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THE statement is made on apparently good authority that the Public Service Commission is beginning to be very open-minded on the matter of elevated roads. It has been examining the elevated roads in Berlin and certain other foreign cities and has discovered that they can be constructed in a wholly unobjectionable manner. The elevated structures and stations can be constructed so as to adorn rather than disfigure the streets through which they run; and the trains can be operated with far less noise. Why, then, should New York again fall back upon elevated rapid transit? The Record and Guide welcomes this disposition on the part of the Commission to consider at least the possibility of new lines of elevated transit. Elevated trains are assuredly far pleasanter for passengers than are those which run through subways, and if the structures can be made less of an eye-sore the sooner the city returns to elevated tracks for certain kinds of rapid transit the better. We do not want any more elevated roads in Manhattan, because in this Borough, the density of traffic is sufficient to justify the building of subways, but in the other boroughs the case is different. It is only for short distances over a few main streets that subways can be profitably operated in the Bronx, Brooklyn or Queens. The traffic is not dense enough to warrant the enormous initial expense of constructing subways. In laying out rapid transit routes for the outlying boroughs, elevated roads should be freely used, and this policy would be of benefit to each one of the localities mentioned, because a smaller cost of initial construction would permit and justify the early planning of many additional lines.

PUBLIC opinion in New York is just beginning to understand the importance of the intrusion of the New Haven Railroad into the local transit situation. It has been obvious for several years that the plans of the New Haven for the development of its system in the Bronx and Westchester County demanded a subway from the Harlem River to the Battery; but as long as the willingness of that railroad to build such a subway had not been explicitly announced, any discussion of its effect, if constructed, upon the whole transit situation was more or less in the air. Now, however, that the explicit announcement has been made that the New Haven wants a subway from the Harlem River south, this news profoundly modifies certain practical aspects of the transit problem in Manhattan. It introduces a new and powerful competitor into the field, and the existing situation of this competitor gives it opportunities and rights which should not and cannot be ignored. Hitherto the Record and Guide has always favored the confirmation of the monopoly of rapid transit in Manhattan now enjoyed by the Interborough Company. We have not, of course, believed in granting the Interborough Company additional privileges, except for full value received, and in case that corporation refused to offer full value the city would be justified in building and operating an independent line or system of lines. But provided a fair price could be obtained, the city had more to gain from allowing the Interborough Company to build up a complete system of rapid transit in Manhattan and in the Bronx than by encouraging competition. Competition in such a service merely means waste. Economy is promoted by a monopolized service—properly regulated in the public interest and sufficiently contributory to the public treasury. It is because the Record and Guide believed in a monopolized service that it has opposed the Broadway-Lexington avenue

route as laid out by the Public Service Commission. That route has no meaning, except for the purpose of competing with the existing subway. It parallels the subway from Forty-second Street south, and would, to a considerable extent, merely divide up traffic that already exists, instead of originating new traffic. The interest of the city in getting the greatest possible increase of service for the expenditure of a certain sum of money would be best promoted by an extension of the present subway north from Forty-second Street on the East Side and south from Forty-second Street on the West Side.

THE announcement that the New Haven is ready to build a subway, necessarily modifies the former preference of the Record and Guide for a monopolized service. The Consolidated Railroad has a much stronger claim on the city for an independent entrance into Manhattan than has any other inter-State railway in the neighborhood. After it has constructed either the Westchester or the Portchester branch, it will come down to the Harlem River with over fifteen suburban tracks, and obviously the interest of the people who will use these tracks demands an adequate connection with the business district downtown. No existing transit company in Manhattan is in a position to supply the New Haven road with any sufficient connection, and it looks as if the only possible way the Consolidated road can do justice to its passengers will be the construction of one or more subways. But a subway whereby the New Haven would obtain entrance into Manhattan would be a very different thing from the subways sufficient for the needs of the Pennsylvania Railroad or the Public Service Corporation of New Jersey. The New Haven would need a longitudinal tunnel of enormous capacity, stretching from one end of Manhattan to the other, and capable, consequently, of developing a large local traffic. Such a subway would naturally be independent of the general rapid transit system of Manhattan, yet, just because of the large amount of local traffic it would handle, its route would have to be considered carefully in relation to the whole Manhattan transit system. It would necessarily compete with more exclusively local subways; and competition under such circumstances would be legitimate. To that extent the Public Service Commission should deliberately plan to break the monopoly of rapid transit now enjoyed by the Interborough Company.

THE question is immediately suggested whether the Broadway-Lexington Avenue route would be adapted to the needs of the New Haven road. The Record and Guide does not believe that it would. That route would develop in the course of a few years after its construction, a volume of local traffic hardly, if at all, inferior to that carried by the existing subway, and in that event it would not be adequate to take care of the enormous traffic which would originate along the existing lines of the New Haven road. The New Haven would apparently have its needs much better served by a straighter six-track subway, running south along First or Second Avenue. It might manage to carry its passengers for a few years in the Broadway-Lexington Avenue subway, but after a short while the congestion on that line would probably be worse than that on any single subway or elevated road now being operated in Manhattan. It has always seemed to the Record and Guide that a subway under Broadway should be designed chiefly for local traffic, just because the local traffic along that thoroughfare is so dense, and because the avenue is not wide enough even for four tracks situated on the same level. In case a subway under Broadway is made to carry a large amount of through express traffic the service afforded to the local passengers will necessarily fall below the desirable standard. However that may be, the intrusion of the New Haven road into the rapid transit situation has made it suddenly much more interesting and promising. Unlike the Interborough Company, this corporation is possessed of enormous resources and unimpeachable credit. It is in a position to carry out any plans which it may have drawn, and in arranging to construct a new subway, it is not in the same difficult situation as a purely local company. It can enter Manhattan under the same clause in the Rapid Transit Act which was passed in order to meet the needs of the Pennsylvania Railroad Company for permanent right-of-way. All that is necessary is to reach an agreement with the Public Service Commission and the Board of Estimate as to routes, plans, and terms; and though this may not be an easy task, it is an easier one than the task which confronts any possible competitor for a similar privilege.

MR. LUDLOW'S SCHEME OF BUILDING LIMITATION.

WILLIAM O. LUDLOW, the architect, who is the only other architect besides Ernest Flagg who has proposed a definite scheme of building limitation to the revision commission, considers that while the method of Mr. Flagg is an excellent one in many particulars, it is yet open to some serious objections. Asked by the Record and Guide to give his views with some detail, Mr. Ludlow prepared the scheme annexed hereto. But in reference to Mr. Flagg's plan he first said:

"First, the congestion of the streets would probably not be relieved, for the great area permitted for towers of unlimited height would allow structures of enormous cubage. For instance, on 200 ft. of frontage by 100 ft. depth, on Broadway, towers of unlimited height might be erected on 45 per cent. of the area, and in addition to this on the remainder of these plots height equivalent to fourteen or fifteen stories is allowed. This would, therefore, be opening the door to conditions of congestion many times worse than now obtain, except in two or three spots. It is to be remembered in this connection that the average height of buildings now on Broadway, between State and Chambers sts, is only nine stories on the west side and ten stories on the east side.

"My suggestion to obviate this objection would be to divide by six to obtain the permissible area of towers, where Mr. Flagg divides by four. This would still permit such towers as the Singer Building and Metropolitan Life, but would make towers on the narrower streets practically prohibitive.

"In the second place, Mr. Flagg's provision for pyramidal building, which is in effect a vertical wall up to a cornice line, with an extended mansard or stepped back portion above, is excellent, but is not altogether logical or practically efficient, from the fact that he proposes to allow on streets, however narrow, buildings of the same height as on wide streets. Nassau st lined with buildings eight or nine stories high to the cornice line, and with possibly five or six setback stories above that, would be immeasurably worse than it is at present.

"I therefore suggest making heights a function of the width of the streets. By the regulation I proposed, 100-ft. streets, excepting on corners, would have buildings 100 ft. to the cornice line, and a setback height of about 50 ft. above that. On 60-ft. streets the cornice line would be about 78 ft., with the setback stories for 50 ft. more, and on such a street as Nassau st, the cornice line would be at about 60 ft., with setback stories above as before.

"My suggestion further provides that corners may be built one story higher than the highest adjacent roof line, need have no setback of the facades and not be limited as to area. This, I believe, will obviate the difficulty that might otherwise be experienced in bringing facades of unequal height to a point of meeting; will permit uniform height on triangular plots; and will make possible a good architectural effect.

"Mr. Flagg also provides for facades vertical to the top for corner plots, but makes these plots difficult to build upon satisfactorily by imposing the same requirements of unoccupied area as for all other plots.

"I also make suggestion as to what constitutes a corner plot.

"Third: Along the water-front and facing public squares and parks, I am of the opinion buildings may well be considerably higher than elsewhere. My suggestions, therefore, provide an additional 50 ft. for such localities, and a more liberal allowance of area for towers of unlimited height.

"In making these suggestions I have copied verbatim large portions of the plan submitted by Mr. Flagg, as they could not well be improved upon."

MR. LUDLOW'S SUGGESTIONS RELATIVE TO THE LIMITATION OF BUILDINGS.

1. The percentage of area to be left vacant for light and air shall increase progressively as the building increases in height.

To ascertain said percentage at any level, divide twice the square of its distance above the curb by one thousand; but for dwellings or hotels this percentage at any level more than 18 ft. above the curb must not fall below 10.

2. Notwithstanding the foregoing, a certain portion of any plot may be built upon to any height. To ascertain this area, add to the area of the plot one-half of the area of the street or streets opposite the facade or facades of the building and divide by six.

3. An owner of land may, by purchase or otherwise, acquire the rights of adjoining land for the purpose of building higher than as hereinafter provided on his own land over an area proportioned as provided in paragraph 2 to the combined land area of which he controls the above mentioned rights. The Superintendent of Buildings shall, upon such agreement having been properly executed and filed, grant the application for such extension of area on which the height may be unlimited, and the right to exceed heights as hereinafter provided for shall thereupon cease on said adjoining land.

4. The height of any building at the building line, except on corner plots, shall not exceed ten times the square root of the

width of the street upon which it is located, and no part of the building shall extend in height beyond a plane formed by the building line at this height, and a line normal thereto inclined away from the street at an angle of sixty degrees from the horizontal. Nor shall any building extend above the height of the aforesaid inclined plane at 30 ft. back from the building line.

5. Corner plots which shall be considered as occupying 50 ft. on each street, and of not more than 2,500 square feet in area, by exception from the foregoing, will be unrestricted as to the percentage of area occupied by any building erected thereon, and such building may be erected to a height not to exceed 15 ft. in excess of the height as determined by paragraph 3 allowed for any adjoining building.

For purposes of computation, all public squares and parks shall be considered as streets of like width. Streets bordering the water-front may be considered as 200 ft. in width, but all other streets will be measured from building line to opposite building line, but in no case will they be considered as more than 200 ft. in width.

The area of the street or streets referred to herein is to be computed in each case by multiplying the average width of the streets from building line to building line, by the length of the facade along the building line of the lot.

CREDIT TO THE DESIGNER.

An article by Montgomery Schuyler in the Architectural Record suggests to the editorial mind of the Western Architect one point in architectural practice that has not changed since the days of McComb (the architect of the City Hall). And this is the position of the draftsman-designer in an architect's office in relation to his design:

"One hundred years from now, when they talk about the designer of certain buildings, it will take this same kind of investigation to prove that the architect credited with the work was not the designer, because his name alone was on the plans. There ought to be some way of putting the 'draftsman' who designs great things for 'architects' on record in due proportion to work he has done. In the laying out of Washington, L'Enfant gets the credit due him in part, though he is overshadowed by the name of Washington, who was at best a country surveyor, and had never seen Versailles or any of the landscape work that L'Enfant was undoubtedly familiar with, both as a student and as an observer.

"But we who know a great many things that are not published, but like 'justice' in the Schuyler article, wish to see justice done, would like to do the brass-plate act very often in our travels through the vale of architectural mendacity. We do not say a word when we are shown a special sketch (on onion skin) of 'my first conception,' we are assured, for the dome of a prominent building some time after we have written a draftsman pointing out that we recognized it as a replica of the dome on an unsuccessful competition design submitted by him years before, and charging him with being the real designer.

"Of course, there are cases, and they are in the majority, where the architect really does sketch the outline and general scheme of a structure and leaves the draftsman to do the rest, so after all it would be difficult to record just the credit that belongs to him. But some method should be devised by which the designer should have credit for his design in the records of the structure."

DEATH OF THOMAS L. HAMILTON.

Thomas L. Hamilton who, with his brother, Alexander Hamilton, conducted the business of John L. Hamilton & Sons, carpenter builders, 348 West 27th st, died Friday, Aug. 21, at his home, 342 West 27th st. Mr. Hamilton had been ill for a number of years and had recently returned from Europe, whither he had gone for treatment.

Mr. Hamilton was 49 years old and was born in New York. His father was John L. Hamilton, a successful builder. The son became a member of the firm of John L. Hamilton & Sons a few years after he graduated from the public schools, and continued as such until his demise. The firm participated in the construction of some of the finest structures in New York, notably the Knickerbocker Hotel. Others are the Dakota apartments, the row of buildings on 73d st owned by the Clark estate, and the Lakewood Hotel. Many of the handsome residences at Bayside, L. I., were put up by John L. Hamilton & Sons, who took a leading part in developing that section.

Mr. Hamilton took an active part in politics. He was successively a Commissioner of the old Board of Electrical Control, Republican candidate for Sheriff, candidate for County Clerk, member of the bi-partisan Board of Police Commissioners, treasurer of this board, County Clerk and Republican member of the Board of Tax Commissioners.

—A mortgage made five years ago at 4 per cent. would not be renewed at that rate to-day. As a mortgage broker you should have a list of these. This list is given in the Record and Guide Quarterly.

CONSTRUCTION

CONSTRUCTION POLICIES OF THE SCHOOL BOARD.

A COMMUNICATION from the Building Committee of the Board of Education to the Hon. Edgerton L. Winthrop, Jr., president of the Board, in regard to the extension of time on certain contracts for school work, contains much precise information in relation to the construction policies of the Board and the state of building affairs in the Department of Education at the present time. Contracts awarded by the Board of Education for the erection of buildings have been held in abeyance in the Department of Finance, as set forth in the report. The Municipal Builders' Association held a conference this week at which the situation was discussed. The fundamental trouble, undoubtedly, is the condition of the city treasury. The report follows:

Hon. Edgerton L. Winthrop, Jr., President, Board of Education:

Dear Sir:—The Committee on Buildings desires to acknowledge receipt of your reference to it of the communication of the 4th instant from Hon. Herman A. Metz, Comptroller, relative to an alleged violation of the By-Laws of this Board by this Committee in granting extension of time on certain contracts and of the passing of partial payments, where, although the work is incomplete, yet the date for final completion has expired.

Careful consideration has been given to the subject matter contained in the letter and your Committee wishes to have it most clearly understood that neither it nor the Superintendent of School Buildings has at any time, as stated, usurped the functions of the Board of Education.

The Comptroller cites eleven contracts, from which he makes the deduction that the contract time has been exceeded in the aggregate by 2,263 working days, or 6½ years, entailing upon the contractors a total penalty of \$57,160, of which amount the Board of Education has retained the sum of \$35,776.75, leaving a deficit of \$21,383.25. This, on the face of it, would indicate rather a serious state of affairs, and it is with not a little pleasure that your Committee makes use of this opportunity to clear away the misapprehension of facts which seems to exist. The settled policy of your Committee has been that allowances of time as provided in the contract must be made:

(1) On new buildings and additions where the progress of the work has been interfered with through delay in (a) delivery of site so that work might proceed; (b) in the making of payments; (c) to non-installation of equipment by the Board either through lack of funds or other causes.

(2) On equipment contracts for new buildings and additions when the progress of the work has been interfered with through delay (a) in making payments; (b) in the letting or certification of a contract so that conditions other than normal prevail in the carrying out of the work, as, for instance, weather or the presence of children in and about the premises.

(3) On repair contracts; (a) where delays occur through no fault of the contractor, so that conditions other than normal prevail in the carrying out of the work; (b) when the work was substantially completed in contract time, which necessarily must be short, and the finishing does not cause damage or inconvenience to the schools.

It has been held also that allowances of time must be made for inclement weather and strikes over which the contractor may have no control, provided that in the judgment of the Committee the circumstances were such as to make it practically impossible for the contractor to have complied with his contract.

These rulings, excepting (b) paragraph 3, are based upon the well-settled principle, that when the City or its agents or servants, for whatsoever cause, have impeded the progress or regular course of construction of the work, the contractor is not liable for a breach of his agreement to complete the work by a certain time, and that a contractor cannot be held to perform impossibilities. Further, that liquidated damages cannot be exacted where the work was substantially completed within the contract time, or where possession has been taken and use made of the premises or equipment prior to absolute and final completion and acceptance. The contracts impose upon this Committee the duty of computing and determining what these allowances of time shall be, something evidently confused with so-called extensions of time.

Following, therefore, these rules in determining the merit of a contractor's claim for allowances of time or in the making of partial payments as work progresses, although the date for completion has been reached, the contracts cited by the Comptroller will be taken up and tested in accordance therewith.

(a) "Contract No. 17,012, P. J. Brennan & Son, general construction of additions to and alterations in P. S. 59, Manhattan; amount of contract, \$151,500; contract time, 200 days; contract certified by the Comptroller October 22, 1906; number of elapsed working days, 534; overtime, 334 days; penalty, \$50 per day; total penalty, \$16,700. Work incompleting."

The correct amount of overtime is 296½ days and is of importance in the consideration of the case, as the following will

show: The award of this contract for the erection of an addition to Public School 59, in East 57th st, near 2d av, was made to P. J. Brennan & Son, the lowest bidder, on September 17, 1906. At this point the contractor was entitled to begin the work of excavation, but the premises were still occupied by the former owner as marble works. Title was acquired April 13, 1906. Request was made in May to the Comptroller to clear the site of buildings, and turn same over to the Board of Education. The sale of the buildings was held on June 8, under the requirement that they be removed within sixty (60) working days thereof. This would have cleared the site by August 25, 1906, and permitted prospective bidders to know the precise conditions of the premises prior to the opening of the bids September 17, 1906. The contract was executed September 29, 1906, and certified by the Comptroller October 22, 1906. The buildings were not then removed and the contractor states that they remained intact and occupied by the previous owner until February 1, 1907, notwithstanding repeated appeals to the Comptroller by the contractor and his attorney, also the Building Committee and its chairman in person.

The delay in the certification of the contract and the clearing of the site threw the work forward into cold weather, and we shall now be called upon to defend a suit for damages brought by the contractor. Further delay was caused the contractor through the inability of the Board to let the contracts for electrical and heating work until late in the fall of 1907, because of financial conditions. The precise number of days of delay is in each case shown by the records, as when ready for certain work and when that is provided, but the general contractor's claim for contingent delays owing to scattering of his working forces is one difficult of adjustment until the work be practically completed.

The building is and has been substantially completed for some time, but Brennan & Son claim that they will not finish up until they receive the payment of \$11,900 passed by this office on May 18 last, and now in the office of the Comptroller. The actual delays irrespective of those which are classed as contingent will more than offset the excess of time, added to which we will be called upon to defend a suit at law. All of these facts are within the knowledge of the Comptroller's office.

(b) "Contract No. 16,797, Peter Cleary, general construction of P. S. 94, Brooklyn. Amount of contract, \$288,800; contract time, 300 days; contract certified by the Comptroller September 19, 1906; number of elapsed working days, 516; overtime, 216 days; penalty, \$50 per day; total penalty, \$10,800; remitted by Building Committee. Work completed."

