10:2548. 3,000

Same to Eva Becker. Same property. Equal lien with mortgage for \$3,000. Sept 1, 3 years, 5%. Sept 3, 1908. 10:2548. 9,500

*Zanetti, Giacomina to Juliet H Brown. 227th st, late 13th av, n s, 130 e 4th st, 25x114.5. Aug 31, 3 years, 6%. Sept 3, 1908. 3,800

For Judgments in Foreclosure Suits, Lis Pendens, Foreclosure Suits, Satisfied Judgments and Building Loan Contracts filed August 29, 31, September 1, 2 and 3, see page 501.

LIS PENDENS.

Sept. 4.

64 TENEMENT HOUSE LIS PENDENS.
Roosevelt st, Nos 119 to 125. William A Thomas Co agt Isaac Nacht et al; action to foreclose mechanics lien; att'y, C Schwick.

FORECLOSURE SUITS.

Sept. 4.

133d st, s s, 503.9 w 5th av, 18.9x99.11. New York Dispensary agt Thomas Stone et al; att'y, F de P Foster.

Belmont av, n w cor William st, 50x87.6. Theresa Herzog agt Ignatz Rosenzweig et al; att'y, F D Haines.

8th av, w s, 24.11 s 38th st, 25x100. Franklin Savings Bank in the City of N.Y agt Annie Berger et al; att'y, W M Powell.

Jackson st, s w cor Water st, 23.4x114. Sarah C Goodhue agt Louis Hubener et al; att'y, F F de Rham.

Delancey st, No 316. Waldron P Brown et al agt Ruth Cohen et al; amended; att'y, Harrison, Elliott & Byrd.

2d av, w s, Lot 47, map of Olinville, Bronx, 75 x100. Caroline E Waters agt Ellen Damon et al; att'ys, Clocke & Clocke.

Madison st, Nos 34 and 36. Hugh Donnelly et al trustees agt Felicia Campbell et al; att'y, J Kearney.

Lot 133, map of Arden property, Bronx. E Daniel Miner agt New York, Westchester & Boston Ry Co et al; att'y, E D Miner.

44th st, s s, 100 w 11th av, runs s 100.5 x e 100 to 11th av, x s 75 x w 100 x s 25.5 to 43d st, x w 700 to 12th av, x n 200.10 to 44th st, x e 700 to beg. Conrad Hubert agt Charles E Ellis Real Estate Co et al; att'y, G Hahn.

2d av, w s, 50.7 n e 113th st, 25.2x100. Meyer Jarmulowsky et al agt Israel Miller et al; att'y, B Alexander.

95th st, n s, 212.6 e 2d av, 37.6x100.8. Meyer Jarmulowsky et al agt Jennie Kind et al; att'y, B Alexander.

Greenwich st, No 533. Margaret Maher agt James H Cruikshank et al; att'y, W G Whaley.

Lots, 94 and 95, map in Partition of Heirs of Thomas Bassford, Bronx. Emilia B Hendrickson agt Mosholu Realty Co et al; att'y, Moss, Laimbeer, Marcus & Wells.

JUDGMENTS.

Aug. & Sept.