Work proceeded well under this contract until Cleary had difficulty in getting his eighth payment of \$14,875, forwarded to the Comptroller on July 19, 1907, as it was not until August 21 that he received it, a portion being in city bonds. From that time on there were 252 days' delay in Cleary receiving his money, and naturally we were in no position to urge him to greater speed. Further, the building could not be completed by Cleary until the heating work was in place. This the Frank Dobson Company refused to go on with, even withholding the delivery of the radiators in December and January last until they received their money from the Comptroller, which was accomplished only through the personal efforts of yourself as President of this Board. The building was occupied March 31, 1908, having been practically completed January 20, 1908, as far as Cleary was concerned. When this final was up for enquiry and action by this Committee the records showed 62½ days overtime up to date of occupancy, but this was allowed in view of the holding back of the work by the heating contractor, due to non-receipt of payments when due, as well as for the same reason as applying to Mr. Cleary, there being no other course open. The total delays for these causes above nearly equal the original time.

(c) "Contract No. 19,824, Peet & Powers, electric equipment, P. S. 140, Brooklyn; amount of contract, \$4,560; contract time, 100 days; contract certified by the Comptroller, October 11, 1907; number of elapsed working days, 235; overtime, 135 days; penalty, \$10 per day; total penalty, \$1,350. Work incompleting."

The completion of this contract was dependent upon the progress of other work. The building would have been completed last fall, but owing to financial conditions the heating contract could not be let until March 30 of this year. The two furniture contracts were awarded April 8, and forwarded to the Comptroller for certification May 8 and May 11, respectively, for certification as to financial ability, and which up to date have not been returned. The electrical work of Peet & Powers cannot be all completed until the furniture be in and the building is ready for use.

(d) "Contract No. 18,750, Frank Dobson Co., Inc., heating and

ventilating plant, P. S. 27, Manhattan; amount of contract, \$52,349; contract time, 130 days; contract certified by the Comptroller, June 6, 1907; number of elapsed working days, 350; penalty, \$35 per day; total penalty, \$7,700 for 220 days overtime. Work incomplete."

The construction of the building in two parts was made necessary by the presence of the old school on a portion of the site. The general contractor was delayed several months by the forcible stoppage of the work by another city department. This was entirely unwarranted, the work finally proceeding upon the original lines, but it threw the construction forward into cold weather, for which the contractors claim not only damages and delay as shown by dates of notice to stop and to proceed, but contingent delays also. Dobson's contract cannot be completed until the second half of the building is finished, but his work in the first or main portion of the building covering three-fourths of the site is now and has for some months past been practically completed.

(e) "Contract No. 19,822, Gillis & Geoghegan, heating and ventilating plant, P. S. 151, Brooklyn; amount of contract, \$5,675; contract time, 100 days; contract certified by the Comptroller, October 15, 1907; number of elapsed working days, 236; overtime, 136 days; penalty, \$10 per day; total penalty, \$1,360. Work incomplete."

This work consisted in completing an unfinished contract, which had been declared abandoned by the Board of Education. The building was and had been occupied for school purposes, the heating apparatus being in use and the contractors therefore could only be permitted to work at such time as to not interfere therewith. Final completion cannot be had until electrical service can be secured, for which we are now waiting. We have thus taken up the first five items just as they appear in the Comptroller's letter, and an examination of the other items show that the delays were for the same or similar causes, are covered by the foregoing, and there seems to be no need, just at this moment, of going into further details, which can be supplied at any time. There has been a rule of the Finance Department of several years' standing that leads a contractor in estimating upon work to expect payment of vouchers within ten days of the date they are filed with the Comptroller. The contractors claim that this has not been lived up to during the past year.

These delays in payments in the case of Public School 94 alone, since July, 1907, according to the record of receipt furnished by the contractor, vary from 5 to 72 days, or a total of 275 days, after allowing 11 days on each of the nine payments made during that interval for the usual examination and certification in the Comptroller's office prior to the issue of warrants. The reason is undoubtedly well known to all of us, as the city was not exempt from the money stringency which has affected the business world for nearly a year past, but persons unfamiliar with building matters do not know that when payments to sub-contractors and material men cannot be promptly met that future needed labor and material will be diverted to those channels where prompt payment can be had, and that once engaged on such a piece of work, the sub-contractor does not willingly return to push along the work on the schools. It is well understood that prompt payment is a very essential factor if the work is to be completed within contract time.

The Comptroller takes exception apparently to action by this Committee on so-called "extension of time" being deferred until the work be complete and ready for the issuing of the final payment. This view seems to have arisen from the fact that what are really allowances for delays which must, according to the contract be determined by the Committee, have been familiarly known and termed "extensions of time." The Committee has held the same view as that indicated by the Comptroller, that action should not be delayed until the completion of the contract and in pursuance of this, approved the recommendation made by the Superintendent some time ago, "that in cases when the contract time had expired and the work was not completed, delay being through no fault of the city, the amount per diem of liquidated damages be deducted from each partial payment as it be earned, and the settlement of the question not left until the work is entirely completed; then to be taken up in considering a final payment."

The Committee was later advised by the Committee on "By-laws" that however inconvenient it may be, the deduction of liquidated damages must await "the final completion of the building." Your Committee is constantly considering the question of delays in the carrying out of the various works, and it is therefore familiar with the details; and the appellation of "a blanket extension," as used in the Comptroller's communication, is scarcely applicable, as it implies a lack of knowledge, which is certainly not the case.

The contention of the Comptroller that paragraph 9 of section 30 of the By-Laws requires action by the Board of Education on all extensions of time is one your Committee does not dispute. It does most earnestly dispute, however, the allegation made that this Committee, through its action in determining and fixing allowances for delays to which the contractor would be justly entitled in any court of law, has in any way held back the otherwise early completion of work.

Moreover, the contractors have not obtained the idea that the time clause means nothing, but as some say they take the

risk that the city, through some department or some cause, will commit such acts either of omission or commission as will justly entitle them to an allowance of time. That this works out in practice is shown by examples "a" to "e," inclusive, in the earlier part of this letter. There is undoubtedly a divided responsibility as there must be in all city governments, but the delays and dissatisfaction referred to by the Comptroller are nothing compared with that which will ensue at the non-completion of schools this fall owing to the non-certification of contracts now in the hands of the Comptroller. The present Chairman of this Committee was acting Chairman for a certain time in 1902 and 1903, and brought about through the co-operation of the then Comptroller the final certification of contracts within one week of their approval by the Board of Education. In fact, some were acted upon in less than one week, and knowing these to be facts, we cannot understand why there should now be a delay of weeks and months in the doing of something requiring but a few days.

Work is delayed and the interests of the city menaced by such inaction. This Committee has let many equipment contracts, affecting schools under construction and to be finished at an early date, since the funds were granted therefor by the Board of Estimate and Apportionment, on March 13, 1908. Of these some 89, affecting about 35 schools, were yesterday reported as being in the hands of the Comptroller for either the approval of the sureties or for final certifications of financial ability, which certainly should be simple, in view of the special appropriations above referred to.

These contracts have been forwarded at various dates, some extending as far back as April, and it may well be that in September or later the Comptroller will demand to know why there is a delay in completing schools, and why there is any necessity for making any allowances of time, on either these contracts or on those preceding and dependent upon them for possibility of completion. This same delay affects also the 12 new buildings, contracts for which have been awarded by this Board and forwarded to the Comptroller in May and June. Contractors are complaining of this condition of affairs, as well as of the fact that they are unable to obtain the return of their certified checks, some of which amounted to thousands of dollars, deposited with the bids, until action be taken by the Comptroller. One man, who has had seventy-five hundred dollars thus tied up since July 13, has notified us that he will hold the Board responsible for damages and interest.

In view of these conditions, your Committee some weeks ago decided to discontinue the letting of further contracts, until the Comptroller had acted on those he now has before him, as it resulted only in tying up the money of contractors without our making any progress. In conclusion, your Committee begs to state that in its opinion, based on practical experience of years in this work, that the speedy completion of schools now under construction, and those for which contracts have been let during the past few months, is simply an utter impossibility, without the hearty co-operation of the Comptroller, which, in view of delays in payments and the certification of contracts, this Board certainly has not been receiving. Very truly yours,

(Signed) GEO. W. SCHAEDEL,
Chairman, Committee on Buildings.

New York, Aug. 12, 1908.

A RETROSPECT OF AN ELECTRICIAN.

AN article by Professor Elihu Thomson, bearing this title, appeared in the May issue of the General Electric Review. It is exceedingly interesting and instructive, showing the enormous development and growth of the electrical manufacturing industry, and the limited facilities that had to be contended with in the early days. Mr. Thomson says in part:

"One has only to visit the shops of a large electric manufacturing concern to-day and to notice a great variety of stock and material found in store and stock rooms, to be impressed with the fact that modern results come about by a combination of highly developed organization and methods. As an example, one may watch the elaborate machinery in the form of punch presses and the like, which have to deal with the manipulation of sheet iron or steel in the armature core of the dynamos and motors, without realizing that all of this development is but recent."

After describing the limited materials that were at hand in the early days, the article continues:

"Oftentimes the machine equipment was, as in lathes, planers, etc., so restricted that the designs had to be adapted, as it were, to the restricted manufacturing equipment. For example, work that ought to have been taken with one cut on a large planer was very frequently made on a small machine by turning the work about to make separate cuts; and the designs of apparatus were frequently made to avoid the use of tools which did not exist, or which existed in very restricted sizes or number.

"Some of the vagaries of design in dynamos and other machines were due to certain ideas which acted as fetishes, and which have since disappeared. Such, for example, was the idea that a drum armature should be of very great length, so that the idle wire, that is, the wire over the ends, would be small in amount in relation to that which was along the side of the drum."

Many interesting conditions were encountered in the pioneer days of electrical manufacture.

THE ARCHITECT WHAT HE HAS DONE RECENTLY AND WHY HE DID IT.

THE HAMBURG-AMERICAN COMPANY'S OFFICES.

The New York offices of the largest steamship company in the world, recently completed at 45 Broadway (the former Aldrich Court), are among the very handsomest in the city. The central room particularly, where the lighting from above permitted the introduction of a glass dome, was sumptuously treated in the style of the French Renaissance. The walls are covered with an almost white so-called Italian statuary marble, interspersed with pilasters and posts, which are covered with a magnificent French marble called "Breche Fleurie." Two female figures, modeled by Mr. Goudard, of Goudard & Bussard, are far above the realm of commercial art. They form keystones of the large easterly and westerly arches, and represent the emblematic figures usually found at the prow of a ship. Four cartouches in the corners of this central room are crowned by heads representing Neptune, and the accom-

A GERMAN ON NEW YORK ARCHITECTURE.

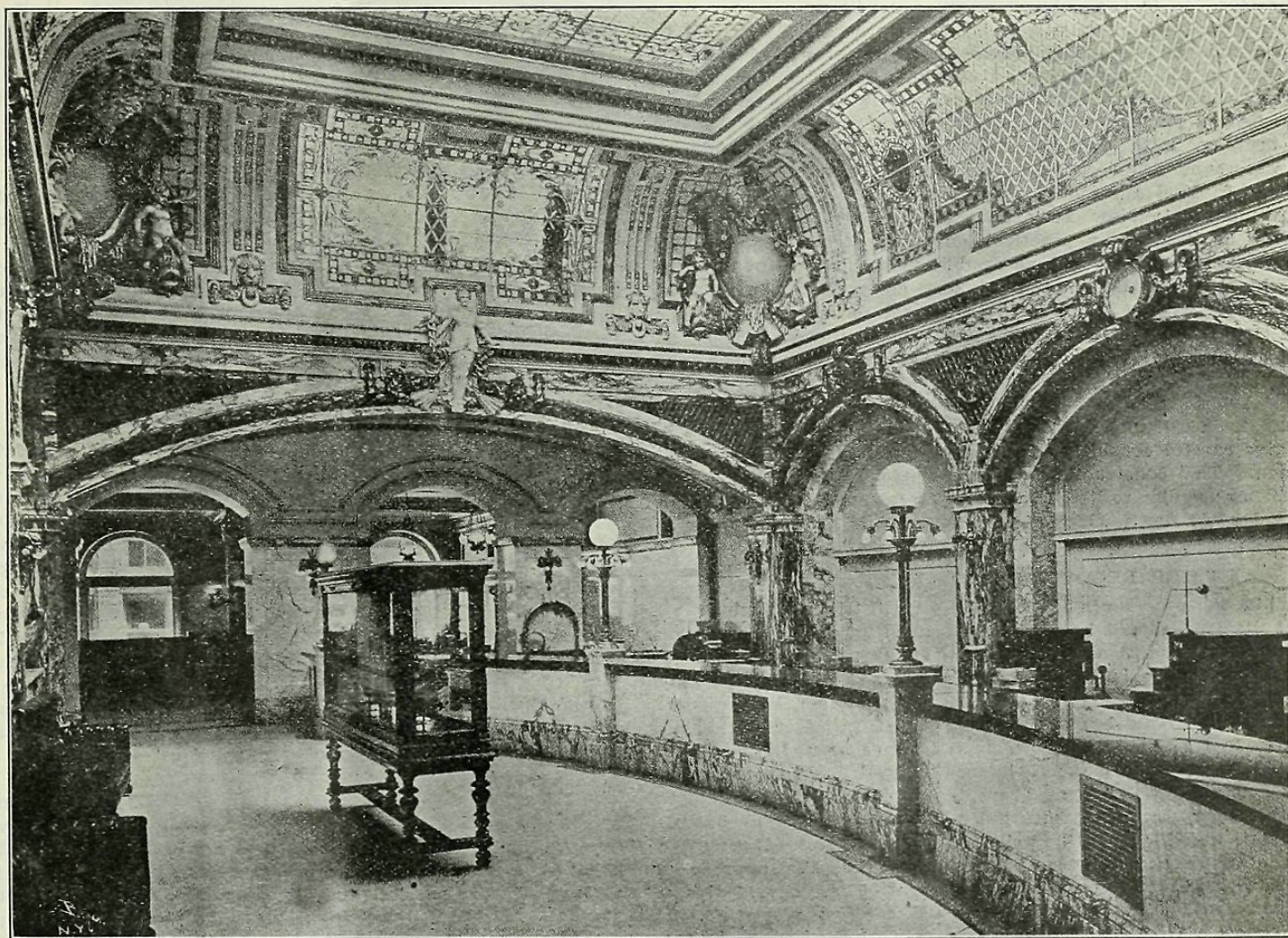
APPRECIATION OF THE NEW YORK LIBRARY.

Prof. Gustave Eberlin, of Berlin, who recently visited here, has written in the *Vossische Zeitung* a critical appreciation of the cultivation of the fine arts in America. Of the architecture of New York he says.

It is preeminently classical, and every style of France from the Kings down to the Emperors is represented. The more recently finished monumental buildings are redolent of this style as well. The architects have largely copied from Italian, Spanish, and mediæval palaces, but have spoiled their effects by hemming in their creations in narrow, dirty streets.

That many of our public buildings have inferior sites is a subject of regret to Prof. Eberlin:

A number of buildings, beautiful in themselves, pearls of splendid architecture, lose all their charm, notwithstanding their costly



(From the Architects' and Builders' Magazine.)

CENTRAL ROOM OF THE NEW HAMBURG-AMERICAN OFFICES.

45 Broadway.

R. L. Daus, Architect.

panying children are dragging nets. Shell fish and other inhabitants of the deep are used in the treatment of the ventilating registers, and dolphins and seashells are the component parts of the lighting fixtures. All the emblematic features, whether in marble, bronze or other material, are taken from the sea, the domain of the steamship company.

In order to give the owner adequate quarters, Mr. Daus built up three stories in the old interior court. The offices are arranged with a high regard for the comfort and health of the army of employees, among other features, being a very complete ventilating apparatus. The air for this purpose is taken from above the roof, is filtered, heated, distributed through the building and expelled above the roof. The architect did well also to remove the old tortuous and inadequate entrance to the building and to substitute a liberal, practical entrance, which gives access to an entirely renovated and handsome hall of fine large dimensions.

materials by their unsuitable sites and are scarcely noticeable. A splendid building, for purity of elegance and style the like of which I have seen in no other city, is the library of Carrère & Hastings. New York is to be congratulated on this classical masterpiece, which is not yet quite finished. When in the evenings I used to wander through the deserted, badly lit streets, hardly passable for deep holes in the asphalt, having escaped from the breakers of the roaring tramcar traffic of the avenues, I used to fly for refuge to the splendid Greek portal of this building, at the sight of which my soul derived fresh impetus.

Prof. Eberlin believes that the future will bring with it a "monumental style" which will overcome all the difficulties of building in America's crowded cities. He finds that the rough physiognomy of the skyscrapers on Wall st and along the banks of the Hudson has a peculiar attraction. The monster masses, rearing their picturesque roofs to heaven in the twilight of a winter day and lashed and swept by the snow storm, have a disjointed splendor which all the architectural elegance in other buildings cannot convey.

PUBLIC COMFORT STATIONS.

By JOHN K. ALLEN*

MUNICIPALITIES are lavish in expenditures for park purposes, for boulevards and for monuments, but are neglectful in providing conveniences which will be appreciated alike by the rich and the poor, but especially by those who are not welcome in the stores, hotels or office buildings. The well-to-do business man has his office or his club. For the aristocratic shopper abundant provision is freely made. For the sight-seer, the laborer, the newsboy, no provision is made. Surely this is not only short-sighted, but unjust.

The public convenience station is not a new thing to the older cities of Great Britain and the continent of Europe, in which they are to be found with pleasing frequency. In London each parish has erected and maintains its own convenience stations and many of them are models of construction. Most of them are constructed below ground, but where possible to construct above ground it far better as the beneficial effects of sunlight and air are secured. Glasgow, Edinburgh, Birmingham, Manchester, Dublin, Aberdeen and many smaller British cities have found the public convenience a necessity and are operating them under the fee system at a comparatively small cost. In Paris the public convenience is frequent enough, but is open to serious objection because it is neither cleanly nor private. There are great steps to be taken in the construction and operation of these stations in that enterprising city. In Berlin, Dresden, Munich and other German cities, there are fine examples of public comfort stations to be seen, combining both utility and artistic treatment. In Denmark, Copenhagen and other cities are well equipped with conveniences of this character. In fact, go almost where you will among your older sister nations and you will find this very necessary adjunct to public comfort bountifully provided. In America we have been dilatory in following this good example, but it is a matter of great encouragement that rapid progress is now being made.

In New York the first public convenience was opened in Astor pl in May, 1869, and after a varying period of usefulness, it was abandoned because it was found to occupy too public a place. In 1896 a measure to give a monopoly of such public conveniences in New York to a private corporation was defeated, as it meant a practical surrender at a nominal rental of streets, avenues, parks and public places to a company who sought for a small sum the privilege of erecting kiosks to be disfigured with advertisements. More recently New York has erected numerous beautiful and well equipped stations and sets an example to other American municipalities which is very inspiring. There is no doubt that within the next few years most American cities will be forced by an educated public demand to install public convenience stations, and it will be well to give careful consideration to some features of general application. The construction of any single station will involve problems peculiar to itself, but there are general principles which may be laid down which should govern the location and construction of this class of public utility. * * *

EITHER BELOW OR ABOVE THE SURFACE.

While the practice in London has seemed to make it desirable that stations should be constructed under ground, the opinion of sanitarians must always be that such stations should, wherever possible, be built above ground, but if it is not possible their construction should not, because of that fact, be neglected because they can be built and operated satisfactorily below the surface. Should they be erected above ground, great care should be taken to make their architectural appearance satisfy the demand for beauty. There is no reason why structures of this class should not be artistic, and there are many beautiful stations which may be pointed to as examples. Even when the stations are constructed under ground, the approaches thereto should be given artistic treatment. There should always be substantial and specially designed railings protecting the stairways, either of stone or bronze or wrought iron, and there is great opportunity in connection with ventilating shafts for the construction of clock towers and ornamental lamp posts. Indeed, it should be especially designed and not be of a stock pattern.

It may here be pointed out that, wherever possible, these structures should be so embellished with plantings of shrubs and flowers that the eye will be drawn to them as points of beauty, rather than shun them as repulsive objects. The practice in European cities teaches us that this is perfectly feasible, and the result as seen in some German examples is very satisfactory. The rights of contiguous property owners should be consulted and the design of the exterior be open to the least possible objection from that source.

The arrangement of the respective entrances for men and for women should be so designed as to remove a very natural dislike to their use. If possible they should be concealed from each other, and in any case they should be as far removed from

*Member American Society Inspectors of Plumbing and Sanitary Engineers, member Royal Sanitary Institute. From a paper read before the Commercial Club of St. Paul, Minnesota, and printed in Domestic Engineering.

each other as the conditions surrounding the site will permit. Not only should the exterior and the approaches to a public convenience be of such a character as will educate the public taste, but the interior and its equipment should be so perfectly designed that use of the station will tend to elevate the sense of decency rather than degrade it.

INTERIOR ARRANGEMENTS.

In designing the interior of a public comfort station the architect and engineer will seek a simple, open, practical plan, with the passage-ways straight and wide; this design will not only prevent congestion when the station is used by crowds, as—if it is well located—is sure to be the case, but it will permit all parts of the room to be within sight of the attendant. The design should permit a visitor to see all portions of the room immediately he enters the door, and the most used portions should be nearest the entrance. The purposes of each portion of the room should be so self-evident that it will be unnecessary to consult an attendant.

The designer will also bear in mind the principal purpose of such a station, and if provision is made for boot blacking stands, newspaper counters, checking windows and telephone booths, these should be so subordinated to the main features of the station. In designing stairways there should be ample provisions for easy treads and strong hand rails, and winders should be avoided. They should be well lighted and, if possible, enclosed to avoid the danger caused by rain or snow.

Bearing in mind the essential feature of always having stations of this character in charge of attendants, the designer should provide an ample room for the storage of supplies, tools and appliances. Where space—and appropriation—permits, it is wise—especially in connection with the women's department—to have an emergency room, provided with cots. It is frequently possible in stations constructed above ground to have a cellar underneath the main floor, in which may be located the heating plant, together with all the necessary pipes and wires. This permits a better heating system and accessibility of water supply and waste pipes.

Bearing in mind that the use of the stations is practically constant and in that respect differs from the toilet conveniences installed in private houses, it will be seen that only the highest grade fixtures should be installed, as the use is not only constant but severe. It will also be very desirable if all of the flushing mechanism of the plumbing fixtures shall be so constructed as to be hidden from the user and subject to the control of the attendant. It should also be borne in mind that there should be no fixtures which may be detached and carried away, as there is a regrettable haziness in the minds of many persons as to the sacredness of public property.

HEATING AND VENTILATING.

In New York City the first stations constructed were without heating apparatus, but it was soon discovered that this was a vital defect and it was remedied immediately. No station should be constructed in a cold climate without a heating equipment, and this can be either steam or hot water, or, in the very near future, electricity. The heating system should be designed in connection with the ventilating system so that the air may be kept perfectly pure at all times. This is perfectly practicable and not expensive. It has been found possible to lead ventilating shafts up through handsome ornamental columns, through especially designed lamp posts, and in some cases up to and through a concealed back to street refuse boxes placed along the curb edges, and sand bins and guard posts have also been utilized for ventilating shafts for ingress and egress of air. There should be an adequate supply of hot water for the lavatories and also for cleaning purposes. The limited space at this disposal of the designer will cause him to plan a very compact boiler room, in which the steam or hot water heating boiler, hot water supply, electrical switchboard, etc., all find a place. There should be an ample supply of illumination, either natural or artificial, and there should be no dark corners permitted where dirt may escape the eye of the inspector.

Sanitarians are becoming increasingly insistent upon the beneficial effects of sunlight, and the great advantage of above ground stations, where possible to have them, is principally upon this account. Contrast a public comfort station having sunlight streaming into it with one built underground and lighted artificially, and even if the latter be well designed and admirably cared for, the comparison will always be to the advantage of the sun-lit room. Because of the beneficial effects of light and air, it will be better to locate stations which have to be built in the cavernous highways of great cities, on north and south thoroughfares, rather than in those running east and west. At some portion of the day the sun's rays may penetrate to such a location and better ventilation is thus assured.

The plumbing fixtures, as indicated, must be of the very best character, and it will be very advantageous if the designer of a public comfort station shall so plan his fixtures that the wastes may be grouped so that access may be had to all of the waste pipes without tearing up floors. It will be well if the closets are placed back to back, with a gallery between, large enough to permit a workman to have access at all times to the flushing apparatus.

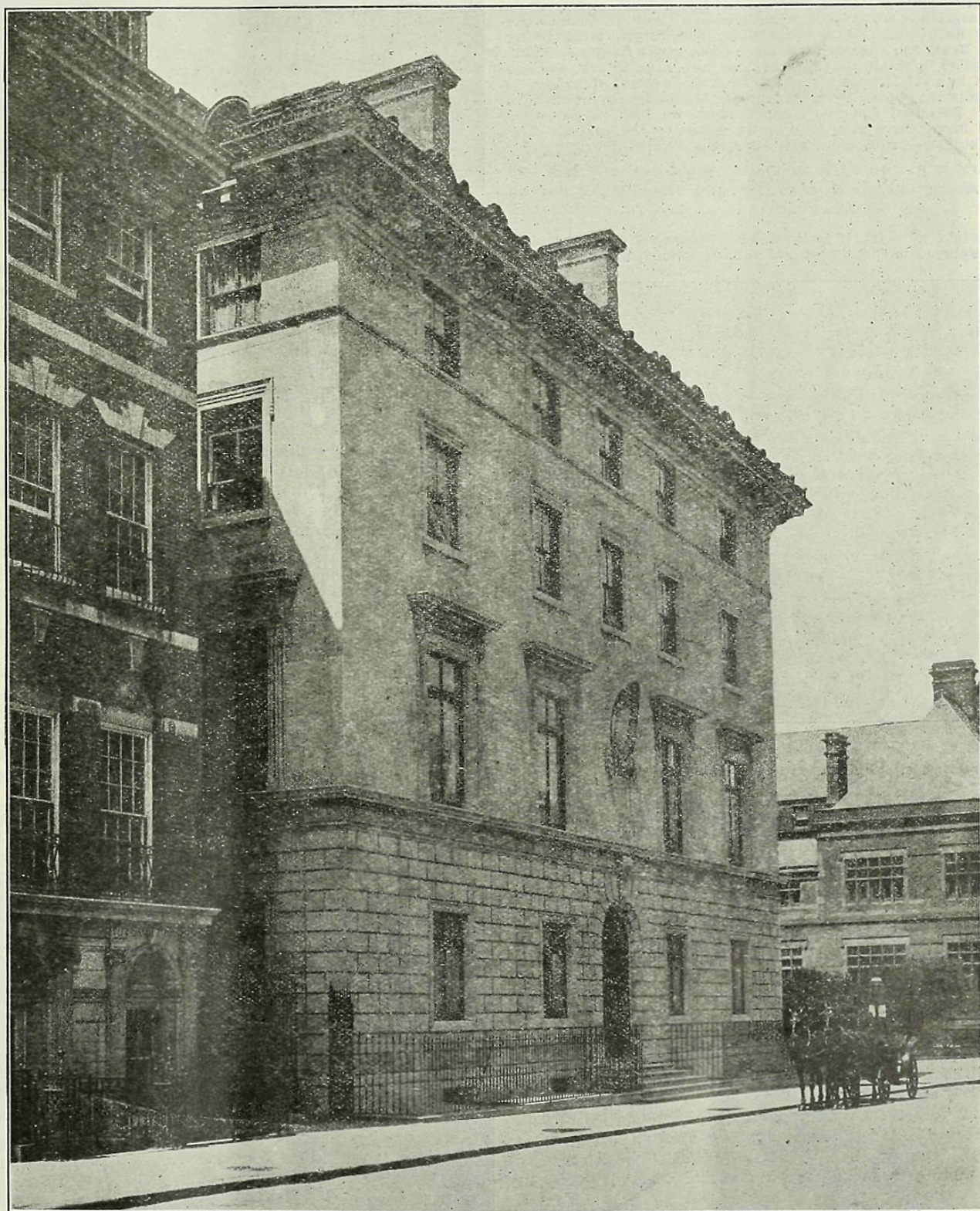
RECENT ACHIEVEMENTS OF THE BUILDER.

THE ROBERT S. BREWSTER HOUSE.

WILLIAM ADAMS DELANO says that to build a house well requires the willing compromise and collaboration of three people—the owner, the architect, and the builder. Ordinarily the architect receives his program of requirements from the client, and, after much consultation and many changes, the plans are finally drawn and the house built. The product is a compromise between the ideas of the client and those of the architect; there is little or nothing to distinguish it from

where he can count the stories both above and below the cornice line it appears as a dwelling of exceptionally large dimensions, possessing most of the attributes of dignity and comfort. Mr. Delano, of the firm of architects, says of the house, in a description accompanying the plans and photogravure prints in the "New York Architect," that it was fortunate in having and holding the interest of the three people most concerned in its success. He adds:

"The program called for a house to be used for entertaining, but entertaining on a small scale. It was to be a house for



S. E. Cor. Park av. and 70th st.

HOUSE OF ROBERT S. BREWSTER.

(From the New York Architect.)

Facade on Park Avenue.

Delano & Aldrich, Architects.

its neighbor, and still less to be said about it, either as an architectural personality or a work of art.

The Robert S. Brewster house, at the southeast corner of Park av and 70th st, is one of the most distinguished-looking houses of the recent constructions in that quarter of the city. In the illustration it appears as not one of large proportions, which it in reality is; nor one to be classified with a pronounced architectural style. But to the man on the street

dinners primarily, and not for dances or large gatherings. The dining-room and reception room were, therefore, placed on the ground floor, as near the level of the sidewalk as possible, and of necessity the pantry, and men and women's coatrooms, and other like service, had to be arranged on the same floor. The drawing room and library were called for on the second floor, and above that the ordinary bedrooms, sitting rooms, and bath rooms for the family.

"The purpose for which the house was intended, and the fact that the entertaining rooms were on two floors, made an ample staircase necessary, with big halls on both floors. The building lot was fortunately a corner one, so that it was possible to get an abundance of light and air in all the rooms, without undue sacrifice of area to light courts and wells.

"Externally there is presented a house of very simple, with scarcely any ornamentation, except for the cartouche over the entrance; but, being built entirely of stone, it has the appearance of durability and elegance. The real beauty of the house is within:

CAEN-STONE STAIRWAYS.

The vestibule and entrance hall are built of Caen stone with low plaster vaults. The finished floor is of black and white marble, laid in squares of equal size. The staircase leading to the second floor, is built of Caen stone with an ornamental iron ramp and velvet covered handrail.

The reception room is simply panelled and for enrichment some low relief ornament has been used. The room is painted in three shades of gray. The mantel is of white Italian marble with bronze applied ornaments.

HIGH CEILINGS.

The dining-room is panelled to the ceiling and painted a shade just off of the white. It has no gilding except around the mirror over the mantel. This room and all the other rooms on this floor are 12 ft. 6 ins. high in the clear from floor to ceiling.

The staircase leads from the entrance hall on the first floor to the second floor hall, which is more properly speaking a large living room, 30 ft. by 18 ft., containing a large Caen stone fireplace. This room is panelled in small panels from floor to ceiling in oak, and the ceiling itself has small beams running from one side of the room to the other, between which color ornamentation has been applied to the plaster. This hall has two large windows on 70th st. on either side of the fireplace, which is directly opposite the stairs. The same stone staircase runs from this floor to the third floor.

The library is at the Park av end of the house and has two windows looking out on that avenue and one looking out on 70th st.:

Up to a height of 8 ft., it is lined with bookcases or wainscoted. The wood employed is Circassian and French walnut, and the mantel



FIG. 2. VIEW OF THE SITE ON JUNE 1.
Part of the hotel building is still standing.

in this room is made of the same wood. Above the bookcase the plaster wall is covered with a rich gold colored stuff, and the ornamental cornice of the room is executed in plaster, left white.

The drawing room is the only room which has any elaborate ornamentation. In this room the walls are covered with cerise brocade set in panels, and the mouldings of the panel strips are gilded, as is also the relief ornament on the door and window trim and in the cornice.

The second floor is 15 ft. high in the clear. On the floors above the rooms are simply treated with small, simple cornices and low wainscot. The walls throughout the upper rooms are papered.

IMMIGRATION.—One effect of the depressed labor market has been a great check upon the influx of foreign laborers, who for a decade have been attracted hither in ever increasing numbers by a rising labor market. The total number of aliens admitted at the Port of New York in the first quarter of 1908 was but 57,007, as compared with 198,379 in the corresponding quarter of the year before. But not only has immigration thus greatly decreased. In quite as striking fashion alien labor already in the country has withdrawn from this market by emigration, thereby reducing the amount of unemployment in this country.

—The use of small reeds as a substitute for plastering laths is common in Germany, and in other parts of Europe. The reeds used in this industry are chiefly imported from Hungary by Danube boats, and vary in length from one to two and one-half yards, or even more, and from three-eighths inch to one and one-half inches in diameter. The supply in Hungary is said to be abundant, but to be decreasing through drainage of swamps. By means of machinery these reeds are fastened together by wires so as to form a continuous mat as wide as the reeds are long, and which is cut with shears and fastened to walls or ceilings in place of laths.

EXAMPLE OF RAPID CONSTRUCTION.

HOW DIFFICULTIES ARE OVERCOME IN MANHATTAN WHERE TIME SPELLS MONEY.

IT is a pretty safe assertion to say that rapidity of construction means more in New York than in any other city on this continent, if not in the whole world. At the present time the erection of a business structure in Manhattan generally involves the demolition of another to make room for it, vacant lots being so scarce. When the site is in a section where its assessed value runs up in the millions the loss of rent entailed by wrecking and building operations is one of the dominating

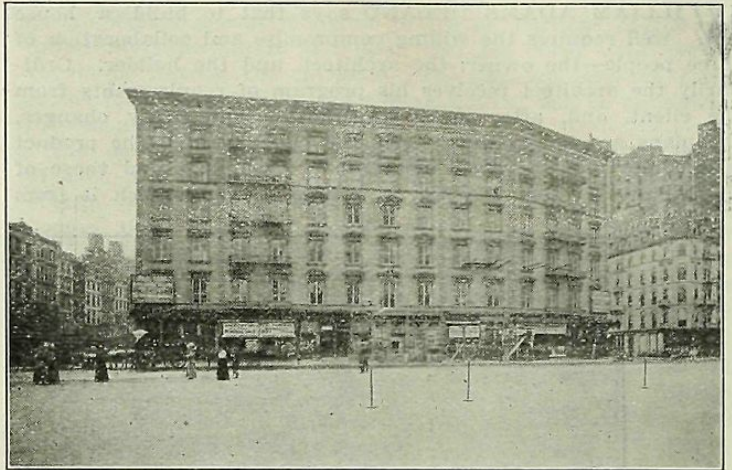


FIG. 1. THE FIFTH AVENUE HOTEL.
As the Broadway front appeared on May 1, 1908.

features to be considered. This may be the result of strikes, legal complications, bad weather and a dozen handicaps, but with everything favorable to owner and builder it is not only desirable, but economical to advance the work as fast as possible without endangering the stability or beauty of the structure. Add to this the loss of rent, the taxes, interest, etc., and the necessity of rapid construction is even more apparent. It is true that these losses are figured in the total cost of the undertaking in a measure, but they have to be kept down as much as possible in order to minimize the total cost of the improvement.

The erection of a modern 14-story office building on the corner of Broadway and 23d st. in the heart of the new office section, illustrates what has been noted. To put up such a structure in Manhattan in one year, the time allowed for this undertaking, may not be establishing a record, but the difficulties faced by the general contractors, the Hedden Construction Co., make the execution of the contract one of unusual interest.

The accompanying illustrations indicate both the progress and some of the obstacles, also revealing what it means to excavate for foundations in some parts of Manhattan. Figure 1 shows the appearance of the old Fifth Avenue Hotel on the corner May 1, when the Rheinfrank House Wrecking Co. started to tear down the hostelry for the general contractors.

Figure 2 is the reproduction of a photograph taken one month later, showing part of the hotel standing on the Broadway side, the steam drills at work, and the huge boulders of rock dynamite

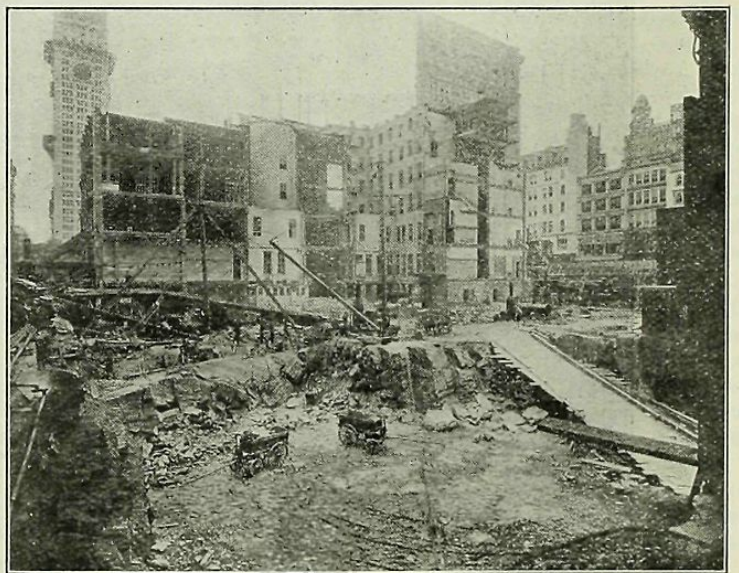


FIG. 3. OPERATIONS ON JULY 1.
The 30ft. excavation is in the foreground.

mitted for the basement and sub-basement. Practically the entire site is of solid rock. Scores of laborers break up the huge pieces of stone after the dynamite rends them apart. Such a scene has been referred to as a "mining camp" in New York.

Fig. 3 is a reproduction of a photograph of the operations a month later, about July 1. Wreckers are at work almost side by side with drillers. An injunction placed by tenants of the



FIG. 4. VIEW OF OPERATIONS ON JULY 23.

The last corner of the hotel building is disappearing, on the right hand side, and the steel frame-work of the new building is appearing on the left. Steam drillers are at work on the 24th St. side.

stores on the Broadway front delayed demolition, and consequently construction, within 100 ft. of Broadway, from May 18 until the third week of June.

Fig. 4 reproduces a photograph taken about three weeks later and illustrates a remarkable condition in a building undertaking. On the Broadway side can be seen the last corner of the old hotel as it is disappearing under the crowbars and sledge hammers of the wreckers. Steam drills are busy boring holes in the rock on the 24th st side, while on the western end of the 23d st side the steel work is up to the first floor. Thus, at the same time there are represented on one site five different trades, namely, wreckers, excavators, concrete workers, masons and iron workers, with the fireproofing about to be applied.

The Fifth Avenue Building, which is the name that has been given to the new structure, is to be ready for occupancy May 1, 1909, one year from the time the general contractors started. It was designed by Architects Maynicke & Franke.

PRODIGES AMONG CONTRACTORS.

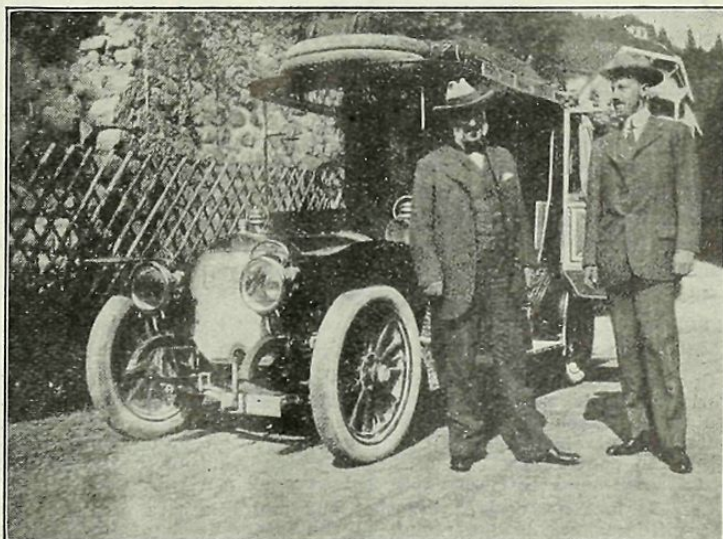
Can a contractor who is ignorant of the use of the ordinary instruments required in his line of business be successful therein? The question appears to be too absurd to call for the answer that 99 persons out of 100 would give, and yet there are instances of men who, unable to write even their own names, let alone handle a tape line, have acquired a competency and have otherwise been progressive.