29 Ascher, Isaac-E Singer\$65.90

29 Albertson, Albert C-Ludwig Baumann & Co.....558.33

29 Adams, Louis B-D J Pappas.....140.10

31 Adler, Harris B-The St Hubert Guild.223.18

31 Aron, Isaac M-Funk & Wagnalls Co.....52.61

1 Anderson, John-Wood & Selick.....26.71

1 Apotheker, William-R B Alderott, Jr. 39.31

1 Anjou, Gustave-Isaac Goldmann Co.,2383.14

2 Arnold, Rasha-H Sillocks1,789.52

3 Abbott, Emil & Oscar-M F Greenbaum.....1,768.38

4 Albrecht, Jacob-P M Archdeacon et al.467.20

29 Berger, Mae-Liberman Dairy Co.....127.91

29 Brady, Sue H-T D Day Jr.....228.41

29 Bollinger, Elizabeth-N Y City Ry Co.107.00

29 Bristol, J B-Hills Bros Co.....192.28

31 Beck, Alice-E Finegan223.40

31 Bush, Paul R-Coyne & Delaney Co.....167.22

31 Burkhardt, Emil L-Harry Meyer Co.....79.92

31 Berger, Louis-S Trimmer Sons (Inc).....31.22

31 Bauman, Max-Pleasant Spring Distilling Co.....50.78

1 Berger, Henry-M H Levine.....29.41

1 Bannon, Rose-H Bequet.....530.91

1 Brownell, Ansel N-G R Sutherland.....212.76

1 Burt, Wm H-Chilton Paint Co.....224.91

1 Brook, Edgar-Greaser Mfg Co.....118.71

1 Bird, Hobart S-R H Post.....167.25

1 the same-J H Luce et al.....182.39

1 Boyd, Chas G-Associated Merchants of N Y.....370.95

2 Brandstetted, Emil-E N Elmore et al.72.17

2 Bayand, Geo T-I Stern et al.....230.03

2 Baker, Joseph-S Heinneman et al....164.77

2 Berkowitz, Sam & Max Rubel-I Fischl et al.....42.45

2 Bordon, Matthew S-Borden Condensed Milk Co.....22.92

2 Bodker, David-H Fish & Co.....147.86

2 Bruce, Emily-W C McKnight M D.....85.81

3 Bernikow, Abraham-Weisberg-Mark Co.929.91

3 Bird, Olin J-Bennett Sloan & Co.....138.62

3 Becker, Richard G-L Herliiss232.81

3 Bargeote, Theodore-G Voitsides59.73

3 Brooks, Chas W-W Malthauer99.11

3 Bourne, Robert W-H C Zaro130.41

3 Baxter, Samuel-J S Friedman et al.127.92

4 Brennan, Bernard-G F Coshland & Co.252.08

4 Buchanan, Wm O-J M Chapman.....115.52

4 Beach, J L-A L Lewis425.49

4 Bausch, Valentine-J S Sutphen et al.168.93

4 Bausch, Valentine & Marie-the same.78.70

4 Berman, Sarah-S Wilhelm et al.....176.18

4 Bernard, Max-Metropolis Securities Co.134.91

4 Barr, John-B K Bloch117.67

29 Carlin, John J-C H Hembdt.....131.27

29 Coffey, Denis & Mary P-H Reding.....268.91

31 Charry, Dora-John Whaley Shoe Co.....39.41

31 Cohen, Jack-Western Distilling Co.....65.71

31 Christman, Henry D-T E Thorn et al.285.32

31 Chiffo, Frederick-D Mastro810.59

1 Carrot, Victor-M Steinhardt2,126.92

2 Cavanagh, John W-W Hundt74.28

2 the same-H H Logue117.61

2 the same-L E Muller392.91

2 the same-L Fullwood74.28

2 Carney, Frederick M-F H Hungenes.....costs, 23.99

2 Clayton, Clarence H-C Doctor221.97

2 Campbell, James A & James A Jr-W H Sage.....173.41

2 Casey, Margaret M-C T Kissel281.33

2 Crawford, Frank B-Second National Bank of Jersey City.....3,250.01

3 Cook, Frederick-M I Ritterman et al.....243.96

3 Clinchy, Thomas-J Friedman et al.....30.45

4 Conover, Eva S-I Stein et al711.03

31 Doremus, Kathryn G-Lawyers Title Ins & Trust Co.....73.47

1 Donovan, Richard J-M Kakels.....costs, 69.47

1 Duane, Julia P-K E Monroe.....997.13

1 Dworkowitz, Samuel-Bronx Borough Bank.....94.67

2 Davis, Walter C-M Baer et al.....114.72

2 Delessandro, Domenico-Consumers Brewing Co of N Y, Ltd289.44

2 the same-the same.....381.06

2 Duggan, Edward-Aetna Life Ins Co.136.11

2 Donohue, Annie-A Schieck et al.....25.33

2 Dwyer, Thomas T-Engel-Heller Co.,426.23

3 Duvinage, Pierre-James G Wilson Mfg Co.....199.07

4 Durland, Jesse-O J Dennis.....570.13

4 Dobson, Patrick J-W E Witherspoon.145.03

31 Emmer, Joseph-J Frankfort et al.....127.70

1 Eckhardt, Edward-P Derby & Co.....197.79

1 Epstein, Isaac J-Johnson & Johnson.....45.89

1 Elson, George-A Plaut et al.....107.77

1 Ellis, Silas-H Monroe1,601.43

2 Edwards, Stella T or Ilah West-S C Cohen et al.....39.41

4 Ellicott, Chas R-Oriental Markets.....32.28

29 Fisher, Alexander M-Harold Realty Co.....107.81

1 Ford, Bernard J-J Stern et al.....costs, 168.18

1 Fischedich, Frank H-A Plaut et al.238.03

31 Friedman, Robert-The Weisberg Mark Co.....1,174.56

31 Finkelstein, Samuel-W Blautrus.....221.77

2 Fithian, F Wilbur-American Wire Form Co.....102.56

2 Forney, Mowbray W-E E Birdsall.....108.78

2 Frankel, Abraham-F Chmelik.....199.22

2 Ford, Clinton G-N G D Weinstrom.....137.41

2 Frankel, Abraham-J O Leary.....costs, 88.34

3 Ford, Mary B-M McVoy Jr.....640.88

3 Friedman, Abraham-J Stern et al.....223.82

3 Falkenheim, Charles-Waterbury Co.....73.32

3 France, Willard H-E Dwight287.78

4 Feldman, Henry-S J Freiden et al.....179.22

4 Fischman, Lizzie-S Strulevitz.....costs, 27.97

4 Firestone, Charles-B Wasserman44.86

4 Feinman, Abram & Wolff Holzberg-H M Knickerbocker128.58

4 Fish, Frederick K, Jr-C W Russell.....145.98

4 Faulhaber, Caspar-C Heitemeyer et al.436.17

4 Friedlander, Max-Western Distillery Co.89.02

4 Friedland, Koppel-J C Fargo.....194.75

4 Feist, Simon-J Rueth64.76

4 Fischer, Louis-B Weissman191.44

29 Gould, Michael-M Hasbrouck et al....282.81

29 Greenberg, Hyman-W Beck229.41

31 Gonzalez, Raphael F-H C Grube.....172.66

31 Grossman, Benj-Pleasant Springs Distilling Co.....88.46

31 Green, John E-M E Stone.....944.59

2 Gallaher, Edw B-W N Brown et al.....84.51

2 Goldstein, Moritz-J Rinner et al.....84.79

2 Glass, James A-K V O'Brien.....53.02

3 Galuten, Abraham & Max-J Morris et al.....68.41

3 Gold, Louis or Lous-B Hershenor.....264.65

3 Goldberg, Hyman B-S Goose116.95

3 Goldberg, William-L Nahemon.....29.65

3 Gromann, Herman J-M N Clement.....costs, 27.97

3 Grey, John B-H J F Minderman.....62.72

3 Gordon, David, Hyman Glick & Samuel Allen-H Delinsky287.74

3 Glick, Hyman & Samuel Allen-the same.....356.39

4 Grady, Patrick-Yates-Smith Co.....600.14

4 Gottlieb, Herman-Robert Griffin Co.....91.12

4 Gallo, Michele-E Messinger67.71

4 Goodman, Maurice-Meyer Jonasson & Co.....47.75

29 Holland, Thomas G & John L-E L Hol land.....5,870.20

29 Horowitz, Samuel-W Tidey80.72

31 Hoffman, Henry-Francis H Leggett & Co.....65.96

31 Hourigan, Nicholas J, pres., & George Finger-A Schulz35.13

31 the same-F Schulz35.13

31 Hunt, Frank J-Pleasant Springs Distilling Co.....88.84

31 Haseman, Chris-Burton & Davis Co.,116.16

31 Hyams, Walter-Sheppard Knapp & Co.47.46

1 Haney, Wm J-F Schwartz et al.....165.58

1 Hopkins, George-C Klein28.97

1 Hess, Adolph-Oliver Typewriter Co.....62.66

1 Hubbard, Irving-M Shoenfeld et al.109.48

1 Hilderbrandt, John-McDermott Dairy Co.....199.51

2 Hecht, Philip-J E Bates et al.....125.01

2 Henes, Wm F-S H P Pell et al.....999.98

2 Hirsch, Maurice-E W Converse et al.....77.03

2 Haight, Richard M-W J Berg.....76.90

3 Hammond, Howard D-W E English.....135.05

3 Hanley, David M-F F Goodman Inc.....28.73

3 Howard, Arthur-G T Montgomery et al.....26.11

3 the same-McKillop Walker Co.....104.14

3 Harris, Charles-M E Bloch113.88

4 Humphrey, Paul C-Duparquet Huot & Moneuse Co.....88.71

4 Herman, Abram-A Ablowitz.....29.65

4 Haims, Louis-H L Ketcham.....163.16

4 Hayer, Louis D-B O Shea.....50.09

4 Holz, Herman-G Henschel.....220.72

4 Humphrey, Paul C-Duparquet, Huot & Moneuse Co.....88.71

4 Hertle, Mam-Pleasant Spring Distillery Co.....62.15

2 Isaacs, Joseph-J Rapik61.68

4 Irvine, Allan A, marshal, & Co-T B McCarthy et al.....516.41

2 Jaslowsky, Jennie-A Friedman et al.70.77

29 Knoch, John B-H Hawley.....195.55

31 Krasner, Simon-Pleasant Springs Distilling Co.....29.23

31 Keller, Frank J-Carnegie Trust Co.,754.04

31 King, Samuel J-M B Mendham.....1,689.30

31 Kelly, John & Janette K, Moses Davidson & Benjamin Davidson-A Freyberg et al.....62.18

1 King, William-Wood & Selick.....150.92

1 Kompfe, Karl H-A Doyle.....176.28

2 Kirchgrabe, Charles-J J Fallon.....46.75

2 Kornreich, William-A Prince53.21

2 Koch, Lydia B & Chas F Mitchell-E M Bartlett357.54

2 Kerryhart, Jean-Oppenheim, Collins & Co.....141.67

3 Kohlreiter, Nathan-Oliver Typewriter Co.....66.67

3 Klein, Jacob-M N Clement.....costs, 84.97

3 Koop, Walter R-Central Radiator Co.,169.01

3 Kehoe, Geo J-M N Clement.....costs, 153.61

3 Kirsch, Maurice-India Wharf Brewing Co.....1,985.68

4 Kojan, Harry-J Hirsch118.41

4 Kraus, Geo J-H L Morris156.46

4 Kelly, James A-P A Smith260.67

4 Kaim, Maurice & Julius Landauer-U S Trust Co of N Y.....15,746.74

29 Little, Geo R Jr-City of N Y.....218.35

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29	Lowe, Charles & Ma. Jorrich—J Casmento et al	533.03
29	Lang, Frank C exr, &c—the same	299.64
29	Lockard, Wm L—the same	218.35
29	Lowery, Thomas H—N Y City Ry Co.	108.00
31	Levy, Raphael J—City of N Y.	37.81
31	Levine, Harris—the same	210.80
31	Lissner, Henry—the same	218.35
31	Lockhart, Paschal P—the same	210.80
31	Low, Charles W—the same	210.80
31	Lindblad, Charles W—the same	218.35
31	Lopez, Virgil J—the same	218.35
31	Lynch, Thomas—the same	57.03
31	Livas, Minnie—S Jacob et al.	150.51
31	Loucks, Richard—F C Neale.	49.03
1	Levy, Harry—Manhattan Electrical Supply Co	13.91
1	Lungen, Adam—City of N Y.	114.70
3	Levy, Abraham or Abe—E Kohn et al.	837.37
3	Lent, Louis—H W Cropsey et al.	1,457.10
3	Leary, Wm V—J Macdonough	61.16
3	Loder, Noah—R W Dusny	325.97
3	Light, Benjamin—R J Luckey	729.88
4	Loscher, William—W Stempel.	costs, 39.03
4	Lawson, John—P W Engs Sons.	100.36
4	Lewis, Henry H—G Burger	126.05
4	Levine, Benjamin A—H Epstein et al.	32.40
4	Littauer, Abraham—C S Rosenthal.	517.00
29	Milne, John—Saks & Co.	89.80
29	Maher, James S—North River Woodworking Co	54.09
29	Maguire, Frederick L—City of N Y.	218.35
29	Mayer, Joseph L—the same	210.80
29	Mapledoran, Albert D—the same	218.35
29	Magner, Patrick—the same	218.35
29	Maloney, Patrick—the same	218.35
29	Marks, Peter J—the same	218.35
29	Mann, Geo H—the same	218.35
29	Markowitz, Max—S Siegel.	76.66
29	McDonough, Walter M—C Kaufman.	25.65
31	Marks, Chapman—M Scott	84.00
31	Matthews, Andrew W—City of N Y.	76.25
31	Maxwell, James H—the same	595.20
31	Meybert, Edward—the same	218.35
31	Mansfield, Burton—the same	58.54
31	Marino, Alphonse—the same	37.81
31	Matson, August—the same	218.35
31	Marston, Howard F—the same	76.25
31	Martin, James—the same	218.35
31	Maxson, Charles E—the same	218.35
31	Marston, Howard—the same	114.70
31	Meyer, Bernhard—the same	133.91
31	Mackie, Charles—the same	418.12
31	Murrell, William G & George—C A Hauck.	41.57
31	Montgomery, William M & Victoria—T Milch	40.66
31	Moscowitz, Jacob—J Dreyfuss	35.92
31	Mandel, Samuel & Greene Court Building Co—The E H Ogden Lumber Co.	862.93
31	the same—the same	1,712.84
31	Malpied, Joseph H—H Frank.	45.15
31	Mitchell, Joseph C—Olin J Stephens (Inc).	50.27
31	Miller, William C—A F Miller.	94.25
31	Mastracchio, Antonio—F Rubano.	64.41
31	McGuire, Sylvester H—Francis H Leggett & Co	149.41
31	Macoluso, Anton M—Hotel St James (Inc).	195.91
31	Michel, Leopold—J J Paulsen.	77.48
1	Mahr, Wm J—City of N Y.	218.35
1	Martin, Frank—the same	218.35
1	Maloney, James J—the same	218.35
1	Mayle, Edw J—the same	114.70
1	Machby, Samuel—the same	114.70
1	Matthews, Robert D—the same	218.35
1	Mace, Joseph—the same	306.90
1	Mahoney, Daniel J—the same	218.35
1	Mayo, Frederick R—the same	499.10
1	Manning, Alfred J—the same	210.80
1	Maguire, Francis H—the same	218.35
1	Massinger, Adolph—the same	37.81
1	Merry, Nathaniel A—the same	403.00
1	Mason, William—the same	218.35
1	Martin, Robert B—the same	218.35
1	Martin, Wm D—the same	218.35
1	Marks, Louis—the same	218.35
1	May, John G—the same	218.35
1	Mebus, Harry E—the same	218.35
1	Merrick, Moses B—the same	403.00
1	Maisch, August T—the same	218.35
1	Meyer, Edw A—the same	218.35
1	Masten, Richard P—the same	37.81
1	Meyer, David S—the same	210.80
1	Markowitz, Semul—A S Miller.	costs, 66.28
1	Muller, Adam F—H Eising et al.	429.42
1	Macmechan, Thomas—Syracuse Stove Wks.	23.22
1	Miller, Anton—Pleasant Spring Distillery Co	80.00
2	Mullin, John—City of N Y.	218.35
2	Morgenstein, Louis—the same	210.80
2	Morris, Samuel D—the same	418.12