One case was cited by an engineer recently, where a contractor having six figures in his private bank account, had made it all in excavation work, despite that he knows no more about the use of a measuring stick than he does about the inhabitants of Mars. He can look over a vacant lot a short time and then estimate within a few dollars what it will cost to dig the hole needed for the foundation. He has grown up with the business and his ability to figure seems to be almost an instinct.

"When I was stationed in Baltimore after the conflagration in that city a few years ago," said Mr. F. C. Fowler, of the New York office of the General Fireproofing Co. (Mr. Fowler represented Oliver & Burr in the Monumental City at that time), "I ran across a prodigy among contractors. He was in the railroad line and his ability to estimate without resorting to instruments of any kind was amazing. He never did use them. When improvements were to be made he rode in a handcar over the section and could figure mentally within a small fraction of one per cent. what they would cost. I accompanied him on one of these trips and was astonished at his methods, which appeared hazardous, but which rarely failed him. The fact that he is regarded as one of the well-to-do contractors in his own community is indicative of his success, and he was a poor man once. When he signs a check, it is by putting a cross opposite his name. He is both ignorant and clever—ignorant of

book lore in mathematics and engineering, but clever in his ability to produce results. He makes good and his methods are not questioned. You might as well talk to him about the viscosity of protoplasm as of square or cube roots."

MOTORING IN EUROPE.—Mr. A. R. Whitney, who was senior member of the iron and steel firm of A. R. Whitney & Co., Eastern agents for the Carnegie Steel Co. for two decades, returned recently from an automobile trip through Continental Europe. Mr. Whitney, who took this novel method to benefit his health, was accompanied by his son, Mr. Arthur R. Whitney, Jr., president of the Whitney-Steen Co., of New York, engineers, contractors and builders. They motored about 2,000 miles through some of the most attractive and historic parts of Europe. Arriving at Paris, a 60-H.P. Pilain car was secured for the journey, which started at the French capital. The itinerary was to Aix-les-Bains, to Chamouni, to Geneva, to Interlaken, to Lucerne, through the Black Forest, to Heidelberg, to Frankfort, down the Rhine to Coblenz, along the Moselle River, westward to Luxembourg, and thence to Dieppe, in time to see the Grand Prix motor race at that place. After witnessing these, the Whitneys returned to Paris. The whole trip was delightful and without a single accident to mar it. Both of the tourists gained in flesh and enjoyed fine weather. The voyage back to New York was made on the Mauretania, after being away from this city about two months.



THE MESSRS. WHITNEY IN THE BLACK FOREST.

THIRTY MILLIONS IN SKYSCRAPERS.

NEW YORK has scheduled for construction since the first of the year twenty-six buildings of 12 stories and over. Their aggregate cost will be near \$30,000,000. Some are already under way. Here's a list for future reference. It contains the names of both owners and architects, together with the precise location, the dimensions, the exterior materials to be used and the estimated cost of the building in each case:

Broadway|the blk, 62-sty office building; Equi-Nassau st| table Life Assur Co, Broadway and Cedar st | Nassau st; ar'ts, D H Burnham & Pine st | Co, Chicago, Ill. and the Holland House, 5th av and 30th st, Manhattan. Estimated cost	\$10,000,000	Riverside Drive, s e cor 113th st, 12-sty brk and stone apartment house, 104.4x107.6; Akron Building Co, 198 Broadway; ar'ts, Schwartz & Gross, 347 5th av. Estimated cost.....	300,000
Madison av, n e cor 34th st, 16-sty brk and stone loft building, 49.1x99.9, slag roof; Margaret S E Cameron, Clifton, Staten Island; ar'ts, Clinton & Russell, 32 Nassau st. Estimated cost..	300,000	26th st, Nos 38-44 West, 12-sty and basement brk and stone loft building, 60x90, tar and gravel roof; E E and Terry Hinkle, 534 W 56th st; ar'ts, Hinkle Iron Co, 534 W 56th st. Estimated cost	200,000
Broadway, s w cor 4th st, 16-sty brk and stone loft building, 80.5x110; concrete roof; Philip Braender, 143 W 125th st; ar't, Wm C Frohne, 38 E 21st st. Estimated cost.....	1,000,000	Madison av| w s, the blk, 14-sty brk and stone 46th st | hotel, 200x140, tile roof; Robert 47th st | Walter Goelet, Newport, R I; ar'ts, Warren & Wetmore, 3 E 33d st. Estimated cost	2,000,000
27th st, No 18 W, 12-sty brk and stone loft and office building, 25x91, slag roof; James Livingston Construction Co, 32 Nassau st; ar'ts, Neville & Bagge, 217 W 125th st. Estimated cost	120,000	Wall st, No 48, 20-sty brk and stone office building, 38x126, tile roof; Bank of New York, 48 Wall st; ar'ts Clinton & Russell, 32 Nassau st. Estimated cost	600,000
Beaver st, Nos 26 and 28, 18-sty brk and stone office building, 53.5x50.1 and 56.2, tar and gravel roof; Stock Quotation Telegraph Co. on premises; ar't, Morgan M O'Brien, 100 E 76th st. Estimated cost.....	250,000	Wall st, Nos 67-69 |24-sty brk and stone office Beaver st, Nos 85-91 | building; United States Realty & Impt Co, 111 Broadway; ar'ts, Goldwin Starrett & Van Vleck, 150 5th av. Estimated cost	750,000
Broadway, s e cor 8th st, 16-sty brk and stone office building, 50.3x122.9; Sinclair Realty Co, 31 Nassau st; ar't, W H Gompert, 2102 Broadway. Estimated cost	400,000	Broadway, Nos 44-50|38-sty brk and stone office New st, Nos 43-47 | building, 81x175; copper and tile roof; Broadway & New Street Realty Co, 50 Broadway; ar't, W C Hazlett, 1133 Broadway. Estimated cost	3,475,000
Riverside Drive, s e cor 98th st, 12-sty brk and stone apartment house, 101.4x81x98.6, plastic slate roof; Century Holding Co, 141 Broadway; ar't, Wm L Rouse, 12 W 32d st. Estimated cost	500,000	4th av, n w cor 17th st, 16-sty office and mercantile building, 127.7x142, composition and tile roof; Everett Investing Co, 111 Broadway; ar'ts, Goldwin Starrett & Van Vleck, 150 5th av. Estimated cost	650,000
Chambers st, Nos. 43 to 51, 14-sty brk and stone bank and office building, 123.2x151.6, tile, tar and felt roof; Emigrant Industrial Savings Bank, 51 Chambers st; ar't, Raymond F Almirall, 51 Chambers st. Estimated cost.....	1,500,000	12th st, No 8 E, 12-sty brk and stone mercantile building, 25x93.3; Master Builder Realty & Construction Co, 1 Madison av; ar't, Samuel Sass, 23 Park Row. Estimated cost	100,000
26th st, Nos 37 to 43 West, 12-sty brk and stone store and loft building, 100x90.4, slag roof; The West Twenty-Sixth St Corporation, 725 Broadway; ar'ts, Neville & Bagge, 217 W 125th st. Estimated cost	400,000	16th st, Nos 15-17 East, 12-sty brk and stone loft building, 50x82, slag roof; Max Kurzrock and Hyman Hein, 55 W 16th st; ar'ts, Schwartz & Gross, 347 5th av. Estimated cost.....	240,000
38th st, Nos 15-17 West, 12-sty brk and stone loft building, 56.3x90.2, tile roof; Mary L Barbey, 4 E 39th st; ar'ts, Delano & Aldrich, 4 E 39th st. Estimated cost	150,000	17th st, No 22 East, 16-sty loft building; Clarence Wadsworth, Hartford Bldg, Union sq, N Y; ar'ts, Hoppin & Koen, 244 5th av. Estimated cost	100,000
Beaver st, Nos 63-65, 15-sty brk and stone office building, 44.8x103.2, tile roof; Farmers Loan & Trust Co, 16-22 William st; ar'ts, Clinton & Russell, 32 Nassau st. Estimated cost.....	500,000	Broadway, 23d and 24th sts, 14-sty office and store building; Fifth Avenue Building Co, 225 5th av; ar'ts, Maynicke & Franke, 298 5th av; Hedden Const Co, builder. Estimated cost...	2,000,000
11th st, No. 55 East, 12-sty brk and stone loft building, 27x93.3, slag roof; Brevoort Const Co, 229 Broadway; ar'ts, Schwartz & Gross, 347 5th av. Estimated cost.....	130,000	Broadway |12-sty elevator apartment Amsterdam av | house; Belnord Realty Co; 86th and 87th sts | ar'ts, Hiss & Weeks, 1123 Broadway; Geo A Fuller Co, b'r. Estimated cost	3,500,000
36th st, Nos 149-51 West, 12-sty brk and stone store and loft building, 39x93, slag roof; Robert S Finney, 103 Park av; ar'ts, Mulliken & Moeller, 103 Park av. Estimated cost	200,000	26th st, No 22 West, 12-sty store and office building; Chas Kaye, 12 W 21st st; ar'ts, Buchman & Fox, 11 E 59th st. Estimated cost	200,000
		Total	\$29,565,000

MEDIATION AND ARBITRATION.

DURING the three months from March 1 to June 1 representatives of the Bureau of Mediation and Arbitration of the State Department of Labor intervened in twenty-one disputes. In two cases intervention occurred before suspension of work, once upon the request of the employer and once at the request of employees. In both of these cases no strikes occurred, a final settlement resulting from the Bureau's efforts in one case, while negotiations were still pending in the other on June 1. The remaining nineteen cases were strikes or lockouts in which the Bureau intervened of its own motion after stoppage of work. In six of these the intervention was immediately successful in terminating the controversies. There were no arbitration cases during the three months. Following are synopses of interventions in the New York City Building Trades, according to the last quarterly bulletin:

One hundred and fifty cement workers, waterproofer, electrical workers, tile-layers, carpenters and others employed by one contractor struck March 31 to compel the employment of union electricians. Bureau intervened April 1; conference between union representatives and contractors was arranged, which resulted in the signing of an agreement. Strikers returned to work April 3.

Cement masons, cement laborers and metal lathers employed on the Williamsburg bridge requested the intervention of the Bureau in a threatened strike. Bureau intervened May 12 and arranged a conference of the engineer in charge and representatives of the

unions. Negotiations are still pending but without stoppage of work.

Fifty-two plasterers employed on the Williamsburg bridge threatened to strike on account of jurisdictional dispute with Tilelayers' Union. Engineer in charge appealed to Bureau. On May 12 Bureau intervened and succeeded in having strike held in abeyance until unions could adjust their differences.

Twenty-eight carpenters and 12 metal lathers employed by one contractor struck April 30 for increase of wages from 40 to 50 cents per hour for carpenters. Bureau intervened May 1; employees agreed to conference but employer refused. On May 2 employees filed complaint with Department of Labor and city comptroller that contractor was not paying prevailing rate of wages on the contract, which was public work. On May 5 representatives of the disputants met and the demands of the workman were conceded.

Ten carpenters in one shop struck May 5 against use of non-union wood trim. Bureau intervened May 12 and arranged a conference of the parties, as result of which contractor signed agreement on same day to use union trim.

Fifteen housesmiths and bridgemen employed by one contractor struck March 31 against the employment of non-union men. Bureau intervened April 1; conference arranged between representatives of the union and the contractor, as result of which agreement was signed to employ only union men. Dispute terminated April 2.

Three hundred and fifty sheet metal workers, plumbers, carpenters, plasterers, laborers, lathers and others employed in 16 establishments struck May 7 to compel a contractor to unionize his shop. Bureau intervened May 8; employees agreed to return to work if employers would unionize shops and conform to rules of Carpenters' Union of Greater New York. Employers refused. Strike failed, strikers returning to work May 14.

BUILDING MATERIAL AND EQUIPMENT.

And News Regarding Source of Supply

The Rose Clambake.

More than four thousand men attended the fifth annual Pow Wow of the John B. Rose Company of New York at Orange Lake Park, N. Y., on Saturday, Aug. 15th. Four thousand badges were given out, and that number was not enough to go round. It was a most remarkable outing. Of course they have had in the past monster picnics up that way. The Quakers of Southern Ulster, the farmers of the Wallkill Valley, the old-time camp meetings and the temperance people have drawn together their thousands, but this was different. As a clambake it was the limit.

Men came from all along the Hudson. A special train on the West Shore brought friends from New York and intermediate towns. As may be supposed, the invitations were pretty generally distributed among the club, society and business friends of Capt. Rose. Orange Lake Park is some miles west of Newburgh and is reached by electric cars. It has a permanent theatre, set in a grove, pavilions of various kinds and boating and swimming facilities.

Captain Rose, who gives these handsome entertainments, employs several hundred men in the brick business at Roseton. He is commander of the Fifth Separate Company, and belongs to a long list of organizations. We believe it is true that he aspires to the Republican nomination for State Senator from Orange and Sullivan counties, and it is very evident that he wants everybody he knows to have a good time. He showed his interest in the welfare of his employees when he erected a large clubhouse and lecture hall at his works.

A great deal could be said about the clambake. A committee of a hundred citizens came forward and helped with the arrangements in the neighborly way that still survives in some parts of the country. The entertainment was varied and generous. Bakes were opened at three different hours of the day, and the guests were served at tables in the shady grove. The track and field sports in the morning, the theatrical performance and a ball game in the afternoon and the water sports in the early evening filled a pleasant day. Taken with the journey by train, boat and trolley into a fine farming country and a unique and generous dinner with theatricals and sports on the side, can you imagine anything finer?

Among the men of note (there is room only for a short list) were: Fire Commissioner Whitney, Deputy Police Commissioner Hanson, Hon. B. B. Odell, Hon. Timothy Woodruff, Hon. Herbert Parsons, Hon. William L. Ward of Westchester, Hon. William Barnes of Albany, Senator Allds, Senator Owen Cassidy, Congressman Bradley, Congressman Burnett, Dock Commissioner Allen Spooner, Comptroller Glynn of Albany, and the Mayors of several cities—Albany, Hudson, Kingston and Newburgh. Among the firms of architects, builders and dealers represented were: Eidlitz & McKenzie, Horgan & Slattery, McKim, Meade & White, Ahearn Construction Co., J. Carlin, John Downey, Hedden Construction Co., J. C. Vreeland Building Co., Chas. T. Wills, H. A. MacLean of the Tide-Water Building Co., John Bell Co., Candee, Smith & Howland Co., R. Darrow's Sons Co., John P. Kane Co., John A. McCarthy, R. H. Matthews Co., Murtha & Schmohl Co., N. & W. J. Peck, John A. Philbrick & Bro., N. Wise Co. and Theo. C. Wood.

Mr. Carter Back from Europe.

Mr. Carter, of Carter, Black & Ayers, 1 Madison ay, has returned from a trip to England and France. Although his outing in Europe was for pleasure, Mr. Carter found time to see some samples of brickwork, especially in London and Paris. He pays tribute to the thoroughness of the English mason, who lays brick much better than his American confrere: "They take more time in England," said Mr. Carter, "and the brickwork is much better than in the United States. But the colors in brick are principally two, red and a greenish yellow. The American face brick is better and the variety of colors here is not to be found in England. Time is too precious with us to permit of the excellent results produced by the mechanic in Great Britain.

"More variation in color and more artistic work are noticed in the French facades. In Paris decoration is more in evidence in the buildings than other cities. In the business section of London the use of soft coal plays havoc with the brick fronts, the soot making them so dark that after a few years one cannot distinguish between a stone and a brick facade. In one case a light brick was being used on a new building which adjoined another structure that was quite dark. I was informed that the latter building had the same face brick as the one in course of erection, but that the effect of the use of soft coal had destroyed the original color."

Mr. Carter, who takes much interest in athletics, crossed the ocean in the same liner that carried the American Olympic team. He is personally acquainted with many of the athletes who represented the United States in the field events at London and saw this part of the Olympiad throughout. He has nothing but praise for the gentlemanly bearing of the American boys despite some of the unpleasant features attending the Olympiad.

Drain of Reinforced Concrete.

The draining of the acres of railroad yards at the new terminal of the New York Central lines in Manhattan was one of the problems for the consideration of the engineers in charge of the improvements in progress there and concrete was used in overcoming the difficulty. The total surface to be drained is nearly 78 acres, comprising 24 acres in the yard for the suburban trains 40 feet below the street level and 42 acres in the yard for the express trains, 20 feet above the suburban.

The construction of the drain is of reinforced concrete, with a minimum thickness of 12 inches. The invert is lined with red brick. As the drain crosses the yards it has an elliptical shape, changing to a circular shape at 46th st, where it is 6 ft. in diameter.

Steam Pipe for Porto Rico.

Miles of the steam piping taken from the old Fifth Avenue Hotel by the Rheinfrank House Wrecking Co., 620 East 14th st, is to be sent to Porto Rico to be used for irrigation and other purposes. This is but another instance of the way in which this historic structure is being scattered to the four points of the compass. Recently an order was received for a set of the pavement lights to be used at Albany. More than half the States in the Union are represented in inquiries and orders for some article from the hotel. Within the past month shipments have been made to Connecticut, Massachusetts,

Rhode Island, Georgia, Ohio, New Jersey and Kentucky. The most active demand comes from places throughout Long Island.

Stones More Irish than Those in Blarney Castle.

The possibility of simulating stone with concrete is responsible for a witticism passed at the expense of the historic Blarney Castle and that part of it so frequently associated with osculation and flattery. A visitor to the workshop of Mr. H. W. Miller, 501 East 22d st, will find on the wall of the third story a group of stones that reproduce a small section of the old castle. They are made of concrete, the details seen in the natural stone showing up to the perfection of simulation.

When the Trinity Building was in course of construction the architect called at Mr. Miller's office to approve some models for that structure. When he saw what he supposed was a specimen of the rustic wall in Ireland, he inquired whence the stones came, never doubting but that they were the genuine article. He remarked that they looked to be about 1,000 years old.

Mr. Geo. Beck, who had modelled the group from photographs of sections of Blarney Castle, answered that the stones were concrete, but that they were more natural than the ones in the walls of Blarney Castle, because everyone was a sham-rock.

Concrete Made Prosperity.

The Allentown, Pa., Chamber of Commerce has issued a book showing the growth and industrial importance of the town, in which it is stated that within a radius of six miles there are eighteen cement mills, employing 12,000 men, whose output for 1906 was 13,000,000 barrels of Portland cement, about 36 per cent. of the total product of the United States.

The rank of the Portland cement producing States has shown little change in the last two years. Pennsylvania is still the leading State by a large margin, New Jersey is second, Indiana third, Michigan fourth and Kansas fifth. None of the remaining States produced as much as 3,000,000 barrels during the year, and the five States named contribute almost three-fourths of the total production—Cement Age.

New York After Dark.

An excellent photogravure to show the part that the Otis elevator is taking in the constantly changing skyline of New York appears in the June number of the "New York Architect." It shows Manhattan as seen from the Statue of Liberty after the skyscrapers are lighted up and the elevators flitting past open windows like will-o-the-wisps. The lines explanatory of the illustration are as follows: "New York at night, towering above the harbor, imposing and mysteriously suggestive of its greatness. It is most interesting to trace the progress, in the tall buildings, of the Otis elevator, as the brilliantly lighted cars flash by the open windows."

—The American Manganese Bronze Co., 99 John st, Manhattan, U. T. Hungerford, president, and W. A. Locke, secretary and treasurer, have completed their new works at Holmesburg Junction, Philadelphia, on the New York division of the Pennsylvania R. R.

PRICES CURRENT.

BRICK.—Without noticeable change the market for Hudson River brick retains the amount of activity it has been accustomed to this season. Receipts of material are only sufficient to meet the requirements and leave the usual surplus. Quotations in the open market continue nominal. A part of the shipments are under long term contracts at rates which this season average higher than the market.

The Harbison-Walker Refractories have taken the contract to supply the face brick for the State Educational Building at Albany, N. Y. More than a million will be required. A light colored and impervious brick has been selected. Palmer & Hornbostel, New York, are the architects and R. T. Ford & Co., of Rochester, are the contractors.

BRICK.	Cargo Lot, Per M.	
Hudson River Common.....	\$4.50@	\$5.25
Hudson River Light Hard.....	3.00	.....
Hudson River Pale.....	.....	.....
New Jersey, Hard.....	.....	.....
Croton Point—Brown, f. o. b.....	12.50	.....
Croton Point—Dark and red.....	12.50	.....

Fronts:		
Buffs, No. 1 (delivered at bldgs.)	21.00	26.00
Greys, various shades & speckled..	25.00	31.00
White, No. 1.....	27.00	30.00
White, No. 2.....	20.00	25.00
Old Gold	28.00	30.00

Enameled:		
English size	70.00	75.00
American size	60.00	65.00
Seconds, etc.....	40.00	45.00

CEMENT.—Business in the middle of August seems to be a little quieter than in the corresponding week in July, which is true in most years, and the present season has not generated any reason for being an exception. The substance of the reports from manufacturers and dealers is that the improvement in trade over the previous month is slight, but a few firms could be noted as exceptions to the general rule. Orders are mostly in small amounts for current local work. Manufacturers are looking ahead to a period when the railroads will be purchasing in large quantities.

Reports from the middle West are to the effect that the cement trade is coming into its own again, though prices have not changed. An interesting rumor relates to a manufacturing company in the Lehigh region, which is said to be obtaining options on cement lands near Mason City, Iowa, with the intention of putting up a large mill there. Work is about to be resumed at the Millen Portland cement works at Chelsea, Mich., after a rest of three years. H. C. Millen is president of the corporation. A majority of the stockholders of the Minona Portland Cement Company, of Sumpter County, Alabama, have filed a bill in chancery at Selma, asking for a dissolution of the corporation and the refunding to the preferred stockholders of the amounts paid on subscriptions to stock. The company was organized about two years ago, but it has not reached the manufacturing stage.

CEMENT.

Rosendale, or Natural, in wood, per bbl.....	.....@	\$0.95
Portland, Domestic, in cloth* .....	.....	1.48
(*All standard American Portland Cement Companies repurchase cloth sacks at the rate of 7½ cents each, or 30 cents a barrel.)		

Manufacturers' Quotations:

Atlas Portland	\$1.48@	\$1.55
Alsen (American) Portland	1.48	.....
Vulcanite	1.48	1.53
Trowel Portland	1.48	.....
Nazareth .....	.....	.....
Dragon Portland	1.48	.....
Atlantic	1.48	.....
Dyckerhoff (German) Portland.....	2.45	.....
Alsen (German) Portland.....	2.35	.....

IRON, STEEL, ETC.—Demand continues to expand gradually in the iron and steel industry, but there is no rapid improvement, and on some descriptions of pig iron it has been possible to obtain further concessions in prices. Despite the unusually small orders for railway equipment, production of steel mills is increasing at the rate of about 5 per cent. weekly, and if progress is not interrupted there should be fully 70 per cent. of the total capacity in operation next month. Attractive quotations are being named in all sections of the market.

A good volume of small structural contracts is coming from the West. The state of business in this trade, taking the country over, is decidedly better than a month ago. The railroads are placing orders for bridge material much more freely. The Geo. A. Fuller Company has placed the contract for structural steel for the building to be constructed on the site of the Everett House, New York City, requiring 2,700 tons. It is understood that no steel contract will be placed for the Hoyt apartment house at present, the business being temporarily withdrawn because of financial affairs. The steel for the Emigrant Bank building on Chambers st will not be placed until next month.

The John Peirce Company, which is back of the Ford Construction Co., of Rochester, the general contractor for the Educational Building at Albany, states that the contract for the 10,000 tons of steel required has not yet been awarded. Other contracts pending include 800 tons for the Union Theological Seminary, 1,200 tons for a building at 34th st and Madison av, and 800 tons for the Allen apartment house. The contract for the 2,700 tons of steel for the Century Realty Company's building on Union square has gone to the Hay Foundry and Iron Works.

Reports from copper manufacturers indicate that they are marking time. The brass interests, together with the electrical equipment concerns, are under moderate headway. Prices on the New York Metal Exchange were unchanged at 13½@13½c for lake, 13¾@13½c for electrolytic, and 13¼@13¼c for casting copper. The market was called dull.

The bar iron trade reports a steady increase in the volume of business, but prices continue a little irregular. Galvanized plates are in good request. The lead market continues moderately active.

PIG IRON.

The following are the nominal delivered prices in this district for shipment during the next few months. Southern prices delivered, New York, Brooklyn or Jersey City, include lighterage:

Northern:	
No. 1 x Jersey City.....	\$16.75@ \$17.25
No. 2 Foundry x Jersey City.....	16.25 16.75
No. 2 Plain	15.75 16.25
Southern:	
No. 1 Foundry, steamship dock....	17.00 17.50
No. 2 Foundry, spot (nominal)....	16.50 17.00
No. 3 Foundry	15.75 16.25

STRUCTURAL.

	From store.
Beams and Channels, 15-in. and under	\$1.76@ \$2.25
Angles	1.76 2.25
Tees	1.81 2.35
Zees	1.81

BAR IRON FROM STORE (National Classification).

ROUND AND SQUARE IRON.	
1 to 1½, base price.....	.....@ \$1.90
¼ to ¾ in.....	1-10c. extra
1 to 1½, base price (nominal)....	.....@ \$1.75

FLAT IRON.

1½ to 4 in. x 5 to 1 in., base price .....	..... 1.90
1½ to 4 x ¼ x 5-16.....	2-10c extra
2 to 4 in. x 1½ to 2 in.....	5-10c extra
4½ to 6 in. x 11-16 to 1½ in.....	4-10c extra
Norway Bars	3.60 8.75
Norway Shapes	3.75 4.00
Machinery Steel, Iron finish, base .....	..... 1.90
Soft Steel Bars, base or ordy sizes .....	..... 1.90
Tool Steel, regular quality.....	7.00
Tool Steel, extra quality.....	13.00

SOFT STEEL SHEETS.

¼ and heavier .....	..... 2.55
3-16 .....	..... 2.65
No. 8 .....	..... 2.65
Blue Annealed:	
No. 8	2.50
No. 10.....	2.50
No. 12.....	2.55
No. 14.....	2.60
No. 16.....	2.70

No.	One Pass R.G. cleaned—	
	Cold Rolled.	American.
No. 16	\$2.90	\$3.30
No. 18}	2.95	3.40
No. 20}	3.00	3.35
No. 22}	3.05	3.40
No. 24}	3.10	3.45
No. 26}	3.20	3.50
No. 27}		
No. 28}		

RUSSIA, PLANISHED, ETC.

Genuine Russia, according to as-sortment, per lb..... 11¼@14

Patent Planished, per lb..... A, 10c.; B, 9c., net

Galvanized iron jobbing, price..... 70 and 10%

Metal Laths, per sq. yd..... 22@24

SOLDERS.

	Case.	Open.
Half and Half	19½	@ 20
No. 1	17½	18

SPELTER.

Ton lots	5½	5¾
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TERNE PLATES.

N. B.—The following prices are for 1C 20x28, the rate for 14x20 being half as much. IX is usually held at \$2 per box advance for 8 to 10 lbs. coating and \$2.50 to \$3 advance for 15 lb. and upward. The following are approximating basis quotations, and proper allowance must be made for special brands, small lots, etc.:

About 40-lb. coating.....	@ \$17.10
About 30-lb coating.....	15.00
About 20-lb. coating.....	13.50
About 15-lb. coating.....	10.70 11.25
About 8-lb. coating, box.....	8.70

PIG LEAD.

Ton lots	4¾	4¾
Less	4¾	5¼

LUMBER.—Locally the lumber market shows a tendency to improve, but the amount of trade is by no means what it should be. The extent of the business being transacted in lumber can be judged very well by any one in a position to estimate the amount of building on hand. But there is this to be said, that at local yards stocks in many cases have reached a point where they need replenishing. For this reason, and because of the quicker revival of business in the cities and towns served from New York, there is better business in the wholesale trade than a month ago. Some increases in building permits are a little more encouraging, but builders are still working cautiously. There is a fair movement in the suburban sections, while it is expected that the dock department will shortly be in the market for heavy supplies of yellow pine for the construction of the new docks in the South Brooklyn water-front. Yellow pine has been in better demand during the week and prices are stiffer. The Lumber Trade Journal remarks:

'Opinion in the trade is divided as to the prospects. Some do not look for any material change until next spring, others believing that the election decision will start the ball a-rolling; but whichever is correct there is one factor which stands out clearly, and that is that during the slump and dull period following the panic the general tendency in all lines of business has been to reduce stock and purchases to the minimum. This is especially true in the lumber trade, and in view of that fact it is obvious that it will require but a comparatively small change for the better to bring about a market stimulation which will be sympathetically felt in prices. Conversation with a good percentage of the trade shows a great decrease in the volume of business as compared with a year ago, but on the other hand many dealers are enjoying enough trade to keep things moving along. This about reflects the situation in a nutshell. This is a good time to buy lumber, as lumber is cheap, and further than that there is extremely little likelihood, unless everything goes teetotally to the bad, for prices to go any lower. There is keen competition for such business as is offering, which is of advantage to the buyer, and those in a position to anticipate their wants at this time should certainly be in line to make good profits when general conditions resume a normal basis.

SPRUCE.

2 inch cargoes	\$16.50@	.....
6 to 9 inch cargoes.....	18.00	\$19.50
10 to 12 inch cargoes	20.00	21.00

HEMLOCK.—Pa. Hemlock, f. o. b. New York, base price, \$19@20 per M.

PINE, YELLOW—Long Leaf. By Sall.

Table listing prices for Yellow Pine products including Building orders, Yard orders, Ship stock, Heart face siding, and Yellow Pine Stepping.

LONG LEAF YELLOW PINE FLOORING.

Table listing prices for Long Leaf Yellow Pine Flooring in various sizes and finishes, including 'A', 'B', and 'C' grades.

WHITE PINE.

(Rough or dressed.)

Table listing prices for White Pine products including Good Uppers, Shelving, Cutting up, Dressing Boards, and Barn boards.

HARDWOOD FLOORING.

K. D. Bored, End Matched or Butted and Bundled.

13-16 Oak, 2, 2 1/4 and 2 1/2.

Table listing prices for Hardwood Flooring products including Clear quartered white oak, Select quarter-sawed white oak, and Common oak.

Plain Oak.

Table listing prices for Plain Oak products in various sizes and quantities.

SHINGLES.

(New York Lighterage Limits.)

Table listing prices for Shingles products including Cypress, Cedar, and Red Cedar.

HARDWOOD.

Table listing prices for Hardwood products including White Ash, Basswood, Red Birch, White Birch, Cedar, Cherry, Chestnut, Cypress, Elm, Hazel, Maple, Walnut, and Yellow Poplar.

PREVAILING PRICES ON ROUGH NORTH CAROLINA PINE.

F. O. B. Car or Vessel at Norfolk, Va.

Table listing prices for Rough North Carolina Pine products in various sizes and quantities.

Table listing prices for Red Heart Edge, Mill Culls, and Bark Strips.

PAINTS, OILS, ETC.—Less activity in most paint commodities than during the previous fortnight has been the feature of the week.

More buyers are coming into the market for metallic paints. Consumers are interested in later deliveries, and better business is certain along this line not long hence.

The continued high price of seed has had the effect of stiffening the local linseed oil market considerably.

The local market for turpentine was weak during the greater part of the week.

The Detroit Graphite Company, paint makers, of 141 Broadway, New York, with factories at Detroit, is supplying all paint used on the 27,000 tons of structural steel entering into the construction of the new Pennsylvania Terminal Station.

OILS, City Prices.

Table listing prices for Linseed Oil and Lard.

PAINTS, Dry.

Table listing prices for various Dry Paints including Lead, Litharge, Ocher, Venetian red, Tuscan red, Yellow chrome, Vermillion, Oxide zinc, and Oxide zinc (French).

PAINTS IN OIL.

Table listing prices for Paints in Oil including Lead, Litharge, Lead, Blue, Blue, Brown, Green, Sienna, Umber, and Umber.

WALL PAPER.—Manufacturers who compete for the jobbing trade now have their samples on view in New York sales-rooms or hotels identified as wall paper headquarters.

The opinion in the trade is that the standard in color and design is higher than ever before, and quotations, at the same time, rarely moderate.

Big Future for Cement in Rural Districts.

Mr. Morris Metcalf, assistant to President Ed. M. Hager, of the Universal Portland Cement Co., came to New York from Pittsburgh yesterday to complete the preparations in progress for the exhibit of his company in the rooms of the Concrete Association of America, 225 5th av.

“The past year or so has disclosed the great future for the cement industry in the agricultural districts,” he said, in speaking of conditions in the West and Middle West. “The increasing number of uses to which concrete is being put by farmers is astonishing.

“Railroad work is picking up a little in the West. A few weeks ago the Northwestern was in the market for 400,000 barrels and closed contracts for the entire amount.

Saving Lumber in Forms.

The forms required in concrete work provide one of the principal difficulties to be overcome, both in the way of expense and convenience. A claim of the Dietrich clamp for concrete wall forms is that it eliminates excess lumber, as well as nails, screws, bracing, shoring and time losses.

New Kind of Roman Brick.

Person & Co., 160 5th av, are putting on the market a new Roman brick, now being manufactured by the Lexington Pressed Brick Co., Lexington, O.

The hotels are filling up with “buyers.” Last year they were looking only for bargains, and were not heavy customers. This year they will do more business.

BUILDING OPERATIONS.

Apartment Hotel for Long Branch.

LONG BRANCH, N. J.—Plans are under way for the erection of an 8-sty fire-proof apartment hotel, to be erected on the Jacob Rothschild plot on Ocean av, near Cedar av, Long Branch. Anthony La Forte, a real estate and insurance broker, of Manhattan, is the promoter. Apartments are to be composed of living rooms, two, three or four rooms each, with bath and kitchenette, large closets, lobby and alcoves, and independent porches. The building will be known as the "Shrubberies" Apartment Hotel, the porches and windows throughout the building to be covered with shrubbery grown in patent water-proofed bed troughs with fresh air inlets. The main floor will have a large piazza entirely surrounding the building with a grand entrance, foyer and elevators. There will be automatic water sprinklers and outlets. All walls and ceilings are to be finished with coatings of hydropyrine, making them always clean, cool and absolutely sanitary and washable. New patent ventilating system will be installed throughout the building. To the right will be a library, ladies' reception room and dressing rooms. To the rear and left of the foyer is a large dining room for guests who do not desire the cares of housekeeping; also dining and ball rooms with alcoves and a gallery. The basement will have a grill room with private alcoves and a billiard room for the convenience of the guests. The main kitchen, store rooms, and laundry will be located in the rear part of the basement. The elevators, light, steam heat, ventilating and ice machinery will all be installed in sub-basement. On the roof, overlooking the ocean, will be a large sun playroom for the children.

John Wanamaker's Philadelphia Plans.

PHILADELPHIA.—It is announced that John Wanamaker has completed financial arrangements by which he will begin at once the construction of the last section of his big department store on the Chestnut st side of the block bounded by that street, Market, 13th and Juniper sts. Within a few days a mortgage for \$6,000,000 to the Land, Title & Trust Company, as trustee, to secure an issue of bonds of a like amount, will be filed with the Recorder of Deeds. About \$3,500,000 will be required to pay off obligations outstanding and the remaining \$2,500,000 will be used in the erection of the last section of the store. Bids for the construction of the new section will be invited shortly. Officers of the Land, Title & Trust Company state that the bonds have been subscribed for at par by a coterie of financial men in this city and New York. The bonds will bear 5 per cent. interest and run for five years. D. H. Burnham & Co., of Chicago, are the architects.

High Apartment House for Gramercy Park.

GRAMERCY PARK.—J. Riely Gordon, 402 5th av, has been commissioned to prepare plans for a 12-sty elevator apartment house to be erected on the east side of Gramercy Park, near 22d st, for John E. Olson, the builder. It was announced in January last that Charles Buek, of 500 5th av, was contemplating the erection of such a building in Gramercy Park, to cover 5,600 square feet, but the report at that time proved to be unauthorized. So far as could be learned on Friday no building contracts have yet been signed. The site is now covered with a row of stone dwellings under leaseholds.

Building at Borough Park, Brooklyn.

BOROUGH PARK.—Shampan & Shampan, 772 Broadway, Brooklyn, are preparing plans for a 4-sty brick corner apartment building to be erected at the southwest corner of 12th av and 60th st, Borough Park, Brooklyn, for Harris Wilner of Borough Park. The plans will call for an exterior of gray Roman brick with Indiana limestone trimming in a modern type of architecture, with cypress hardwood finish and Standard Sanitary Mfg. Co. plumbing. The same architects are also planning a similar building for the same owner in the south side of 60th st, 20 ft. west of 12th av. Same trim, plumbing and exterior. This operation is to be started at once for which ground is to be broken within a week.

Contracts for 4th av and 17th st Building.

4TH AV.—The Hay Foundry & Iron Works, 114 East 28th st, has just obtained the contract to furnish and erect 2,700 tons of steel necessary for the new 16-sty office building which the Century Realty Co., 111 Broadway, is about to erect at the northwest corner of 4th av and 17th st, facing Union sq. The building will cover a plot 142 ft. on 4th av and about 128 ft. in Union sq, in all nearly 16,500 sq. ft. The George A. Fuller Co., Fuller Building, has the general contract. Messrs. Goldwin, Starrett & Van Vleck, 150 5th av, are the architects. See issues June 20, Aug. 1, 1908.

Fountain & Choate to Erect Tooth Building.

5TH AV.—Henry Otis Chapman, 334 5th av, architect for the new business building to be erected for Arthur Tooth, the London picture dealer, as lessee, at the corner of 5th av and 47th st, on the plot now occupied by the residence of Hon. Perry Belmont, 25.6 ft. on 5th av and 100 ft. in 47th st, has awarded the general contract to Messrs. Fountain & Choate, No. 110 East 23d st. The structure will be nine stories in height and fireproof. (See issue July 18, 1908.)

Large Contract for Whitney-Steen Co.

MADISON AV.—The Whitney-Steen Company, engineers, contractors and builders, 135 Broadway, has just received the general contract to erect the 16-sty office building, 49.4x100 ft., which Margaret S. E. Cameron, of Clifton, Staten Island, will build at the northeast corner of Madison av and 34th st, at a cost of \$300,000. Messrs. Clinton & Russell, 32 Nassau st, are the architects.

Latest 51st Street Improvement.

51ST ST.—Messrs. W. W. & T. M. Hall, No. 11 East 42d st, have just purchased the 4-sty brownstone house, No. 12 West 51st st, covering a plot 22x100.5 ft. The building will be renovated into an American basement dwelling, installing an electric elevator, and complete equipment. Welch, Smith & Provot, 11 East 42d st, have been architects in previous operations.

N. Serracino Plans Fireproof Residence.

MONTCLAIR, N. J.—Architect N. Serracino, 1123 Broadway, Manhattan, is preparing plans for a residence to be built in Montclair, N. J., for J. Gifuni, owner. The building will be fireproof throughout; outside walls will have stucco finish, decorated with graffito paintings, which is a special decoration greatly used in Italy during the Renaissance period in the fifteenth and sixteenth centuries.