2	Murphy, Francis A—the same	218.35
2	Mullin, Thomas—the same	218.35
2	Murray, John M—the same	218.35
2	Mullon, Richard—the same	218.35
2	Moers, Joseph C—the same	210.80
2	Misseldine, Arthur H—the same	210.80
2	Mills, Emma D—the same	218.35
2	Murray, John—the same	218.35
2	Mullon, William—the same	218.35
2	Mulvey, Michael—the same	403.00
2	Mullon, David—the same	218.35
2	Muller, Andrew—the same	218.35
2	Miller, Robert H—the same	114.70
2	Morse, Jamin S—the same	37.81
2	Miller, Joseph A—the same	218.35
2	Murray, Thomas—the same	403.00
2	Muller, John H—the same	218.35
2	Miller, Edward—the same	218.35
2	Moller, Henry—the same	37.81
2	Morris, James J—the same	218.35
2	Milliken, Richard O—the same	218.35
2	Mitchell, Edmund H—the same	418.12
2	Miller, Gordon—the same	787.40
2	Morris, Andy—R Steinthal	30.36
2	Morris, Martin B—Cherry River Boom & Lumber Co.	321.45
2	the same—Louisiana Red Cypress Co.	300.43
2	Martens, Edward—A M Henderson.	1,694.12
2	Montgomery, Harry—Engel Heller Co.	115.13
2	Miller, Alex—Bonwit Harris & Co.	28.46
3	Matthews, Wm H & Margaret T—T Hall.	costs, 126.85
3	Martin, Geo B—Arlington Chemical Co.	3,620.01
4	Martiniano, Joseph—City of N Y.	118.40
4	Marshall, Oliver W—the same	499.10
4	May, Frank—the same	218.35
4	Martin, Patrick—the same	218.35
4	Maguire, George—the same	218.35
4	Mehrtens, John—the same	38.56
4	Miles, William—the same	218.35
4	Moran, Patrick J—the same	218.35
4	Morrow, Thomas P—the same	218.35
4	Mollenhauer, Frederick H—the same	218.35
4	Meobus, John A—the same	37.81
4	Moss, Louis N—the same	114.70
4	Moore, Chas W—the same	218.35
4	McCartney, John W—the same	499.10
4	Mendel, Bernhard—Isaac Bishop.	38.68
4	Moss, Hyman—Max Luria et al.	74.65
4	*Marselli, Thomas—Sydney J Freiden et al.	179.22
4	Milch, David—Williamsburgh Trust Co.	144.70
4	MacElhinny, James A—City of N Y.	499.10
4	McAfee, Frank—the same	218.35
4	McAfee, Hugh—the same	218.35
4	McClure, Joseph—the same	306.90
4	McNiece, George—the same	218.35
4	McGlade, Chas L—the same	306.90
4	McVicker, Archibald B—the same	218.35
4	McKinney, William—the same	218.35
4	McKnight, Frank H—the same	218.35
4	McIntosh, Sherwood D—the same	403.00
4	McKittrick, Edward—the same	76.25
4	McNiff, William—the same	218.35
4	McKeon, Daniel—the same	218.35
4	McMurry, Alden L—the same	499.10
4	McMurray, Patrick—the same	37.81
4	*McNulty, Michael E—Duparquet Huot & Moneuse Co.	88.71
4	Meyn, Henry—B Pritz et al.	358.71
4	Mandel, Samuel—Cumberland Glass Mfg Co	698.30
4	Miller, Anton—B K Bloch.	135.65
4	McIver, Francis F—E A Raymond.	26.06
4	McCleary, Patrick—C E Egan	579.41
31	Neger, Joseph—Schoverling, Daly & Gales.	98.78
2	Nyman, John E—D F Creamer et al.	85.69
3	Norris, Julian—Oppenheim, Collins & Co.	78.56
4	Negri, Giuseppe—C Sciadone.	225.41
4	Nemeth, Mary—A T Nielson	131.91
29	O'Donnell, Catherine, admx—N Y & Queens County Ry Co.	107.00
3	O'Brien, Morgan G—Bergen Realty Co.	112.31
3	Oseroff, Isaac & Harry Wilensky—H Silverman.	171.11
4	O'Connor, Michael F—B K Bloch.	118.50
31	Price, Benj M—G T Hoffman et al.	484.80
31	Pearsall, Daniel H—W C McKean.	12.35
31	Pratt, William—S Berger	19.41
31	Pionski, John—F C Neale.	41.15
3	Pinles, Eli—B Lavendale.	399.15
3	Pudlin, Benedict—J Feinberg.	32.65
4	Price, Walter J—W I. Sheaffer.	35.01
4	Pappas, Nicholas J—Frederick Hollender & Co.	30.91
4	Porcella, Santiago—E H Norton.	costs, 107.00
29	Ross, Wm E—J J Flaherty.	104.63
29	Reilly, John—J B Brossau.	172.43
31	Raymond, Percy M—N Y Tel Co.	49.40
31	Raymond, William H—N Schellenberg et al.	36.47
31	Roseman, Joseph—Pleasant Spring Distilling Co	32.79

31	Rosofsky, Samuel—Western Distilling Co.	166.60
31	Rogel, Ike—The State Bank.	1,581.97
1	Rohl, Fred R—Kips Bay Realty Co.	1,245.01
1	Rendigs, Chas W—A G D Rendigs.	costs, 142.98
2	Roth, Max—H Averbuck	324.31
3	Rinaldo, Louis—Tenement House Dept.	59.72
3	Resnikoff, Max & Morris, Barnet Schwartz and Samuel Goldberg—M London	438.95
3	Richardson, Frederick A—S Cody.	217.14
3	Rubin, Max—Weisberg-Mark Co.	1,371.10
3	Riester, Arthur C—I Stern et al.	678.79
3	Rodner, Nathan—F Kranzbaum et al.	50.71
3	Rau, Seymour L—C S Dyde et al.	26.65
4	Roessler, Henry—B Pritz et al.	314.21
4	Rosenberg, Samuel—B M Kremer et al.	519.65
29	Schatzberg, Sigmund G—John Wanamaker, N Y	27.41
29	Sawyer, Joseph D—A N Pierson.	84.41
29	Schaad, Ferdinand & Bertha and Abraham Einzig—L Schlesinger	163.54
29	Stillpass, William—A A Anzelewitz et al.	51.86
31	Strassen, Adolph—Man Shoe Co.	136.86
31	Schnee, Benj—The E W Dunstan Co.	44.41
31	Schwadron, Joseph—Western Distilling Co.	70.84
31	Sheppard, Thomas W—Curtis Blaisdell Co.	134.68
31	Stein, Elizabeth—Pleasant Spring Distilling Co.	115.90
31	Schwartz, Herman & Fannie—A Freyberg et al.	163.06
1	Stearns, Chas F—H F Bindseil.	382.12
1	Stadelbauer, Joe—F C Neale.	72.46
1	Stallo, Edmund K—International Trust Co.	8,556.76
1	Seegers, Chas H—Crandall & Godley Co.	38.01
1	Schwartz, Leon—L Stern et al.	387.44
1	Smith, Emma S—J S Lawson et al.	611.31
2	Stuurman, John H G—W Wakeman.	254.91
2	Siegmán, Aaron—A Curtis et al.	1,043.14
2	Schweiger, Max—A L Strasbourger et al.	382.54
2	Smith, Chas D—L P Morton.	120.23
2	Smith, A Beverly—L Katz.	139.57
2	Smith, A D Proctor—S H P Pell et al.	1,353.97
3	Stiver, George—L Isaacs	67.34
3	Staggos, Elisia & Angelo Pedito—People, &c.	1,000.00
3	Searls, Geo A—C F Atherton.	2,373.43
3	Smith, J Condit—N Y National Exchange Bank	2,981.85
4	Schuyler, Chas E—I Kahn	48.05
4	Sutton, Woodruff—J G Siegeling	38.03
4	Seward, Thomas F—W Oppenheim et al.	99.65
4	Sargent, Francis T—Waldorf-Astoria Hotel Co.	229.10
4	Stevens, John M—W H Oscanyan.	301.41
4	Schlomovitz, Jerome & Louis Shulman—Interborough Cigar Co.	71.07
4	Schanfer, George, Ewald Tyarks and Theodore Zimpe—L Schmitterling	339.54
4	Spagna, Francis—L E Dodd.	257.48
4	Shackett, Alfred J—B K Bloch	157.77
29	Todd, Geo W—John Wanamaker, N Y.	127.41
29	Totten, Frank—W F Gillies et al.	423.61
29	Tyarks, Ewald J, George Schaffer, August Englehard & Theodore Zupel—Isaac Goldman Co.	1,271.95
29	the same—the same	1,007.75
29	Tileston, Augusta—L P C Cox.	708.17
31	Theo Westing Co—Man Rolling Mill.	210.45
31	Taylor, Ralph P—L Sechs.	69.40
1	Trott, Pasquale—N Y & Brooklyn Brewery Co	258.31
1	Thompson, John M—D J Hinrickson.	22.53
1	Taylor, John H—I Stern et al.	2,251.14
2	Thornton, Albert M—R L Priddy	64.67
3	Towne, Willis G—Saks & Co.	153.17
4	Tompkins, Vincent C—C D Horning.	61.41
29	Van Dyke, Charles—F S Hollbrook.	59.91
31	Vollmer, John, Theo Groh & Edgar Sterck—B Pritz et al.	337.03
2	Van Roper, Lewis—M Lebane	100.83
29	Wager, Sherman—G Smith	145.00
29	Ward, Beverly—C P Drescher.	151.36
29	Wallace, William—J J Sheridan.	38.14
31	Walker, Frank B—Lawyers Title Lns & Trust Co	118.25
31	Weiner, Ida—H Rosenstein	96.67
31	Wertheim, Ernest S—M Rosenfeld et al.	73.73
31	Wittner, Sigfried—J B Hissam	165.61
31	Ward, William H—Colwell Lead Co.	243.54
31	Wisonosky, Martin—F C Neale.	41.05
1	Weinstein, Isaac—J Holzman	178.67
1	Wahrman, Adolph & Ignaz Welles—J S.	63.43
1	Wellwood, John H—E I Dupont Nemours Powder Co	64.53
1	Wege, Harry L—G Siegel et al.	94.31
1	Warner, John H—L F Steiner.	282.41
1	Watkins, Louis E—M S Wyse.	1,383.09
1	Wintermeyer, Louis—Swift & Co.	39.67