Apartments, Flats and Tenements.

MANHATTAN.—The 5-sty tenement No. 52 East Broadway, will be improved by Harris N. Goodstein, 83 Canal st, from plans by Max Muller, 115 Nassau st.

MANHATTAN.—Daniel Cunningham, 101 West 42d st, will make extensive alterations to the 5-sty tenement No. 141 East 13th st. O. Reissmann, 30 1st st, is making the plans.

LONG ISLAND CITY, L. I.—Steinway av, east side, 97 ft. south Flushing av, will be improved by Anton Kazek, 682 7th av, with one 3-sty brick tenement, 25x64 ft., to cost \$6,600.

MANHATTAN.—Wm. A. Roos, 32 Marble Hill av, will erect a 5-sty flat building, 30.6x87 ft., in the north side of 225th st, 56 ft. west of Broadway, to cost \$26,000. J. Brandt, 1511 3d av, is preparing the plans.

WOODHAVEN, L. I.—Wyckoff Park Co., 44 Court st, Brooklyn, will build on Jamaica av, southeast corner Suydam st, Woodhaven, from plans by B. Driesler, one 3-sty brick store and tenement, to cost \$10,000.

RIDGEWOOD, L. I.—Spaeth & Saenger, 927 Broadway, Brooklyn, will build in Grove st, southwest corner Fairview av, from plans by L. Berger & Co., one 3-sty brick store and tenement, 25x69 ft., to cost \$8,000.

BRONX.—Albert Rothermel, 411 East 144th st, is preparing plans for a 4-sty corner apartment house, 25x100 ft., for Messrs. Mulhare & Donohue, builders, to be erected at the southwest corner of Mapes av and 181st st, Bronx.

Churches.

TRENTON, N. J.—A new church to be known as the Greenwood Ave. Episcopal Church has recently been formed and it is stated that the erection of a new edifice is being considered.

MANHATTAN.—N. Serracino, of 1123 Broadway, Manhattan, has been commissioned by the rector of the Church of the Resurrection to prepare plans and specifications for a church, school and rectory to be erected in West 151st st, between 7th av and McComb's pl.

Dwellings.

FLUSHING, L. I.—On Queens av, south side, 201 ft. east Parsons av, Flushing, Edw. A. McDougall, 92 Bowne av, will build one 2½-sty frame dwelling, 36x34, to cost \$8,000.

MASPETH, L. I.—Fiske av, east side, 125 ft. south Clinton av, Maspeth, will be improved by Adam Kropp, Lexington av, Maspeth, with one 2-sty brick dwelling, to cost \$4,000.

MALBA, L. I.—Eighteenth st, north side, 80 ft. east Boulevard, Malba, will be improved by Wm. Hoeler, East 47th st, New York City, with one 2-sty brick dwelling; cost, \$6,000.

WOODHAVEN, L. I.—The Parkway Const. Co., of Woodhaven, will build on Jamaica av, northeast corner Leggett av, Woodhaven, three 3-sty dwellings, with stores, 21x55 ft., to cost \$21,000.

RIDGEWOOD, L. I.—Green av, north side, 100 ft. west Onderdonk av, Ridgewood, will be improved by Nick Schmitz, 1671 Greene av, Ridgewood, with one 2-sty brick dwelling, to cost \$4,000.

RICHMOND HILL, L. I.—Elm st, southeast corner Orchard av, Richmond Hill, will be improved by L. H. Moss, Elm and Orchard avs, Richmond Hill, with one 2-sty dwelling, to cost \$11,000.

EVERGREEN, L. I.—Katherine Doenecke, 216 Washington av, Brooklyn, will erect in Foxhall st, south side, 22 ft. west Forest av, Evergreen, seven 2-sty dwellings, 20x55 ft., to cost a total of \$28,000.

GLENDALE, L. I.—On Woodhaven av, east side, 25 ft. north Nichols av, J. Pfeiffer, Jr., 183 Norman st, Glendale, will erect from plans by L. Berger & Co. one 2-sty brick dwelling, 25x76 ft., to cost \$5,000.

DOUGLAS MANOR, L. I.—At Grosvenor st and Centre drive, Douglas Manor, will be erected one 2½-sty brick dwelling, 40x40 ft., to cost \$8,000. F. Prindel, 36 East 21st st, New York, owner; architect, E. S. Child.

RIDGEWOOD, L. I.—Plans have been drawn by See & Bryson for one 2-sty brick dwelling, 25x60 ft., to be situated in Foxhall st, west side, 160 ft. west Anthon av, for David Keney, Forest av, Ridgewood.

GLENDALE, L. I.—Indiana pl, north side, 100 ft. east Washington av, Glendale, will be improved by Wm. Albrecht, Indiana pl, with two frame dwellings, to cost \$6,000. L. Berger & Co., Brooklyn, architects.

BROOKLYN.—Jacob Sommer, 545 Macon st, Brooklyn, President of the Macon Construction Co., has purchased 16 lots at the northeast and southeast corners of Av C and West st, Brooklyn, and will erect 18 3-family houses.

ARVERNE, L. I.—John H. Hanley Realty Co. has purchased a plot of 80 lots with a club house on the bay front at Arverne, L. I., for the Somerville Realty Co. The property will be improved, new houses built and the club house opened for the season of 1909.

NEWARK, N. J.—About \$10,000 is to be expended by City Counsel James R. Nugent in the erection of a 3-sty brick private residence at 614 High st. Clinton Mackenzie, 82 Beaver st, Manhattan, has made the plans. The Byrnes Building Company, of Elizabeth, are the builders.

NEW HAVEN, CONN.—Architects Brown & Von Beren will make some changes in plans for the handsome residence to be erected on Whitney av for Emanuel H. Thalheimer and a few contractors will submit new bids. It is expected that the contracts will be let in about a week.

Factories and Warehouses.

PULASKI, N. Y.—The Ontario Iron Works will erect a 2-sty brick addition, 54x150 ft.

NEWBURGH, N. Y.—Joseph Chadwick's Sons, Lake and Dixon sts, are having plans prepared for an addition to their bleachery building.

LANCASTER, N. Y.—The American Malleable Co. will build a 1-sty brick addition, 100x200 ft., to its foundry. John R. Robinson, Mgr., will have charge of the work.

NIAGARA FALLS, N. Y.—The Carter-Crume Co. has prepared plans and will receive bids this month for an addition to its factory on Highland av, to cost approximately \$40,000.

NEWARK, N. J.—Hooper & Co., 118 Market st, Newark, have completed plans for a 3-sty brick warehouse which Joseph Oswald will erect at 213 Halsey st. Building will be 25x83 ft., and cost \$12,000. The owner will be the builder.

BRISTOL, CONN.—Work has begun on the new factory of the American Taximeter Co., to be known as the Bristol Engineering Co., at Bristol. The factory is to be one of the largest in this section, plans calling for a floor space of 18,000 sq. ft.

NEWARK, N. J.—The Magnesia Co. of America has filed plans for a large storage and finishing building which it is to erect at its plant on Riverside av at the foot of Grafton av, Newark. Frame construction, two stories high, 50x200 ft. The cost is given at \$10,000.

NORTH TONAWANDA, N. Y.—The plant of the American District Steam Co., recently destroyed by fire, is to be

rebuilt. Charles R. Bishop, Secy. and Gen. Mgr. of the company, Lockport, N. Y., is having plans prepared for two brick and steel buildings to replace the buildings burned.

BRIDGEPORT, CONN.—George C. Batcheller & Co., manufacturers of corsets, have awarded the contract for a substantial enlargement of their plant. The old factory building of the Bronze & Copper Co. have been razed and the site will be utilized for the erection of a 4-sty brick factory, 54x203 ft.

JERSEY CITY, N. J.—The Turner Construction Co., 11 Broadway, Manhattan, has awarded the heating contract to Baker, Smith & Co., 83 West Houston st, New York, and the plumbing to W. W. Farrier Co., of 44 Montgomery st, required for the construction of a 6-sty reinforced concrete factory and warehouse, 38x100, at 39 and 41 Essex st, for R. U. Delapenha Co., of 17 Jay st, New York. The new building will cost \$40,000.

Halls and Clubs.

BAYONNE, N. J.—The Young Men's Christian Association will shortly begin the erection of a new club house to take the place of the old club quarters recently destroyed in West 10th st.

SPRINGFIELD, MASS.—Hoggson Bros., 81 Church st, New Haven, Conn., have secured the contract to erect the 3-sty Y. W. C. A. building in Howard st. Estimated cost, \$100,000. E. C. & G. C. Gardner, 33 Lyman st, Springfield, are architects.

MERIDEN, CONN.—Meriden Lodge of Elks has filed incorporation papers with the Secretary of State as a preliminary to putting up a clubhouse to cost \$25,000. The lodge has an option on the Henry B. Beach property which extends from Crown to South Colony sts.

BATAVIA, N. Y.—The Masonic Building Association, W. G. Pollard, Ch. Bldg. Com., will erect a 3-sty and basement temple, lodge, store and office building, 73x68 ft., at a cost of \$40,000. Robert North, 1326 Prudential Building, Buffalo, N. Y., is architect, and will receive bids at once.

Hospitals and Asylums.

TROY.—According to reports, \$25,000 has been raised toward the erection of a new hospital for treatment of tuberculosis at this point.

FORT SLOCUM, N. Y.—An isolation hospital is to be constructed at Fort Slocum, N. Y. The plans and specifications have been approved and the constructing quartermaster of the post directed to call for bids immediately.

TARRYTOWN, N. Y.—Tarrytown Hospital has just received a check of \$25,000 from John D. Rockefeller toward building fund for a new hospital, on condition that \$50,000 is raised by public subscription. R. A. Paterson is treasurer.

BROOKLYN, N. Y.—Board of managers of the Orphan Asylum, Atlantic and Kingston avs, Brooklyn, are endeavoring to raise funds to the amount of \$15,000 to be used for the erection of a new detached hospital building. Address the board for further information.

Hotels.

ITHACA, N. Y.—A. H. Platts, of Ithaca, and Walter H. Bradley, of Meriden, Conn., who are proprietors of the Ithaca Hotel, have decided to build an annex to the hotel. Architect W. H. Miller will make the plans.

Office and Loft Buildings.

NEWARK, N. J.—A large 3-sty-and-basement brick loft building is soon to be built at 44 and 48 Spring st, Newark, from plans drawn by William E. Lehman, at a cost of about \$18,000. L. Steiger &

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Co. will be the owners; 50x125 ft., mill construction, equipped with power.

NEWARK, N. J.—Plans are out for the erection of a 7-sty commercial building at 52 Academy st, Newark, costing \$50,000. Work will probably start on Sept. 15 and the structure will be built and owned by Walter A. Isetts, a well-known Newark contractor. In construction the new building will be erected of brick, with a brownstone front facing, and the first floor will be devoted to store purposes. The upper floors will be used for lofts.

Public Works.

FORT HUNTER, N. Y.—The Highway Commissioners will build a bridge over the Schoharie River. Estimated cost, \$25,000. Bids will soon be asked.

BATH, N. Y.—The Citizens Electric Service Co. has been granted permission by the Public Service Commission at Albany to construct an electric plant.

SENECA FALLS, N. Y.—Bids are asked until 4 p. m., Aug. 27, by John M. Guion, Clk. Municipal Bd., for the construction of a septic tank and appurtenances.

NEW BRUNSWICK, N. J.—Bids are asked until Aug. 31, by John S. Kemp, Street Comr., for laying about 2,000 ft. of 15-in. sewer pipe, and 3,000 ft. of 10-in. sewer pipe.

JAMESBURG, N. J.—Bids are asked until 10 a. m., Sept. 2, by the Board of Trustees of the State Home for Boys for constructing a macadam road in the grounds of the home. Peter Forman is Engr., Englishtown, N. J.

ITHACA, N. Y.—Plans are being prepared in the office of Frederick K. Skene, State Engr., Capitol Building, Albany, for the construction of three steel bridges here at the following streets: Buffalo st, State st and Seneca st. Bids will soon be asked by the State Commissioner of Public Works. The appropriation for the work is \$125,000.

Schools and Colleges.

TROY, N. Y.—Architects of Troy will submit plans for a new public school building, plans to be in next week.

FLEMINGTON, N. J.—The citizens have voted in favor of issuing \$45,000 bonds to erect an addition to the primary school.

NEW BRUNSWICK, N. J.—The Board of Education has secured a site on Bartlett st for the erection of a school, to cost about \$65,000.

ATLANTIC CITY, N. J.—Plans have been adopted for a grammar school to be erected on Ohio av, adjoining the high school, the cost to be \$15,000.

JERSEY CITY, N. J.—The Board of Finance has authorized a bond issue of \$900,000 for the erection of two public schools and the repairing of others.

TRENTON, N. J.—A parochial school is soon to be erected in Bayard st at a cost of \$24,000. The building will be paid for by St. Joachim's Parish and Contractor Daniel Dugan will do the work.

LE ROY, N. Y.—Sites are now being discussed for the proposed high school here. It is planned to purchase property and erect a building to cost \$75,000. Address the School Board for further information.

FLEMINGTON, N. J.—The Board of Education of Raritan township recently held a special election, when it was voted to erect a new public school building to cost about \$45,000. Address School Board for further information.

CENTRAL VALLEY, N. Y.—Election will soon be called for the purpose of voting on \$30,000 bonds for the erection of a new school here. J. J. Howell or W. H. Gildersleeve can be addressed for further information regarding the matter.

CORNING, N. Y.—The Board of Education of District No. 13, comprising the North Side High School District, has approved of the plans of Architect Otis Dockstader, of Elmira, for the new High School building which is to be erected here.

ROCHELLE PARK, N. J.—Work of building the new \$68,000 high school at Rochelle Park was begun Saturday last. E. L. Lillibridge is president of the Board of Education. The building will be of reinforced concrete and one of the largest and best equipped in that section. It will be ready for occupancy next June.

HUNTINGTON, L. I.—The contract was signed the past week for materials for the Huntington High School building. W. R. Bingham, of Coldspring Harbor, who has the contract to construct the building, has contracted for 115,000 red pressed brick for face use, and 100,000 hollow brick for the walls. A. W. Tuthill, a Suffolk County man, handles the contract.

Theatres.

AVALON, N. J.—The question of spending \$50,000 in the erection of a new casino at this place is being considered.

RENSSELAER, N. Y.—Plans are being drawn in competition by several Albany architects for a large amusement auditorium to be erected in Rensselaer by J. J. Sullivan and others.

Bids Opened.

The McHarg-Barton Co., at \$13,700, submitted the lowest bid for furnishing labor and materials and erecting boundary and partition fences for the elephant house yards in the New York zoological park, in Bronx Park.

At this writing bids are being tabulated by the Park Board, which were opened on Thursday, for the construction of the approaches to the new Public Library in 5th av. The amounts of the bids range from \$525,000 to \$780,000. The architects are Carrere & Hastings, 225 5th av.

New York City opened bids on Wednesday for furnishing and laying 1,000 tons of steel pipe, and on August 26 will open bids for furnishing 1,800 tons of cast pipe. The Warren Foundry & Machine Co., 111 Broadway, secured the contract for pipe awarded by Meriden, Conn., last week. R. D. Wood & Co. were successful in bidding for 350 tons desired by the city of Yonkers, N. Y.

Bids were opened by the Board of Education Wednesday, Aug. 19. No. 1. For fireprotection at P. S. 16 and P. S. 35, Brooklyn. Joseph Ryan, P. S. 16, \$11,500, P. S. 35, \$5,027, was low bidder. Other bidders were: William Werner, Clarke & Stowe. No. 2. For fire protection at P. S. 73, Brooklyn. Joseph Ryan, \$21,750, was low bidder. Other bidders were: Clarke & Stowe, William Werner, Thomas McKeown.

Contracts Awarded.

MANHATTAN.—Louis Muller, 500 5th av, has the contract for alterations to the 4-sty store and hotel, No. 1544 Broadway, owned by S. E. Appleby, 55 Liberty st.

MANHATTAN.—Lawrence Tivy, 13 Platt st, has received the contract for the steam heating in the 10-sty building Nos. 11-13 Cliff st. William Young Co., general contractors.

PRINCETON, N. J.—The W. B. Foster Electrical Co., Manhattan, has received the contract for the electrical work for the biology and geology building in course of erection at Princeton.

The Otis Elevator Co., 17 Battery pl, Manhattan, has received the contract to equip the public building at Huntington, West Virginia, with passenger elevators. To be installed by Nov. 21 this year.

MANHATTAN.—Chas. T. Wills, 156 5th av, has obtained the contract for the construction of a brick and concrete storage vault for the Presbyterian Hospital, Park av, northwest corner 71st st, from plans by James B. Baker, 156 5th av.

MANHATTAN.—The Jordan Construction Co., 449 West 28th st, has received the contract for improvements to No. 6 Stone st, from plans by Thomas H. Styles. The Misses K. A. and E. Murphy, 226 Clinton st, Brooklyn, are the owners.

BROOKLYN.—W. A. L'Hommedieu & Co., 1 Madison av, Manhattan, has received the contract from plans by J. M. Murphy, architect, 302 Broadway, for constructing a 6-sty brick building for the Mason Stores, at Myrtle av and Bridge st, Brooklyn.

MANHATTAN.—Contract has been awarded to Baker, Smith & Co., 83 West Houston st, for steam heating for the new 16-sty office building which the Sinclair Realty Co., 31 Nassau st, will erect at the southeast corner of Broadway and 8th st, to cost \$40,000. Wm. L. Crow Const. Co., 289 4th av, is general contractor.

The Dillman Fireproof Construction Co., 225 5th av, has taken the contract for all the reinforced concrete work to be installed in the car barns of the New York City R. R. Co., in course of erection at 99th st and Lexington av, Murphy Bros., general contractors. The Dillman Co. is also progressing rapidly in completing the concrete work in the car barns at 147th st and Lenox av, and will probably begin work on the 9th st barns early next month.

Estimates Receivable.

By the President of the Borough of Brooklyn, Wednesday, Sept. 2: No. 1, for constructing sewer in Prospect pl, from Hopkinson av to Eastern Parkway.

Bids will be received by the Commissioner of Docks, Thursday, Aug. 27: No. 1. For repairing asphalt pavement on North and East Rivers, together with all work incidental thereto. No. 2. For furnishing and delivering machine and blacksmith shop supplies for use in the Borough of Brooklyn.

By the President of the Borough of Queens, Tuesday, Aug. 25: No. 1. For regulating, grading, curbing, flagging, setting and resetting bridgestones and repaving with granite block pavement on a sand foundation the roadway of Jackson av and intersecting streets, from Skillman av to Rapelye av; Hunter av, from Jane st to Harris av; Halsey st, from Fulton av to Franklin st.

By the Park Board, Thursday, Aug. 27: No. 1. For furnishing and delivering timber (No. 2, 1908) for parks, Borough of the Bronx. No. 2. For materials necessary to underpin a masonry retaining wall at Highland Boulevard and New Jersey av, Brooklyn, together with all the work incidental thereto. No. 3. For constructing cement curb and sidewalks around the park at Westerleigh, in the Borough of Richmond.

By the President of the Borough of the Bronx, Tuesday, Aug. 25: No. 1, for furnishing and delivering broken trap rock stone and screenings. No. 2, for regulating, grading, setting curbstones, flagging the sidewalks, laying crosswalks, building approaches and placing fences in Belmont st, from Weeks av to Eden av; 138th st to East 148th st; East 136th st, from Lincoln av to Alexander av, and setting curb where necessary, together with all work incidental thereto.

Government Work.

Sealed proposals will be received Aug. 24 for tile work in cadet mess hall and cadet hospital at West Point, N. Y. Address Quartermaster, West Point, N. Y.

U. S. Engineer Office, Wheeling, W. Va.—Sealed proposals for building a power house at dam No. 13, Ohio River, will be received Aug. 31. F. W. Altstaetter, Captain, Engineers.