2 Weinstein, Michael—A Saks	72.05
2 White, Geo E—A H Butler	17.40
2 Waldron, Robert H—D Bonomo	10,493.91
3 Waterman, Henry—L Johnston, et al.	103.41
3 Williams, J D—L C Raegener	700.93
3 Werner, Fred W—G R Sutherland	293.82
3 Werstein, Samuel—Consolidated National Bank of N Y	166.27
4 Weiss, Henry M—L I Hallett	250.44
4 Weiss, Adolph—Neal & Brinker Co.	139.31
4 Warwick, Geo H, and Legg, Warwick & Saumer, Inc—J McKee	627.95
4 Wallack, Emily M—W J Mitchell	96.01
4 Weyell, Charles—V Loewers Gambrius Brewery Co	2,860.65
4 the same—the same	1,137.40
4 Woodhull, Jesse W—Lord & Taylor	124.60
1 Ziegfeld, Mignon—I Cantor	197.10
1 Zolty, Lizzie—S Levites et al.	68.28
4 Zelnika, Leopold—Funk & Wagnalls Co.	78.13
4 Zintl, George—V A Schutz	659.68

CORPORATIONS.

29 Atlantis Construction Co & Chicago, Joliet & Kansas City Ry Co—S Jaros	792.61
29 White Hod Elevator Co—O J Stephens, Inc	199.70
31 G & W Mfg Co—Denman & Davis	477.47
31 North River Woodworking Co—J L Engel et al	47.67
31 Electrograph Co—M'Graw Publishing Co	157.52
31 Galway, E J Bldg Co—C M Gray Marble & Slate Co	114.91
1 Harsten & Co—G H Hefferman, costs	10.50
1 A Lewitt Paper Box Co—City of N Y	37.81
1 Baltic Land Improvement Co & Meyer Kramer—M H Cypres	839.09
1 Ellis Co—Associated Merchants of N Y	313.31
1 Hicks Speed Indicator Co—L Handel et al	1,589.42
1 Medical Publication Co of America—City of N Y	114.70
1 Malcolm Brewing Co—the same	1,017.28
1 Merchants Trade Protector—the same	57.03
2 Fleischman Baths Inc—E Lucchesi	62.65
2 Fleischman Floral Co—the same	247.80
2 Mississippi Realty & Building Co—Richard & Boynton Co	328.21
2 New York Trim Co—A J Brady et al	222.95
2 the same—the same	223.11
2 the same—the same	140.77
2 the same—the same	170.25
2 The Novelty Clothing Co—Jaffray Realty Co	523.28
2 Wood Mantel Pier Mirror Co—Jefferson Trust Co	805.09
3 Colonial Mills, Inc—Bennett Sloan & Co	309.16
3 Davis & Silverman—Person & Co	115.13
3 the same—the same	114.63
3 Halley Realty Co—I Lewkowicz	277.25
3 Peerless Brick Co—Guardian Trust Co of N Y	72,283.51
3 Sanit Mfg Co—Artistic Post Card & Novelty Co	752.08
4 Atlantic Rubber Mfg Co—F A Farley	332.53
4 Bryden Electric Supply Co, Howard E Oskamp, Benj M Tucker and D Leroy Williams—Western Electric Co	1,062.70
4 Badger Mexican Planters Co—D Wood	2,071.09
4 Dartmouth Realty Co—G A Gerhaveser Jr et al	1,064.01
4 First Fluster Max Gang Lodge—J F Saphir	41.65
4 Maurice Campbell & Co—Morning Telegraph Co	120.67

SATISFIED JUDGMENTS.

Sept. 4.

Cohen, David M—F Mackler, 1908	82.03
Dwyer, Edw L—R E Briggs, 1908, costs	117.60
Frankel, Abraham—F Chemlik, 1908	199.22
Heidelberg, Edwin H—C e MacChesney, 1906	569.67
Hazzer, Edgar W—L Bronner, 1908	180.77
Hand, Oliver K & John C Hand—United States National Bank of the City of N Y, 1888	560.81
Same—Same, 1888	318.22

CORPORATIONS.

Central Railroad of N J—American Brass & Copper Co, 1908	1,052.30
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MECHANICS' LIENS

Aug. 29.

176—115th st, No 280 West. Thomas Galligan agt Jacob Cohen and Louis Zimmerman	35.00
177—Maple av, s w cor 214th st, 100x25. J Marcus Woodworking Co agt Rosa Amelio and Raffaele Salzano	96.65
178—241st st, n s, between Martha and Katonah avs, —x—, Contractors Supply Co agt W H Danby	41.50
179—137th st, No 358 East. Jacob Schwartzman agt Dr Herzl Ass'n	125.00
180—Pitt st, No 25. Max Zwerdling agt Aaron S Koransky and J & Max Steinberg	50.00
181—214th st, s w cor Maple av, 25x100. Louis Meyn agt Rosa Amelio and Raffaele Salzano	150.00
182—Norfolk st, No 178. King & Salkin agt First Hungarian Congregation Ohab Zedek	1,932.00
183—2d av, e s, whole front between 126th and 127th sts. J S Van Loan Co agt Harlem River Park Amusement Co	1,150.00
184—54th st, No 153 East. Max Wilensky agt Louis Rudinsky and Rachel Rudinsky	205.00

Sept. 1.

1—1st av, 126th st, 2d av and 127th st, whole block. Cross, Austin & Ireland Lumber Co agt G L & Arthur Ingraham and Harlem River Park Amusement Co	4,602.50
2—214th st, No 728 East. Church E Gates & Co agt Rose Amelio and Raphael Salzano	278.35
3—2d av, e s, whole front between 126th and 127th sts, 199.10x450. James McCullagh agt Harlem River Park Amusement Co	4,560.00
4—Same property. Wm J Baldwin Jr Heating Co agt same	6,693.00
5—Henry st, No 97. Rubin Moses agt Jacob & Louis Seligman and J Seligman & Bro.	656.00

6—1st av, 126th st, 2d av and 127th sts, whole block. Indelli & Conforti Co agt Harlem River Park Amusement Co	2,900.00
7—Madison av, No 777. Western Electric Co agt Park View Co	2,654.62
8—116th st, Nos 109 and 111 East. Jacob Danson agt Herman B Grossman	125.00
9—2d av, e s, whole front between 126th and 127th sts, 199.10x450. Edmund Grossman agt Harlem River Park Amusement Co	1,926.89
10—Broadway, No 2845. Harris Rosenwach agt Broadway Cathedral Parkway Co and Geo J Essig	175.00
11—2d av, e s, whole front between 126th and 127th sts, 199.10x450. John H Carl agt Geo L Ingraham, Arthur Ingraham, Catherine O Sulzer, Ernest Sulzer and Harlem River Park Amusement Co	2,228.60
12—228th st, s s, 405 e Barnes av, 50x114. O'Connor & Hanrahan agt Nanetta L Schneider	(R) 120.00
13—Satisfied.	
14—2d av, e s, whole front between 126th and 127th sts, 199.10x450. Clement B Brun agt Harlem River Park Amusement Co	1,045.00

Sept. 2.

15—2d av, 126th st, 1st av and 127th st, whole block. Victor Pierret agt Harlem River Park Amusement Co	1,000.00
16—2d av, e s, whole front between 126th and 127th sts, 199.10x450. East River Mill & Lumber Co agt same	200.00
17—Same property. E H Ogden Lumber Co agt same	860.20
18—2d av, 126th st, 1st av and 127th st, whole block. A J Buschmann Co agt Catharine O Sulzer, Ernest T Sulzer, Geo L Ingraham, Arthur Ingraham and Harlem River Park Amusement Co	2,738.43
19—Henry st, No 97. Tobias Iron Works agt J Seligman and R K Moses	124.00
20—Aqueduct av, Nos 2336 to 2348. Marcie Martin agt Ann O'Connor and Francis J N Connor	298.00
21—2d av, e s, whole front between 126th and 127th sts, 199.10x450. John Bell Co agt Geo L Ingraham, Arthur Ingraham, Catharine O Sulzer and Harlem River Park Amusement Co	1,000.00
22—Av A, No 169. Max Karp agt Loberbaum & Greenman and Schendelman & Sonenshein	93.48
23—Fletcher st, Nos 34 to 40. Turner Construction Co agt Rogers & Pyatt, Inc	312.98
24—2d av, e s, whole front between 126th and 127th sts, 200x450. Pelham Operating Co agt Catherine O and Ernest Sulzer, Geo L and Arthur Ingraham and Harlem River Park Amusement Co	165.00
25—Hester st, No 55. Bardsley Bros agt Reuben Satenstein	43.00
26—Satisfied.	
27—Stanton st, No 80. Arthur J Panoff agt Louis Wiltchik, Samuel Wiltchik and George Schor	125.40
28—234th st, n s, 200.4 e Verio av, 25x100. Shollenberger & Co agt Charles Lindner and Roger Berkery	300.00
29—7th av, No 260. William Spiegel agt Augusta Poliane, Clark Bros and Edward and Bernard Clark	1,400.00
30—2d av, 126th st, 1st av and 127th st, whole block. S H Kinney Co agt Geo L Ingraham, Arthur Ingraham, Catherine O Sulzer and Harlem River Park Amusement Co	1,050.00

Sept. 3.

31—2d av, 126th st, 1st av and 127th st, whole block. Bramhall, Deane Co agt G L & Arthur Ingraham and Harlem River Park Amusement Co	4,000.00
32—234th st, n s, 200.4 e Verio av, 25x100. Church E Gates & Co agt Charles Lindner and Roger Berkery	85.73
33—2d av, 126th st, 1st av and 127th st, whole block. Acme Roofing Co agt Harlem River Park Amusement Co	1,438.85
34—5th av, No 315. Weisberg Mark Co agt Improved Property Holding Co of N Y and Arcade Construction Co	440.00
35—2d av, 126th st, 1st av and 127th st, whole block. James Wells agt Geo L & Arthur Ingraham, Catherine O & Ernest Sulzer and Harlem River Park Amusement Co	999.00
36—Wadsworth av, Nos 143 and 145. 180th st, No 611 West. R Perlman Painting & Decorating Co agt Tyler Realty & Mortgage Co, Wm T Hookey and Frederick Aldhouse	600.00
37—2d av, e s, whole front between 126th and 127th sts, —x450. United States Gypsum Co agt Harlem River Park Amusement Co	2,146.00
38—177th st, n s, 100 w Amsterdam av, 170x100. Fiske & Co agt Portland Realty Co and Perlman & Bernikow (renewal)	398.75

Sept. 4.

39—8th av, No 2262. Helman Greenberg agt Charles Petroll and Christ Holst	80.00
40—Belmont av, n w cor 189th st, 15x87.6. Raffaele Auletto agt Louis Noschese, Carlo Marino and Greater N Y Builders & Contractors Co	23.00
41—69th st, Nos 315 to 325 West. McCaul Contracting Co agt Lizzie Flig	1,311.00
42—61st st, No 210 West. Hyman Loshen agt John J Bower. Greater New York Building & Construction Co	240.00
43—82d st, No 518 East. Harris Crystal agt Harris Nitzberg	30.50
44—Madison st, n s, 105.8 e Rutgers st, 26x100x irreg. Abraham Gordon et al agt Harry Kay	696.08
45—148th st, No 521 East. John J Greene agt Rachel I Krahmer, August D Krahmer and Edw A Durner	66.92
46—Clinton av, No 1945. Matthew Sarge agt Peter Carrol and Patrick A Donnelly	3.00
47—9th st, No 250 West. Joseph Switker agt Robert Lyons and Morris Tolkow	140.00
48—46th st, No 404 West. Kopele Wanchowsky agt W H Theobald and Sol Cohen, agent	40.75
49—99th st, Nos 136 and 138 West. Kopele Warschawsky agt Nellie White and J R McGill	37.00

BUILDING LOAN CONTRACTS.

Sept. 4.

Tinton av, w s, 100 n 150th st, 75x95.2x75x94.11. Max Cohen & Emanuel Glauber loans John De Rosa, Vincente La Torre and Car-	
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olina R D'Urso to erect a — sty building, 12 payments	36,000
Parkview pl, e s, 728 s 190th st, 50x90. Central Mortgage Co loans Fordham Realty Co to erect a — sty building; 3 payments	8,000
Edgecombe av, w s, 359.9 n 145th st, 129.11x100. City Mortgage Co loans Barkin Construction Co to erect two 6-sty apartments; 11 payments	130,000
Same property. Realty Operating Co loans Barkin Construction Co to erect a — sty building; — payments	10,000
Same property. Abraham Ruth loans Barkin Construction Co to erect a — sty building; — payments	20,000

SATISFIED MECHANICS' LIENS.

Aug. 29.

65th st, No 154 West. Louis Seidman agt Clarence E Anderson et al. (Nov 27, 1907)	235.00
Hoe av, e s, 75 s 172d st. C Levoli agt Sadie Aaron et al. (July 23, 1908)	12,500.00
*St Nicholas av, Nos 639 to 647. Isaac Shapiro agt J Romaine Brown et al. (Mar 25, 1908)	198.00

Aug. 31.

Sherman av, s s, 350 w Academy st. Louis Smith agt Blanche Corsa. (July 15, 1908)	160.00
Hughes av, Nos 2124 to 2128. George Metzger agt Magdalena Marx et al. (Feb 11, 1908)	41.00
*Union av, w s, whole front between 158th st and Westchester av. Max L Rohman agt Max H Newman. (Nov 14, 1907)	1,820.00

Sept. 1.

129th st, No 58 East. Rudolf Geismann agt Katherine Van Valin. (Aug 27, 1907)	590.00
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Sept. 2.

Broadway, No 160. Frank P McDermott agt Lawyers Title Ins & Trust Co et al. (Sept 1, 1908)	2,957.52
3d av, Nos 2012 to 2018. Marcus Buda agt Virginia Wood et al. (July 25, 1908)	260.73

Sept. 3.

98th st, n s, 125 e Riverside Drive. Thomas A S Sheridan agt John M A Griswold et al. (Aug 26, 1908)	81.00
Broadway, No 1180. H H Vought & Co agt Poland Spring Co. (Feb 1, 1907)	20.00
227th st, n s, 130 e Barnes av. Daniel Nathanson agt Gracomia Zanetti et al. (Jan 29, 1908)	20.00

Sept. 4.

Ft Washington av, n w cor 177th st. Charles Hamilton agt Hogenauer & Weslan. (July 9, 1908)	360.00
Av C, No 58. Realty Iron Works agt Adolph Roth et al. (July 3, 1908)	140.00
Av C, No 86. Same agt Julius Stoloff et al. (July 3, 1908)	160.00
Fort Schuyler rd, n e cor Old Lane. Lester Douglas agt Charles Wetzel et al. (Sept 2, 1908)	20.25
Amsterdam av, n w cor 170th st. T H Simmonson & Son Co agt Hudson Trust Co et al. (July 3, 1908)	911.06
Broadway, No 2845. T R McMann Co agt Hendrick Hudson Co et al. (Aug 21, 1908)	918.87

*Discharged by deposit.

*Discharged by bond.

*Discharged by order of Court.

CHATTEL MORTGAGES.

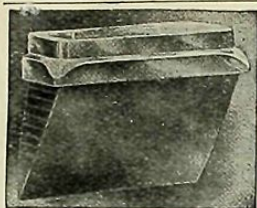
AFFECTING REAL ESTATE.

Heiberg & Nielson, 7th av near 58th st.. Abendroth Bros. Range.	104
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SATISFIED JUDGMENTS.

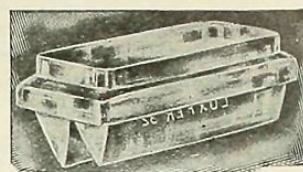
Aug. 29, 31, Sept. 1, 2, 3 and 4, 1908.