U. S. Engineer Office Boston, Mass.—Sealed proposals for building riprap sea wall, Fort Heath, Winthrop, Mass., will be received Aug. 26. Edw. Burr, Lieutenant Colonel, Engineers.

Boston, Mass.—Sealed proposals for furnishing and delivering electrical machinery, cable, rails, trolley and track material, etc., will be received Aug. 31. Edw. Burr, Lieut. Col., Engrs.

Washington, D. C.—Sealed proposals will be received the 16th day of September for the construction (complete) of the extension of the U. S. Post Office at Youngstown, O. James Knox Taylor, Supervising Architect.

Washington, D. C.—Sealed proposals will be received Sept. 17 for an extension of the bond vault in the U. S. Treasurer's office in the U. S. Treasury Department Building, Washington, D. C. James Knox Taylor, Supervising Architect.

Proposals for elevator will be received at the bureau of yards and docks, Navy Department, Washington, D. C., Sept. 5, for furnishing and installing an electric elevator at the navy yard, Bremerton, Wash. R. C. Holliday, Chief of Bureau.

Washington, D. C.—Sealed proposals will be received the 18th day of September for the installation of a vacuum cleaning system for the U. S. Post Office and Court House building at Rochester, N. Y. James Knox Taylor, Supervising Architect.

U. S. Army, 263 Summer St, Boston, Mass.—Sealed proposals will be received Aug. 25 for the construction of a crematory building and the construction and erection of a garbage crematory at Fort Andrews, Boston Harbor, Mass. Address Captain Ira L. Fredendall, Constructing Quartermaster, Boston, Mass.

An advertisement will soon be issued from the Isthmian Canal Commission calling for bids for furnishing 75,000 red brick, 30,000 fire brick, 2 plate riveted frogs. For the dock at La Boca, bids will be asked for furnishing 102 pieces of creosoted hard pine, 14 inches by 14 inches by 24 inches, to be used for bridge and trestle.

Office of the Superintendent of Prisons and Prisoners, Washington, D. C.—Sealed proposals will be received Sept. 2 for furnishing and delivering at the United States Penitentiary, Atlanta, Ga., 200 gallons asbestos, or similar, fire and waterproof paint. R. V. LaDow, Superintendent of Prisons and Prisoners, Department of Justice, Washington, D. C.

Bids were opened at the office of the superintendent of the U. S. Capitol Building and Grounds, in response to circular letter, for furnishing two electric passenger elevators and accessories for the House wing of the U. S. Capitol Building as follows: Thomas W. Power Elevator Co., Washington, D. C., \$9,986, low bid. Other bidders were: Marine Engine & Machine Co., 230 West 13th st, Manhattan, and the Otis Elevator Co.

Brief and Personal.

Cooler weather helps a lot.

The city feels a little better in a business way since the hot wave passed.

Allen D. Woods, naval architect, has opened an office in the Hudson Terminal Building, 50 Church st.

Mr. G. H. Cheesman, of the Otis Elevator Co., is back at his desk after a vacation of several weeks.

Watch those vacancies in uptown apartment houses and tenements disappear as October draws nearer.

Mr. C. R. Cullingworth, formerly with the Atlas Portland Cement Co., is now a

representative of the Edison Portland Cement Co.

Mr. Wm. J. McCormick has closed his desk in the office of John W. Rapp, 1 Madison av, to enjoy a vacation of several weeks.

The Chester B. Albree Iron Works Co., Allegheny, Pa., has taken a contract for fabricating about 12,000 ft. of railing for the Blackwell's Island Bridge.

Mr. John F. Steeves, of Church E. Gates & Co., Harlem, left with a party of Buffalo friends for the Turtle lakes in Canada, where several weeks of fishing and other sport will be spent.

Henry Killam Murphy and Richard Henry Dana, Jr., architects, announce that they have entered into partnership and will continue the practice of architecture at 103 Park av. Telephone 2640-38.

The J. B. & J. M. Cornell Co., 11th av and 26th st, has the iron work up to the fourth story tier of beams for the 11-story office and loft building at Nos 99-101 5th av, for the One Hundred and One Fifth Avenue Building Co., to cost \$300,000. The steel contract calls for 500 tons. Mulliken & Moeller, 103 Park av, are the architects.

J. W. Yohe, of Canton Steel Ceiling Co., 525 West 23d st, has returned from a vacation, spent at Canton, Ohio. During his visit at Canton he gathered some information regarding prices, etc., that will be of interest to the building trade, and is now ready to take up any business in the line, both with his old as well as new customers.

Highly mysterious—the New Haven Railroad's plans. But if the great corporation should build a subway down Lexington av to the Battery, and north to a connection with the Portchester road, which President Mellen says will surely be constructed—there would be great doings for house builders between 33d st and the Connecticut line.

Mr. Eli Benedict, architect, will conduct the class in architectural drawing in the night school at the 23d st Y. M. C. A. during the coming season (Oct. 1, 1908, to about June 1, 1909,) as heretofore. A class in plan, reading and estimating will also be formed. Particulars as to either of these courses, terms, etc., may be had on application by mail or in person to the office of the Educational Director of the 23d Street Y. M. C. A., No. 215 West 23d st, New York City.

Centrifugal Pumps.

Within recent years the centrifugal pump has been encroaching more and more on the field of the reciprocating type.

The introduction of the multiple stage principle in centrifugal pump construction has made it possible to build these pumps for heads up to one thousand feet and over, and to-day there are hundreds of these pumps in use in water works and other high duty pumping stations.

The Erie Pump & Engine Co., of Erie, Pa., builds centrifugal pumps for all work to which plunger or reciprocating pumps are adapted; as in house service, refineries, breweries, ice plants, cofferdam work, draining flooded excavations and cellars, general contractors work, supplying condenser systems, in paper mills, water works and suction dredges.

The latest catalogue from the Erie P. & E. Co. contains tables of specifications and prices of the various kinds of pumps, directions for setting, a table of statistics of the friction of water passing through pipes, tables of the various speeds required for different heights and also the horsepower recommended per foot of lift.

In this connection it should be stated that the "height" is measured vertically from the surface of the water at the suc-

tion end to the point of discharge of the liquid, and includes the height of "suction" and discharge. It is a well known fact, that twenty-five feet is the practical limit for suction lift, and so far as the working of the Erie pump is concerned, it is immaterial whether the suction is long or short within the above limit. As the suction pipe must be air tight it is customary to keep it as short and as free from joints as possible.

A pump is either right or left handed according to whether the discharge is on the right or left side, when looking at the pump from the suction end. All pumps are right handed unless otherwise ordered. The pumps will operate only when run in the proper direction, and the rule for direction is as follows: When facing the pump from the suction side, the pulley should rotate in a direction opposite to that of the hands of a clock when pump is right handed, and conversely for a left handed pump.

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- 4th av, No 386, partitions, windows, stairs to 4-sty hotel; cost, \$1,500; T Kick, 142 W 92d st; ar'ts, J Kastner & Dell, 1133 Broadway.—1684.
- 5th av, No 677, alter extensions, to 5-sty brk and stone residence; cost, \$2,000; Cornelius Vanderbilt, 677 5th av; ar'ts, Delano & Aldrich, 4 E 39th st.—1714.
- 5th av, s e cor 55th st, partitions, marble floors, plastering, to —sty brk and stone hotel; cost, \$10,000; R M Haan, premises, agent for ow'r; ar't & b'r, James McWalters, 2434 Broadway.—1717.
- 6th av, No 491½, erect sign to 3-sty brk and stone store; cost, \$30; A Silkowitz, on premises; ar't, Walter A Faxon, 53 E 124th st.—1683.
- 7th av, No 303, windows, toilets, to 5-sty brk and stone store and tenement; cost, \$500; Richard I Donovan, 308 W 21st st; ar't, Thomas S Godwin, 302 14th st, Brooklyn.—1705.
- 11th av, No 562, partitions, windows, skylights, to 4-sty brk and stone store and tenement; cost, \$350; Mrs Margaret Knight, 562 11th st; ar't, Wm G Clark, 438 W 40th st.—1709.

BOROUGH OF THE BRONX.

- 134th st, s e cor Willis av, new show windows, new columns, new girders to 6-sty brk hotel; cost, \$200; W G Pigueron, 32 Union sq; ar't, R E Moss, 12 Elm st.—431.
- 177th st, n w cor Cedar av, new beams, columns, bath rooms, new partitions, &c, to 2-sty brk store and dwelling; cost, \$4,000; Patrick J Murphy, on premises; ar't, Walter H C Hornum, 360 W 125th st.—436.
- 231st st, n s, 170 e Barnes av, 1-sty frame extension, 15x11, to 1½-sty frame dwelling; cost, \$150; Jos Wadick, on premises; ar't, J Davidson, 238 E 227th st.—443.
- Brook av, w s, 206.0½ s 165th st, build 5-stys on 1sty brk stable, 56x94; cost, \$40,000; Sheffield Farms, Slawson Decker Co, 524 W 57th st; ar't, Frank A Rooke, 489 5th av.—445.
- City Island av, e s, 125 s Cross st, move two 3-sty frame stores and dwellings; total cost, \$1,100; Maria L Seifert, 678 King av, C I; ar't, K F J Seifert, 288 E 157th st.—438.
- City Island av, No 557, 2-sty frame extension, 47.2x8.9 and 17, new partitions to 1 and 2-sty frame hotel and pavilion; cost, \$2,500; John P Kelly, 558 C I av; ar't, Walter H C Hornum, 360 W 125th st.—439.
- City Island av, w s, 30.8 n Canal st, new front, new show windows to 2-sty frame store and hall; cost, \$800; Ophelia Vail, 11 Orchard st; ar't, Chas S Clark, 445 Tremont av.—432.
- Kingsbridge road, w s, 75 s Valentine av, new partitions, to 2-sty frame dwelling; cost, \$500; Samuel Hyman, 955 Park av; ar't, Harry Zlot, 1400 5th av.—442.
- Morris av, e s, 121.2 n 139th st, 1-sty frame extension, 25.6x15, to 1-sty frame store; cost, \$500; J Reeber & Sons, on premises; ar't, M J Garvin, 3307 3d av.—441.
- Southern Boulevard, w s, 127 n Freeman st, new exits, seats and new partitions, &c, to 1-sty brk amusement hall; cost, \$700; Henry Morgenthau, 165 Broadway; ar't, Lorenz F J Weiher, 103 E 125th st.—435.
- Willis av, No 371, new entrance, new ceiling and seats, &c, to 2-sty brk amusement hall; cost, \$1,000; Mrs Pauline Levy, 2714 3d av; ar't, Jos P Harris, on premises.—437.
- White Plains av, n w cor Olin av, move 3-sty brk and frame store and dwelling; cost, \$2,500; Mrs Ida B McTurck, Williamsbridge; ar't, Chester C Zarian, 176 Archer av, Mt Vernon.—444.
- 3d av, No 2587, new store front, to 1-sty frame store; cost, \$500; J Reeber & Sons, 139th st, and Morris av; ar't, M J Garvin, 3307 3d av.—440.
- Baychester R R yard, 220 n Main st, move 1-sty frame station; cost, \$200; N Y, N H & H R R Co, New Rochelle; ar't, P B Spencer, New Rochelle.—434.
- N Y, N H & H R R tracks, 180 w White Plains av, move 2-sty frame signal tower; cost, \$200; N Y, N H & H R R Co, New Rochelle; ar't, P B Spencer, New Rochelle.—433.

THE PROFIT IN CEMENT.

IT IS commonly believed that the profits in the Portland cement industry are very large, and this belief is energetically fostered by many so-called "cement engineers" and "cement experts," as well as by some promoters. The actual fact seems to be, on the contrary, that there is not now, and has not been for a number of years, a large margin of profit for most of the plants now engaged in Portland cement manufacture.

According to some authorities, the cost of manufacture in the Lehigh district (which embraces also Warren County, N. J.), in a 2,000-barrel-a-day plant, ranges from 77¾ cents to 68 cents per barrel, exclusive of the package, according to the size and number of kilns, while in the smaller plants the cost is somewhat higher. These published figures are somewhat lower than similar data obtained directly from cement manufacturers of New Jersey and Pennsylvania, and on file in the office of the State Geologist of New Jersey. These show costs between 80 and 90 cents per barrel when all fixed charges, such as interest on the plant, depreciation, etc., has been allowed for, but they do not include the cost of the package in which the cement is shipped.

Prof. Henry B. Kummel, State Geologist of New Jersey, in his annual report for 1907, takes occasion to express regret that the magnitude and success of the Portland cement industry have been seized upon by irresponsible parties as affording opportunity to exploit cement manufacturing enterprises impossible of achievement which, he says, has a tendency to retard the wholesome and legitimate development of the industry:

While there is no disputing the extraordinary growth of the Portland cement business during the past few years, and while it is to be presumed that it has been conducted on the whole at a profit, nevertheless prospective investors should bear in mind some facts which are well recognized by all authorities in this industry.

In the first place, in spite of the enormous expansion in the use of Portland cement and the consumption in this country of 48,154,802 barrels in 1906, it is a fact well known to all cement men that the total capacity of the present Portland cement plants is in excess of the present output. This being the case, there is small chance of a new company in the Lehigh region reaching the dividend-paying stage, except after a long and hard struggle against

the competition of existing plants, the product of which is well known in the market.

Furthermore, the initial investment required to start a Portland cement plant on a basis to compete profitably with established concerns is large. Apart from the cost of the land, a 2,000-barrel-per-day plant would cost not less than \$500,000 at the lowest estimate, and some reliable authorities set the figure at \$700,000 or more. But the amount of capital required to start properly a cement proposition is much more than the cost of land and plant. A large reserve working capital is necessary for several reasons. No new cement plant can be expected to produce normal cement at normal cost until after a profitless and expensive period of experimentation. Even after a plant is working normally, ready sales of its product cannot be expected, owing to the well-founded prejudice in favor of old-established brands whose worth has been proved by long experience. Against this prejudice headway can be made but slowly, and then only by superior quality or lower prices until the reliability of the new product is well established. Moreover, many of the running expenses of the plant must be paid in cash, while cement is sold on comparatively long time. Including the cost of land, the capital needed to start successfully a 2,000-barrel plant will probably be not far from \$1,000,000.

The growth of the Portland cement industry has been exceedingly rapid in the Lehigh region, the production increasing from 201,000 bbls. in 1890 to 22,784,613 in 1907, and the number of mills from five to twenty. The Hudson River valley is also a large producer of cement. Two new Portland works are being erected in the vicinity of Catskill.

MR. HARRIMAN AND ORANGE COUNTY.

Mr. Harriman is close to nature's heart in a cabin deep in the forests of Oregon. From the heart of Wall street to the heart of nature is a wide transition. 'Tis said Mr. Harriman is putting himself as far as possible out of touch with affairs in the East in order to give his whole time to the incubation of gigantic railroad plans. Perfect peace and quietness are the greatest luxuries in the lives of men of intense activities. They will go anywhere and pay the highest price for them. But Mr. Harriman will not be completely isolated. See those slender electric wires trailing after him?

Since he has lived at Arden Mr. Harriman has become thoroughly identified with Orange County, much more so than has Mr. Morgan, who has a country-seat at Highland Falls. For one thing, he has built a number of good roads through the county (under contract with the State), which are having the effect of popularizing the Ramapo and Short Cut valleys with New York families of good position. Consequently, there is considerable building through that section, and land values are rising.

Then, Mr. Harriman likes a good Hambletonian—trotter or pacer. Orange County is the place where good horses originated, and the American trotter is about as satisfactory for a gentleman's use as any horse the world knows of. One can drive a trotting or pacing pair and still be a gentleman—in fact, more so. Mr. Harriman has many personal friends in the county, and is much with them on his days off. He likes them because they ask no favors and want no tips on the stock market.

It is being said that Orange County will in all probability receive a large overflow from New York during the next decade. Not a summer boarding-house growth, but the spread of the Tuxedo idea of country life and house construction through all that region. It is just beyond the usual commuting distances, which favors a certain exclusiveness that is attractive to the children of wealth.

THE COMBINATION OF LUMBERMEN.

Press dispatches from St. Louis report the adoption by some of the leading lumbermen of the South and Middle West of plans for the formation of a huge lumber combination with \$300,000,000 capital. The chief purpose of this organization will be to regulate and control the cutting of lumber so as to avoid irregularities in supply, and to prevent the wasting of the country's timber resources.

F. E. Weyerhauser, of St. Paul, son of the multi-millionaire lumberman, was appointed chairman of the permanent organization committee which is to work out the details of organization, the financing and the drafting of a charter. The organization committee is expected to raise \$25,000,000 from the proprietary interests to consummate the merger. A prominent lumberman is quoted as follows on the project:

"My understanding is that the plan was taken up with the tacit approval and co-operation of the United States Bureau of Forestry and the Commissioner of Corporations. The idea is to save the forests from useless destruction. At present a large part of the timber lands are held on leases. The holders, of course, clear off everything they can during the time of their leases, regardless of the future. It is proposed by the merger of large interests to raise enough capital to purchase the lands in fee simple and, by an agreement to leave a certain number of trees of a certain size on every acre cut to perpetuate the forests.

"The Government forestry experts encourage the scheme, as it is directly in line with the policy of the Administration. Most of the lands affected are located in Louisiana, Alabama, Mississippi and Arkansas. The members of the combination are to pay a certain amount—\$1 per 100 feet of the annual product, I believe—toward protection from forest fires, etc."

in for its share of the property reported sold, and taken all in all, the sales were fairly well distributed, everything taken into account.

Mr. Irving Ruland, of Ruland & Whiting, real estate brokers of No. 5 Beekman st, when asked by a representative of the Record and Guide for an expression of opinion regarding the present condition of the market said: "At present the market is quiet. Yes, that is the word, quiet. The summer months always mean a dull period in this part of town. I think that there will be considerable business consummated this fall, but I am afraid that nothing of great account will transpire until next spring. The renting of old buildings has been particularly good. The only vacancies of considerable number are in the new office buildings. It will take some little time before that situation will straighten itself out, but in the course of time everything will right itself. I for one am a firm believer in Manhattan realty, especially downtown property."

The Albany Savings Bank loaned to Church & Warren, a corporation, \$190,000 on the property No. 32 Warren st, located on the northeast corner of Church st. The size of the plot is 24.8x175.10, and goes to the south side of Chambers st. This mortgage runs for five years and earns interest at five per cent. The United States Trust Co., of New York, as executor of John H. Spellman, borrowed from the same institution \$100,000 for a like period at the same rate of interest on the property No. 109 to 113 Park row, on the southeast corner of Duane st, 70.10x irregular.

Mr. Payne, of A. W. McLaughlin & Co., mortgage brokers, No. 128 Broadway, in speaking of the present condition of the money market, said: "Conditions have certainly changed since last fall. At that time there were plenty of good applications, and a scarcity of money, while now that commodity is exceedingly easy and applications for good loans hard to get. I look for an active fall in this branch of the real estate business. There may be a temporary tightening for a few weeks, due somewhat to the large amount of money leaving town, for one reason or another, but in the course of a comparatively short time this money will find its way back to the city."

THE AUCTION MARKET

THE market showed no improvement whatever over that of the last few months. The results are not any more encouraging than for some time past, and owners are holding back offering their realty as long as possible in the hope that conditions will better themselves. There were no voluntary sales advertised for the week, and the large majority of the parcels went either to the plaintiff or were adjourned to a future date, when it is hoped that there will be a better market.