Amabile, Filomena—M Darling, 1906	32.12
Anderson, Clarence E—E G Brown, 1908	\$379.01
Baker, Frank C—U Hermann, 1907	94.41
Baker, Joseph S—A B Fleet et al, 1908	412.12
Blatt, Max—W F Baker et al, 1907	37.85
Same—same, 1907	107.25
Bennett, Watson L J—N Y County National Bank, 1904	429.78
Blewitt, Jennie—M C Gross, 1908	266.22
Ben Franklin Ins Co—M G Bucky, 1907	3,288.44
Same—same, 1908	176.03
Benjamin, Samuel—M Rosen et al, 1908	112.33
Bode, Albrecht J & Albert N Breschen—H M Spence, 1908	526.11
Cesario, Maria—R Hill, 1908	35.12
Capodilupo, Frank—Church E Gates & Co, 1908	558.15
Capodilupo, Mary—the same, 1908	574.15
Daley, Matthew, Jr—W A Leggett et al, 1908	160.43
Danerhirsch, Joseph & Jacob Salzman—L Marks, 1900	168.87
Same—L Borchard, 1900	640.41
Engelhardt, Newman—Caesar Misch Inc, 1907	79.30
Fuller, John E—"Jacks", 1908	35.46
Feinstein, Jennie—W H Hickerson, 1908	270.16
Friedman, Jacob—Hudson Mortgage Co, 1907	38,360.07
Godesky, Frank—H A Traphagen, 1908	341.05
Green, John E—Darling Bros Co, 1908	462.60
Gross, Samuel & Davis Eisler—D Brandenburg, 1908	1,284.48
Gebhardt, Julian F—City of N Y, 1907	55.45
Hopkins, Louretta—A Baum, 1908	304.41
Hart, Wm W—Outing Pub Co, 1908	52.35
Hemance, Jeanne or Jeanne Jomelli—Musical Currier Co, 1908	347.32
Jaffe, Sigmund—L Goldberg, 1908	134.55
Junk, Daniel M—J T Cumming, 1896	259.80
Kassover, Morris—Pittsburgh Plate Glass Co, 1908	112.68
Lewis, Rosa—Seaman Exchange Bank, 1908	1,777.32
Same—same, 1908	1,778.78
Lenowitz, Abraham & Kalman Sehgoohn—Silverstein, 1908	1,423.41
*Lowenhaupt, Walter J & Florence—H C Brummer Jr, 1908	474.71
McKelvey, David—S Roseff, 1906	360.40
Montegriffo, Helen F—L Volz, 1908	68.34
Murray, Isaac A—P McGee, 1908	119.67
Minier, John & Samuel—Nathaniel Fisher & Co, 1908	208.02
Maccarthigh, Chas O—L B Stern, 1907	20.91
Mayer, Bernard & Jonas Weil—Miles Bros, 1908	17.65



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Moore, Thomas—City of N Y. 1908....59.72
 Marcus, William—J M Weinstein. 1908....59.65
 North, William—G Oliver. 1904.....137.91
 Newburg, Ignatz—S Goodman et al. 1908....97.24
 Newman, Max H—Montauk Sanitary Insp Co. 1907.....67.71
 North, Wm H D—A H Brown. 1903.....204.48
 Ogren, Peter—A Johnson. 1907.....398.60
 O'Hare, John J—M Weinstein. 1903.....200.61
 Paletti, Domenica & Egotio—A Vucci. 1908.....149.21
 Same—same. 1908.....27.51
 Richards, David R—A C Nanz. 1908....1,073.65
 Rosen, Harry & Max Tepper—R Scher. 1908.....220.48
 Regelson, Peter & Louis Fischer—R P Wardwell. 1908.....134.75
 Spitz, Joseph or Charles F—Williamson and John J White—People, &c. 1907.....500.00
 Sorocco, John & John J White—the same. 1908.....500.00
 Salvin, Paul—C M Biddle. 1898.....317.57
 Same—M Alsberg et al. 1898.....180.61
 Schwerdtfeger, Katherine—Geo W Grote & Co. 1908.....124.67
 Silverman, Philip—A Shendell. 1908.....135.95
 Schott, Chas A, Frederick R Frank & Victor L Zorn—Arlington Fruit Co. 1907....4,596.95
 Sockler, Gerson—G Woehle & Son. 1908....32.67
 Smith, Edgar M—L C Raegen. 1900.....505.01
 Tolik, Morris—L Schlesinger. 1906.....100.00
 Towns, Mirabeau L—Citizens Trust Co of Brooklyn. 1908.....2,548.23
 Towns, Christine—Citizens Trust Co of Brooklyn. 1908.....2,569.72
 Valdez, Della—M S Hamilton. 1906.....187.92
 Waters, Bertram H—F A Myrich. 1908....43.60
 Weintraub, Max—M Singer et al. 1906....39.09

CORPORATIONS.

Universal Building & Construction Co—S Karp et al. 1908.....99.97
 British Dominions Ins Co Ltd—M G Bucky. 1907.....3,128.78

¹Vacated by order of Court. ²Satisfied on appeal. ³Released. ⁴Reversed. ⁵Satisfied by execution. ⁶Annulled and void.

JUDGMENTS IN FORECLOSURE SUITS.

Aug. 27.

22d st, No 261 West. John D Van Buren agt Geo P Macready et al; Harold Swain, att'y; S L H Ward, ref. (Amt due, \$10,682.23.)
 Boston rd, s e cor 166th st, 110.5x224.10x100x178. Helen McCartney agt Pauline Levy et al; Corbin & O'Ryan, att'ys; Francis S McAvoy, ref. (Amt due, \$26,458.30.)
 136th st, Nos 504 to 510 West. Morris Levy agt Besse C Clark; Myron Sulzberger, att'y; Richard H Clarke, ref. (Amt due, \$21,900.)

Aug. 28.

Park av, e s, 74 s 109th st, 26.11x76. Katharina Vetter agt Adolf Miller; Charles Schwick, att'y; August P Wagener, ref. (Amt due, \$9,602.61.)
 20th st, s w s, 206.8 s e 4th av, 26.8x92. New York Life Ins & Trust Co agt Walter L Oakley et al; W T Emmet, att'y; Francis C Huntington, ref. (Amt due, \$11,203.50.)
 Lots 39 and 40, map Neill estate, Bronx. James J Dixon agt Myron W Cuddeback; Earle J Bennett, att'y; Alfred T Davison, ref. (Amt due, \$5,626.30.)

Aug. 31.

188th st, n w cor Cambreling av, 87.6x50. Zeltner Brewing Co agt Wm H Zeltner et al; Kenneson, Emley & Rubino, att'ys; Alexander Brough, ref. (Amt due, \$1,313.66.)
 West Broadway, No 141. United States Trust Co of N Y agt Annie Ormiston et al; Stewart & Shearer, att'ys; Arthur J Cohen, ref. (Amt due, \$68,181.39.)
 110th st, n s, 175 e 8th av, 125x70.11. Benjamin J Weil agt Harry Lehr et al; Arnstein & Levy, att'ys; Russell L Tarbox, ref. (Amt due, \$89,659.17.)

Sept. 1.

Intervale av, s s, 57.5 n Kelly st, runs s e 80.3 x s 18.7 x e 29.11 x n 18.10 x e 10.4 x n 25 x e 10.4 x n 25 x e 18.1 x n 7.3 x n w 80 x s w 100 to beg. Mary A Balfe agt Arch Realty & Construction Co et al; Harold Swain, att'y; John H Judge, ref. (Amt due, \$60,897.83.)
 63d st, No 411 East. Josephine Vehren agt Pietro Genchi et al; Frederick C Hunter, att'y; Jacob R Schiff, ref. (Amt due, \$2,279.20.)
 Bryant av, w s, 100 s Jennings st, 25x100.
 Bryant av, w s, 175 s Jennings st, 25x100.
 Bryant av, w s, 225 s Jennings st, 25x100.
 Max Hirsch agt Nathan Cohn et al; Arthur Knox, att'y; Horace E Parker, ref. (Amt due, \$8,299.10.)

Sept. 2.

49th st, Nos 337 and 339 East. Caroline Harris agt David-Lena Cohen Co; Sidney Bernstein, att'y; Adam Wiener, ref. (Amt due, \$18,402.14.)
 Cherry st, Nos 369 to 373.
 Gouverneur st, No 71.
 Henry W Bucknall agt Minnie Riordan et al; Frederick T Hill, att'y; Francis X McCollum, ref. (Amt due, \$29,935.03.)
 Av B, e s, 36 n 17th st, 37.4x100. Isabel A Lee agt Edw N Leavy et al; Action No 1; Alexander & Green, att'ys; Henry J Goldsmith, ref. (Amt due, \$30,987.50.)
 Av B, e s, 73.4 n 17th st, 37.4x100. Same agt same; Action No 2; same att'ys; same ref. (Amt due, \$30,987.50.)
 Av B, e s, 36 s 18th st, 37.4x100. Same agt same; Action No 3; same att'ys; Edw C Crowley, ref. (Amt due, \$31,075.)

LIS PENDENS.

Aug. 29.

Madison av, n e cor 66th st, 100.5x100. Geo H Storm agt Park View Co et al; action to foreclose mechanics' lien; att'y, A R Bunnell.
 29th st, s w s, 300.6 n w 7th av, 16.7x68.3. Alexander Murray agt Georgiana Booth et al; partition; att'ys, Arrowsmith & Dunn.
 Broadway, No 391.
 Canal st, No 346.
 Centre st, No 102.
 Greene st, No 66.
 3d av, No 276.
 Water st, No 114.
 Parcel of land beg at intersec n line of land of N Y, N H & Hartford R R Co and n line Bronx and Pelham Parkway, containing 3 294-1000 acres.
 Madison av, No 17.
 Forsyth st, Nos 175 and 177.
 Water st, No 183.
 Mercer st, Nos 1 and 3.
 Maiden lane, Nos 82 and 84.
 Cedar st, No 19.
 Williamsbridge & Westchester road, w s, intersec s e s Boston Post road, containing 72 626-1000 acres.
 Williamsbridge & Westchester road, e s, intersec s e s Boston Post road, containing 16 572-1000 acres.
 Williamsbridge & Westchester road, e s, intersec n s Boston Post road, containing 26 565-1000 acres.
 207th st, n s, adj lands of J T Adey, containing 4 4-1000 acres.
 Broadway, Nos 446 and 448.
 Canal st, Nos 329 and 331.
 Greene st, No 6.
 Wm A. Spencer et al agt Wm A Spencer et al exrs; partition; att'ys, Miller, King, Lane & Trafford.

Aug. 31.

Henry st, No 253. Solomon Becker agt Israel Kirschenbluth et al; action to set aside deed; att'y, J Wilkenfeld.

Sept. 1.

Henry st, n s, 85.5 w Pike st, 24.9x90. Rubin Moses agt Jacob Seligman et al; action to foreclose mechanics' lien; att'ys, Feltenstein & Rosenstein.
 Broadway, s e cor 124th st, 100x175. H Herrmann Lumber Co agt Nicholas Conforti et al; action to foreclose mechanics' lien; att'y, O Greenberger.

Sept. 2.

Morningside av, East, No 16.
 124th st, No 409 East.
 13th st, No 141 East.
 Old Broadway, Nos 2376 and 2378 and property in Kings County.
 Charles Buchbaum agt Isaac H Radford; counterclaim; att'ys, Shire & Jellinek.
 137th st, s s, 205 w St Anns av, 50x100. Seleg Freedman agt Mary Ehrman et al; action to foreclose mechanics' lien; att'y, S S Meyers.

Sept. 3.

Summit av, w s, part of lot 6, map of property of K B Daly, Bronx. Jean P Bailhe agt Edward Jones et al; action to recover possession; att'y, H Swain.
 Horatio st, No 50.
 Hudson st, No 636.
 Samuel Klang agt Samuel Lipman; specific performance; att'y, J A Seidman.
 Canal st, Nos 213 to 219. Herman Baron agt N Cowen's Sons et al; action to foreclose mechanics' lien; att'y, S Saltzman.

NOTICE

THE NORTHERN BANK OF NEW YORK states that the filing of a lis pendens against the property of Edward H. von der Linden of the Bronx, New York City, in an action to foreclose a mortgage, was a clerical error, because the mortgagor was not in default. The lis pendens was immediately removed.

GIFFORD HOBBS & BEARD,

Attorneys for the Northern Bank of New York.

FORECLOSURE SUITS.

Aug. 31.

120th st, n w cor Lexington av, 65x100. Henry C Howard agt Joseph H Fleischmann et al; att'y, D N Mahony.
 Ludlow st, No 24. Karl M Wallach agt Jacob Meyerowitz et al; att'y, S N Tuchman.
 Lampport av, s s, 400 w Fort Schuyler road, 25 x100. Peter McBride agt Moses I Falk et al; att'y, R E Benjamin.
 3d av, n w s, at intersec s w s 140th st, 25x100. Laura C Crane agt Clarence D Baldwin et al; att'ys, Crane & Lockwood.
 104th st, No 242 East. Frank Gens agt Sarah Cohen et al; att'y, J Wilkenfeld.

Sept. 1.

Nichols pl, w s.
 Emerson st, e s, lots 136 to 143 and 191 to 193, map of estate of Isaac Dyckman, Edw C Power, trustee agt Frank Commandeur et al; att'y, T Hansen.
 99th st, Nos 74 and 76 East. Mary Birnbaum agt Simon Lerkowitz et al; att'y, T S Heller.
 Carmine st, s w cor Bedford st, 50x60. Mutual Life Ins Co agt Irving Bachrach et al; att'y, J McKeen.
 80th st, Nos 218 and 220 East; two actions.
 Edward A Weiss agt Frank M Franklin et al; att'ys, Strasbourger, Eschwege & Schallek.
 102d st, No 311 East. Frieda Gossett agt Bar-

net Chrein et al; att'ys, Feltenstein & Rosenstein.

148th st, s s, 125 e 11th av, 100x99.11. John A Sharp et al trustees agt Herman I Peck et al; amended; att'ys, Atwater & Cruikshank.

Sept. 2.

Lots, 81 to 84, map of Undercliff Terrace, Morris Heights, Bronx.
 Undercliff av, w s, 22.9 n 176th st, 50x100.
 Regent Realty Co agt Max Ginsberg et al; att'ys, Lachman & Goldsmith.
 Lots 44 and 45, map of Undercliff Terrace, Morris Heights, Bronx. Regent Realty Co agt Henry Kuntz et al; att'ys, Lachman & Goldsmith.
 St Nicholas av, w s, 51.9 n 156th st, runs w 86 x s 49.11 to 156th st, x w 25 x n 99.11 x e 97.3 x s 51.10 to beg. Susan Van Praag agt Louis C Nicoll et al; att'y, H. H. Kaufman.
 Av D, No 42. Jene Posner et al agt Abraham Geller et al; att'y, A S Weltfisch.
 159th st, No 624 East. Jacob Marx agt Arthur Sanders et al; att'ys, Ernst, Lowenstein & Cane.
 Broadway, s e cor 161st st, 99.11x100.
 Broadway, n e cor 160th st, 99.11x100.
 Ostend Realty Co agt Crystal Realty & Construction Co et al; att'y, W R Osborn.
 45th st, n s, 85 e 11th av, 15x75.3; two actions.
 45th st, n s, 75 e 11th av, 15x75.3.
 Franklin Savings Bank in the City of N Y agt Mary McGlynn et al; att'y, W M Powell.

Sept. 3.

176th st, n s, 100 w Audubon av, 150x99.11. Knickerbocker Trust Co agt Hermann Strauss et al; att'y, A L Wescott.
 89th st, s s, 106 e 1st av, 40x100.8. Pine-Moon Realty Co agt Isidor I Zeeman et al; att'y, W B Marx.
 2d av, n e cor 99th st, 40.11x106. Wm H Schmoel et al exrs agt Jacob J Schwartz et al; amended; att'ys, Wilson, Barker & Wager.

BUILDING LOAN CONTRACTS.

Aug. 31.

134th st, n s, 200 w St Anns av, 25x100. Liberty Mortgage Co loans Eidas Realty Co to erect a —sty building; — payments....\$17,000

Sept. 1.

Mary st, n s, 122.2 e Main st, —x—. Poughkeepsie Trust Co loans Daniel Fuchs to erect a 2-sty two-family dwelling; 2 payments.....3,500
 Wadsworth av, s e cor 184th st, 99.11x100. Title Guarantee & Trust Co loans Dowd Construction Co to erect a 5-sty apartment; 5 payments.....85,000
 Forest st, w s, 250 n West Farms road, 25x100. Herbert S Ogden loans Herman Tuchman to erect a 2-sty dwelling; — payments.....9,000

Sept. 2.

Riverside Drive or Parkway, n e cor 136th st, 102.6x145.7x99.11x122.10. Metropolitan Life Ins Co loans Penco Realty Co to erect a 6-sty apartment; 4 payments.....175,000
 113th st, n s, 100 w Amsterdam av, 50x100.11. Lawyers Title Ins & Trust Co loans Paterno Bros to erect an 8-sty apartment; 10 payments.....115,000
 Kingsbridge rd, s w cor Morris av, 194.6x80. City Mortgage Co loans H U Singhi Realty Co to erect twelve 3-sty dwellings; 8 payments.....60,000

Sept. 3.

Broadway, n e cor 86th st, runs n 201.11 to 87th st, x e 328.10 to Amsterdam av, x s 201.5 x w 343 to beg. Metropolitan Life Ins Co loans Belnord Realty Co to erect a 12-sty apartment; 11 payments.....3,000,000
 Tiffany st, w s, 356.3 n 165th st, 90x100. City Mortgage Co loans Thomas D Malcolm Construction Co to erect two 5-sty flats; 13 payments.....56,000

ATTACHMENTS.

Aug. 27.

Atlantis Construction Co; Frank L Blue; \$2,196.77; D Hyams.

Aug. 28.

Steamship Delblair Co, Ltd; Wm H Wilson; \$2,050; Wallace, Butler & Brown.

Sept. 1.

Wheeler, Joseph A; Jackson Smith, \$6,818; P Allen.

Sept. 2.

Drogkamp, Albert; Wm S Grimshaw et al; \$410.54; S Kahan.
 Danischewsky, Paul J; Austin Gunnison; \$463.90; Menken Bros.
 Vaughn, Thomas L, Sr; Archibald B Gwathmey et al; \$1,116.17; Wilmer, Canfield & Stone.

CHATTEL MORTGAGES.

Aug. 28, 29, 31, Sept. 1, 2 and 3.

AFFECTING REAL ESTATE.

Avallone, J. Decatur av, 320 s Gun Hill rd. Abendroth Bros. Ranges. \$120
 Makransky & Applebaum. 11th st near 8th av. Silberstein & Silver. Mantels. 1,494
 Neckles & Asimakis. 42 E Union Sq. Duparquet H & M Co. Range. 123
 Scheidlinger, M. 1677 Madison av. I Ament. Range. 65

POSSIBILITIES OF CYPRESS.

(Continued from Construction Section.)

Here is believed to be a fair estimate of the life of shingles cut from various woods:

Spruce shingles	5 to 7 years
Cedar shingles	12 to 15 years
Saved pine shingles	16 to 20 years
Cypress shingles	30 to 50 years

This is called a fair estimate, because there are cases on record where cypress shingles have been found in very good condition after nearly a century of use. This is due, of course, to the comparative imperviousness of cypress to decay, which also accounts for the fact that almost all wooden gutters are of cypress, and considered to be good for an indefinite period. Even these qualities, however, would not be sufficient if certain other defects, such as warping, shrinking and cracking existed. Fortunately, the natural elasticity of cypress prevents any of these defects.

The question naturally arises, why, if cypress is so little affected by the elements, it is not adapted to exterior work of every description. As a matter of fact, cypress clap-boards are coming more and more into popular use. It is not employed so much for framework because there are other woods which can be used and which cost somewhat less, and yet the fire-resisting qualities of cypress make it of exceptional value even for that purpose.

An exceedingly artistic effect can be secured by shingling the house all over with cypress, and ignoring the claims of the painter, allowing it to gradually take on the remarkably attractive "weather finish," which cypress assumes when touched only by Nature's brush. If, however, clap-boards and paint are decided upon, the pigments can be applied smoothly and economically, and the paint will not peel off—a point which is worthy of more than casual notice. Moreover, its ability to resist decay gives it a special value in any place where climbing vines are trained over the house.

Having planned the exterior of his house, with a thought of permanency and a hope of postponing the unpleasant necessity of making repairs as long as possible, our home builder turns with even more enthusiasm to the construction and finish of the interior, and especially of those apartments with which he and his family are to have an intimate acquaintance in the years to come. Here he will find himself at a point where three considerations focus. The first tradition, the second economy, and the third good taste. Tradition will urge the claims of oak, hard pine and maple, as best adapted to artistic and durable finish. Pine and spruce will speak for economy and paint. Good taste may be satisfied with any of these woods, properly used, but in many cases economy will outweigh tradition, while good taste will not be satisfied with paint. The result will be the use of cypress, which is as beautiful as the traditional woods and almost as cheap as those chosen by economy.

THE GRAIN OF CYPRESS.

The beauty of any natural finished wood lies, of course, in its grain, and the grain of cypress expresses more than beauty; it expresses character as well, and gives a striking dignity and individuality to a room. At the same time a great variety of different effects can be secured. The wood is beautifully grained, shading from the rich yellow of quartered oak to a dark brown almost as deep as black walnut.

With the growing appreciation of the beauty of fine woods, there is an inclination to use less plaster and paper and a greater amount of natural finish, with panels and simple decorations—a method of treatment which conduces to an atmosphere of refinement and artistic cultivation. However, a wood like cypress, which requires but a modicum of care and attention, is of no little advantage from the standpoint of household economy.

It is interesting to examine into the relative cost of cypress and other woods which have been more commonly employed. Oak, which is popular for hardwood finish among people whose purses are long enough to allow them to use it, costs a good two-thirds more than cypress. Walnut, cherry and butternut occupy the same relative position as regards the matter of price. White wood costs 5 per cent. more than cypress, and yet has no beauty of grain whatever. Hard pine costs 5 per cent. less than cypress, but has very few of its advantages and is used chiefly for finish work in kitchen and pantry.

Cypress shingles may run a trifle higher in price than those of cedar, but as a rule they wear longer.

In figuring exterior work, it will be found that cypress and spruce clap-boards cost about the same. Many cypress clap-boards are rabbeted, giving tighter joints.

There is just one note of warning which must be remembered when cypress is under consideration. All woods used in interior work must be thoroughly kiln dried. For exterior work it must be thoroughly air dried. This matter is of the greatest importance if satisfactory results are to be secured. All that is said here in regard to cypress is said with the assumption that the wood is properly prepared before being used in any manner.

As a summing up of the matter, it may be said with truth that there is no wood to be obtained at any cost which is adapted to so wide a variety of purposes as cypress.

MACHINE AND TOOLS IN GERMANY.

There are a great many machine-tool houses in Germany. Many are mediocre, others are doing good work, while there are a few which may be classed as really dangerous competitors of the best American machine-tool firms.

It matters not whether all or any one of these firms can actually be accused of copying American machines; the fact remains that the grade of work turned out by the four establishments so closely approximates to standard American work as to make it very difficult for the general run of buyers to detect any difference. A few German manufacturers have secured orders in the United States. Reports from American consular agents at Chemnitz, Dusseldorf, and Leipzig say that the best German works approximate good American makes, though not altogether even, but rather inferior, generally speaking. If American machine-tool houses expect to do business in Europe they must keep in advance of the best machinery houses here. This can only be accomplished through superior technical knowledge and workmanship. Taking, for example, the works of J. E. Reinecker at Chemnitz, it is said:

The principal tools manufactured by Reinecker consist of milling machines, engine lathes of all sizes and description, vertical boring mills, mandrel lathes, milling and tap lathes, and relieving lathes. The last mentioned machine is probably one of the best turned out by Reinecker, and I do not hesitate to say it is in a class by itself. This tool is capable of handling all kinds of milling cutting.

Reinecker is now working about 2,000 men, and about 60% of the output of the firm is foreign business. The shops are run on a 10 hour a day working basis, and the average wage for good tool men is 50 pfennigs per hour. There is a men's court for the trial of grievance cases, and I am informed that there is very little dissatisfaction among the men. This rate of wages is considerably less than in the Berlin or Rhine territories—in fact, the wages at Chemnitz seem to be lower for high-class machine work than in any other part of Germany.

Writing particularly of Leipzig, a special agent of our Government says:

American steam pumps are holding their own among some of the best German shops. This is all the more noteworthy, by reason of the fact that first-class steam pumps are built in Europe. Weir Brothers, of Scotland, make a first-class pump and have practically the best of the British Admiralty business. However, it was with no little satisfaction that I noticed in Station No. 3 of the Leipzig Electric Centrale three steam pumps from the American Steam Pump Co., Battle Creek, Mich., and three of the marine type combination steam engine and pump of the Worthington-Blake make.

The German shipyards have been placing some extensive orders for pneumatic tools during the past few days, and one American firm has received some substantial orders for compressors. Inquiries have been made for machine tools of American make, suitable for warship workshops. These workshops are fitted up on board the large ships after the manner familiar in the United States service, and it would seem as if the American plan is being followed.

BIG TIMBERLAND TRANSACTION IN WEST VIRGINIA.

What is said to be the largest single sale of timberland in the history of West Virginia has been made by the Baltimore and Ohio Railroad Company to a corporation which will at once begin development. The purchasing company has mills at Ridgeway and at Camden-on-the-Gauley, within reach of the tract. The combined capacity of its mills is 350,000 feet a day. Two million dollars is the reported price paid for 200,000 acres of hardwood, chiefly virgin forest, containing yellow poplar, cherry, oak, maple, birch, ash and many other valuable woods.

The land lies in a mountainous region drained by northeastern tributaries of the Great Kanawha, which empties into the Ohio about 300 miles from Pittsburgh. It is one of the largest and most valuable bodies of hardwood timber remaining in the Appalachian region. Many of the mountain ranges which cross the tract are from 3,000 to 4,000 feet high, and covered to their summits with rich forests.

North of this tract, but drained by the same streams, lies another holding of 129,000 acres, recently secured by a pulp company. This is covered with spruce and hemlock, with many patches of hardwoods. Development of the property, it is said, will begin in the immediate future. The two bodies of land, lying in the same region, aggregate more than 500 square miles of primeval forest about to be turned into marketable products.

The stripping of the forest cover from a region so large and so mountainous will be watched with interest by those who study the effect of the soil cover on stream flow. The rainfall over the region is very heavy—more than four feet annually. Snow six feet deep on the timbered mountains, while not usual, is an occasional occurrence. Fire is sure to follow the usual methods of lumbering, and unless this region is more fortunate than most lumbered tracts in that part of the Appalachian plateau, many of the summits and sides of the mountains will be laid bare down to the soil and rocks. The rainfall and melted snow, which are now retarded by the forests, will then pour down the naked slopes and cause destructive floods in the lower streams, and low water will follow.

West Virginia is one of the States which has taken no measures to protect its valleys from floods by preserving the forests on the mountains. Its woods are being cut and burned more rapidly perhaps than those of any other State, and this in face of the fact that it is by nature a forest State.