There were only two parcels advertised for sale in the auction mart this week that attracted attention. The first one of these was the Hotel Gallatin, a 9-sty apartment hotel, located at Nos. 70 and 72 West 46th st, 75 feet east of 6th av, occupying a plot 45x100.5. The amount due on the judgment was \$233,966.65; taxes and other charges aggregating about \$324.10. This property was bid in by the plaintiff for \$235,000. This building is located in the heart of the apartment hotel district and is built to a depth of 95 feet. On the east is located the Holland, a 7-sty structure on a plot with a frontage of 33.4 feet and built to a depth of 93 feet. Across the street are several private dwellings, and the Patterson apartment, a 13-sty structure running through to 47th st. The other parcel of interest embraced Nos. 206, 208, 210 and 212 West 46th st. These are four 5-sty stone front dwellings which were advertised for sale separately. These properties were adjourned until August 27, when they will be offered at public sale.

There were 19 parcels advertised for the first four days of the week. Of this number only two found its way into outside hands, when P. H. Delehanty bought for \$24,700 No. 1000 Summit av, located on the northeast corner of 164th st, a 6-sty flat and store on a lot 25x100. The amount due was \$17,565.45; taxes and other charges aggregating \$198.59. The second one was No. 1338 Boone av, located 195.6 feet south of West Farms road, 25x100, a 2-sty dwelling. The plaintiff in the action bid \$6,800, but a syndicate was quickly formed and on a bid of \$25 more received the property.

Mr. Remsen Johnson, of the firm of Jere Johnson, Jr., Co., referring to the suburban auction market, said: "The sale of out-of-town property has not been as good this summer as in years past. There are, in my opinion, two reasons for this: (1) property owners desire too much money for their realty, and are not willing in most cases to offer their holdings absolutely, and (2) the demand is not as great as it was. Taking the first reason, we do not care to undertake sales that are not absolute, and as to the other reason it is simply a temporary condition, which will have straightened itself out by next spring at the latest. There is at present a demand for property centrally located, say for example good shore property, which is readily accessible, but the bidders must be made to realize that it is a sale, and that a reasonable amount must be left on mortgage, or they will quickly withdraw into their shells. The proverbial clam is not as quiet as a frightened bidder for real estate at auction. The auctioneer must absolutely have his confidence."

GROWTH IN THE BRONX.

By J. CLARENCE DAVIES.

Conditions in the Bronx have gradually improved since last spring. During January, February and March, following the panic, the money stringency was probably felt more severely in the Bronx than in any other section of the city, as the institutions effected were more largely in that section.



J. CLARENCE DAVIES.

This tied up a large amount of money usually used in real estate speculation. However, in spite of this fact, the large auction sales during the months of May and June, in which two thousand lots in the Bronx were disposed of at fair prices, considering prevailing conditions, shows the absolute confidence the general public has in this section.

These sales not alone brought hundreds of new purchasers of real estate into the borough, but inspired a feeling of confidence in Bronx real estate, and in its future growth, that since that time the market has shown a much greater degree of activity.

The lenders of money commenced to seek for Bronx mortgages, builders were more willing to trade for lots, which were held at steady figures, and there has been a marked increase in sales and exchanges made. This will undoubtedly continue and increase as the conditions grow better throughout the country and as people gain more confidence.

The rental conditions have been good this summer, and while just as the present time there is the usual dullness of this period, the fall outlook is better than usual, as cheaper rentals offered in this section are going to attract those who desire to economize after the slack business of the past nine months.

I can see no reason why Bronx real estate should not go ahead with a steady growth in the future as in the past, and when the lines of transit projected are built, the growth for the coming year will be equal to that phenomenal growth in population and values attained during the past ten years, in spite of the competition of all other sections, as has been frequently shown, as its natural advantages are such that no other section of the city can compare with it.

LAWYERS' TITLE INSURANCE CO. MOVES.

The Lawyers' Title Insurance Co. moved into its new office building at No. 160 Broadway at the close of their 21st year in business. This company was organized in 1887, with a capital of \$500,000, which has been increased, until to-day the capitalization is \$4,000,000, and the last statement showed a surplus of \$5,500,000.

This company was formed with the express purpose of catering to the lawyers, and for several years it confined its efforts to this field, but as time went on operations were gradually extended, until at present it is meeting the public demand at all points as a title and trust company. It is stated that its losses during the entire 21 years that it has been doing business have been only \$181,451.75.

DECIDE TO MOVE.

The officers of the company some time ago came to the conclusion that Broadway was the proper place for their business to locate, and so with this end in view the property on which their new home has been built was acquired, and the present structure constructed. While this building does not compare in height with the modern skyscrapers, still every convenience has been installed, in the sixteen stories of the new building, to facilitate the operation of their business.

The first floor of the new structure is devoted to the offices of the president, vice-president, comptroller, treasurer, and secretary, trust and bank department, assistant secretary, application department, and bureau of information; the first mezzanine to the policy department; the second floor will be occupied entirely by the closing department, second mezzanine to the cashier department; third and fourth floors, search department and bureau of tax registration; fifth floor, examination division and company's attorneys; sixth floor, law, general division and library; seventh floor, insurance division; sixteenth floor, survey department and meeting room for the board of directors; the intervening floors between the seventh and sixteenth are for rental.

LAW DEPARTMENT

ASSESSMENTS.

To the Editor of the Record and Guide:

Can the city compel the payment of an assessment when the improvement is not completed?

I have an assessment to pay for an avenue in the Bronx with the usual penalty of 7 per cent. added if not paid within a certain period, but work is still being done on it and the avenue is not open for traffic from beginning to end.

PROPERTY OWNER.

Answer.—If the assessment is for the taking of the land in the avenue it is not necessary to build any part of the avenue in order to lay an assessment upon property within the area of the assessment; but if the assessment is for grading, regulating or paving the avenue it should be provided before the assessment is laid; and as the officer, or head of the board or department charged with the execution of the work, is required to certify the total amount of all expenses actually incurred on account thereof, it would seem to be impossible to so certify until all the work is done. (See section 946 of charter of the City of New York.)—Editor.

POSSESSION.

To the Editor of the Record and Guide:

Will you be kind enough to give an opinion on the following dispute:

A contends that if for any reason the owner is dissatisfied with a builder during the construction of a new building, the owner, of course, leaving himself liable for any or all meritorious claims which may be presented against him, can give the contractor three days' notice or not at his option, and remove the builder from the premises immediately, if necessary calling in the police to effect his purpose. Also contends that the builder can only receive redress in court.

B contends that the builder owns the building in its entirety if it is a new one, and that the owner cannot remove him from the premises until whatever claims the builder may have against him are satisfied; furthermore, that the builder can complete the work and if not paid at completion, hold the building and rent same if so disposed. B's intention of holding the building is to actually possess same, not to hold it by virtue of a lien.

Thanking you in advance for the courtesy this letter will receive, I am,

F. M.

Answer.—As stated many times previously in these columns, we know of no right in law for a contractor or person employed to do work on land to remain thereon after notice to quit from the lawful owner.

The contractor's remedy is a suit for damages, filing mechanic's lien or the like.

The building cannot be separated in theory from the land on which it is erected, and to attempt to hold and rent it against the will of the owner is preposterous.—Editor.

WEST SIDE RENTING CONDITIONS.

REAL ESTATE MEN IN THIS SECTION GIVE OPINIONS CONCERNING PRESENT DEMANDS AND OUTLOOK.

THIS is the time of year when the tenant who contemplates moving his residence must decide on a new dwelling or he will find that all the better houses have been snapped up and will be forced to take one of the left-overs. With this idea in mind the Record and Guide has canvassed the Middle West Side district to see what is available and also what the concensus of opinion is among the real estate men, who make this zone a specialty. They are unanimous on two points, viz., that a dearth of dwellings exists and that the owners are maintaining prices. The opinion was pretty freely expressed last fall that a sharp decline in rents this year would be the result of the "panic," but these dire predictions have not materialized.

DEMAND EXTREMELY GOOD.

Mr. W. F. McClelland, of F. R. Wood & Co., said: "In looking over the situation, the demand for private houses is extremely good, especially for houses renting from \$1,200 to \$2,500, but over \$2,500 there seems to be a limited demand. The supply of houses this year is more liberal than in the past two or three seasons, but we have every reason to believe that they will be fully rented, except in cases where the owners are either too limited in amount of repairs that they will do, or are asking too much."

C. O. Farwell, representing George Schwegler, 2383 Broadway, said: "The renting condition in this neighborhood is very good. A rather unusual situation has presented itself this year. There is more demand for the higher priced apartments than for the cheaper grade. By that I mean that vacancies in apartments ranging from, say, \$1,200 to \$1,600 a year, are fewer in number than in the class of house that the rents range from \$30 to \$60. The number of dwellings for rent is small as compared to a few years ago. It was a common occurrence to have from 300 to 400 dwellings thrown on the market at one time for rent, while I

don't think there was a time this summer when more than about 75 houses were for let. I look to see very few vacancies after October 1st next."

TENANTS LOTH TO MOVE.

R. Telfair Smith, of Snowber & Co., 2214 Broadway, said: "I find that the inquiry for private dwellings and the better class of apartments is exceedingly good. A disposition has been manifested lately on the part of tenants to remain where they are. The fact of the matter is that it is almost impossible for them to better themselves at the same rent. The majority of those who move do so to reduce expenses, and when all is said and done very little is saved after the packing and moving expenses are paid, as well as putting the extra touches on the new apartment. There are not, in my opinion, as many private houses in the market this year as usual. This is one of the reasons that the rentals are so well maintained. The owners of Broadway store property are getting very good prices, and there are only a few vacancies in our neighborhood. A number of shop keepers have moved over from Columbus av. In fact there are more vacancies in store property on that avenue at the present time than for some years past. Upper West End av conditions are prosperous. There has been a general raising of rents along that thoroughfare, but tenants are willing to pay the price and consequently vacancies are few and far between."

Charles S. Kohler, of Columbus av and 104th st, said: "In this locality there are comparatively no private dwellings to rent. Prices have been holding firm, and, in my opinion, will continue to do so. During the past 10 days we have had a large number of inquiries, but it is extremely difficult to find suitable houses. As to the renting of store property on Columbus av in this vicinity, I might say that there really is nothing to be had."

The following table will give an idea of what dwellings are on the market for rent as well as the price demanded. Of course all the houses for rent are not mentioned, but a fair idea of block values can be obtained by carefully going through the list.

LIST FOR YOUR CARD INDEX.

SHOWING WHAT CAN BE HAD ON THE MIDDLE WEST SIDE IN PRIVATE DWELLINGS AT MODERATE RENTAL.

West 83d st, 16.8x100, 3-sty, 9 rooms, 1 bath.....	\$900.00
West 70th st, 15x100, 4-sty, 12 rooms, open plumbing.....	1,200.00
West 61st st, 16.8x100, 4-sty, 12 rooms, open plumbing....	1,400.00
West 70th st, 15x100, 4-sty, 12 rooms.....	1,400.00
West 70th st, 20x50, 3-sty, 10 rooms, open plumbing.....	1,400.00
West 97th st, 16.8x100, 4-sty, 3 baths.....	1,400.00
West 97th st, 18x102.2, 3-sty brk.....	1,500.00
West 84th st, 16.8x102, 3-sty, 9 rooms, 2 baths.....	1,500.00
West 94th st, 17x102, 3-sty, stone.....	1,500.00
West 78th st, 16.8x102, 3-sty, 9 rooms.....	1,500.00
West 88th st, 17x102.2, 3-sty, high stoop, 10 rooms.....	1,600.00
West 95th st, 18x102.2, 3-sty, high stoop, 10 rooms.....	1,600.00
West 97th st, 20x102.2, 3½-sty, 10 rooms, modern.....	1,600.00
West 80th st, 17x102.2, 4-sty, American basement, modern.	1,700.00
West 79th st, 16x102.2, 4½-sty American basement.....	1,800.00
West End av, 16.8x100, 4½-sty Am. base., 12 r, 2 baths..	1,800.00
West 79th st, 16.8x100, 4½-sty Am. base, 12 rooms, 2 baths	1,800.00
West 82d st, 18.6x100, 3-sty, 11 rooms.....	1,800.00
West 87th st, 20x100, 3-sty, 10 rooms, 2 baths.....	1,800.00
West 90th st, 18.9x100, 3½-sty, 12 rooms.....	1,800.00
West 91st st, 17x102, 4-sty, 12 rooms.....	1,900.00
West End av, 20x100, 3-sty Amer. basement.....	1,920.00
West End av, 16.10x102, 4½-sty, American basement.....	2,000.00
West End av, 16x102.2, 4½-sty American basement.....	2,000.00
West End av, 16.8x68, 4-sty, high stoop.....	2,000.00
West 78th st, 20x102.2, 3-sty, high stoop.....	2,000.00
West 70th st, 18.6x100, 4-sty, 12 rooms, 2 baths.....	2,000.00
West 85th st, 16.8x102.2, 4½-sty American basement.....	2,000.00
West 85th st, 20x100, 3-sty, high stoop, 2 baths.....	2,000.00
West 78th st, 19x100, 3½-sty, 10 rooms, 1 bath.....	2,000.00
West End av, 22x43, 5-sty Amer. base, 2 baths.....	2,200.00
West 78th st, 16x100, 5-sty Amer. base., modern.....	2,200.00
West 93d st, 24x51, 5-sty Amer. base.....	2,200.00
West 84th st, 18x102, 3-sty, high stoop, 2 baths.....	2,300.00
West End av, 20x100, 4-sty, high stoop, 2 baths.....	2,300.00
West 78th st, 18x102.2, 4-sty, 3 baths.....	2,300.00
West 80th st, 20x102.2, 4-sty, high stoop.....	2,400.00
West 93d st, 19x100, 5-sty Amer. basement.....	2,400.00
West 86th st, 20x102.2, 4-sty, stone, high stoop.....	2,500.00
West 79th st, 19x100, 3½-sty, 12 rooms, 2 baths.....	2,500.00
West 74th st, 20x102, 3-sty, 10 rooms.....	2,500.00
West 79th st, 19x102.2, 3½-sty, 3 baths.....	2,500.00
West 86th st, 20x102.2, 4-sty, open plumbing.....	2,600.00
West 109th st, 19x102, 5-sty Amer. base.....	2,700.00
West 76th st, 20x100, 4-sty, 13 rooms, 2 baths.....	2,850.00
West 71st st, 18x102.2, 4-sty, stone, high stoop.....	3,000.00

DAVID H. SCULLY.

The well-known real estate broker, David H. Scully, died on last Wednesday after a lingering illness at his residence No. 13 East 124th st. Mr. Scully was 48 years old and was prominently identified with realty in the 125th st section for the past 18 years. Prior to that date he was connected with the Post-Office Department, from which he conceived the idea of writing the play "Special Delivery," in which he played the leading part.

Mr. Scully was a member of the Real Estate Board of Brokers. At the time of his death he was not only on the Ways and Means Committee, but also the Appraisal Committee. He was a member of the Sagamore and Cayuga clubs. The funeral will take place today at All Saints Church, Madison av and 129th st, at 10 o'clock.

PRIVATE SALES MARKET

SOUTH OF 59TH STREET.

Business Building Changes Ownership.

GREENWICH ST.—Charles F. De Casanova bought through Robert R. Rainey 186 Greenwich st, a business building, 21.10x24.2, adjoining the southwest cor of Fulton st. The owner of record is Henrietta Stein, who took title last April.

LEWIS ST.—S. B. Goodale & Son sold for Michael Coleman to the Marmack Construction Co. 48x114, with an L 25x50, at the northeast cor 5th and Lewis sts. The buyers will at once begin the construction of a 7-sty loft building on the site, to be completed Feb. 1. This property has been held by the Coleman family for more than 60 years. On the northwest cor is a building under construction. On the east is a lumber yard running down to the water front.

WASHINGTON ST.—Joseph H. Day sold to Adam Cook's Sons 708 and 710 Washington st, a business building, 46x88x irregular, with 3,800 square feet of floor surface. The buildings are 3-stys high and 32 feet deep each. They are located 44.2 feet north of Perry st.

38TH ST.—Ehrick Parmly, of Oceanic, N. J., sold No. 13 West 38th st, a 4-sty stone front dwelling, 18.9x98.9. Adjoining on the west is a building under construction. The present seller bought this property in Oct. 1869 for \$14,450.

49TH ST.—The Norman Realty Co. sold for Martha Rambow 236 East 49th st, a 3-sty brk dwelling, 19x100, built to a depth of 48 feet, to Philip Reilly, who gave in payment 236 West 144th st, a 6-sty apartment.

Commodore Benedict Sells.

51ST ST.—Taylor Brothers sold for Commodore E. C. Benedict to W. and M. T. Hall, 12 West 51st st, a 4-sty brown stone dwelling, 22x100.5. This house was the home of the late Grover Cleveland, who rented it from Mr. Benedict in April, 1892. Mr. Cleveland and Mr. Benedict, who lived in No. 10, adjoining, were great friends, and they took several extended trips on the yacht Oneida. Soon after leasing the house Mr. Cleveland and his family left the city for the summer and the following fall was elected President of the United States for the second time. After that he had but little use for the 51st st house, and divided his time pretty well between the White House and his home in Princeton, N. J. Andrew Carnegie lives across the street, which is within a short distance of the Vanderbilt houses. The house just sold is under Columbia leasehold that was recently renewed for 63 years. The present purchasers are going to demolish the present structure and replace it with a modern American basement dwelling up-to-date in every way.

2D AV.—Maurice Herrmann sold 947 2d av, a 4-sty tenement, 20 x70, 40 ft north of 50th st.

Buys Valuable Corner.

6TH AV.—William McDonald bought through the Reilly Realty Co. and Wasserman & Krause the leasehold of property 665 to 677 6th av and 102 and 104 West 39th st, southwest cor, seven 4-sty buildings, and a 6-sty building, 100x100, for \$55,000. Mr. McDonald's father, recently deceased, dealt profitably in real estate in the vicinity of Herald Square, having sold the lease of the northwest cor of Broadway and 32d st to the Hudson Terminal Co. for \$225,000, and who also refused an offer of \$350,000 for the southwest cor of 6th av and 32d st. It is not known definitely what Mr. McDonald's plans are in regard to the southwest cor of 6th av and 39th st, but the location is a very choice one, particularly for a high-class restaurant, owing to the fact that almost directly opposite will be erected the Maxine Elliott theatre. The seller, Henry G. Silleck, acquired the property just sold on December 14, 1896. The Union Dime Savings Bank are going to build on the block to the north. This section is attracting considerable notice, due to the uplift in values.

NORTH OF 59TH STREET.

Apartment Changes Hands.

62D ST.—S. B. Goodale & Son sold for the Madison Square Mortgage Co. to an investor the 5-sty and basement triple flat, 152 West 62d st, 25x100.5. Adjoining on the east is the armory of the 12th Regiment, which occupies a plot 325 feet on 62d st by 200.10 feet on Columbus av by 175 feet on 61st st. The house just sold is one of a row of 9 similar structures, and is built to a depth of 86 feet. Abutting on the rear is a 5-sty flat, 40x85x100.5.

70TH ST.—The McVickar, Gaillard Realty Co. sold for Annie Davis 146 West 70th st, a 4-sty and basement brownstone dwelling, 16x100.5, to Dr. H. A. Cassoitt, for occupancy. The present seller paid \$26,000 for this property on April 30, 1907, when they bought it from Samuel Adams and ano, executors of Maria L. Adams. The property was assessed at \$20,500.

70TH ST.—Peter Axelrod sold for D. Rieser 324 and 326 East 70th st, two 4-sty flats, 50x100, built to a depth of 70 feet each. This block is entirely devoted to flats.

71ST ST.—The Toch Realty Co. sold 336 West 71st st, a 3-sty high stoop brownstone dwelling, 18x100.5, to Bernard Chrystal, the tenant in possession.

Buys for Occupancy.

84TH ST.—Marie Robert sold 48 West 84th st, a 3-sty brownstone dwelling, 17.9x102.2. A mortgage of \$14,000 for 3 years at 5% was placed on this dwelling on April 16, 1908. The lender was the German Savings Bank. St. Matthews Episcopal Church is on this block. The house is 55 feet deep. Mary A. and Elizabeth P. Keena are the buyers.

91ST ST.—Slawson & Hobbs sold for Phillip H. Wallenstein to a client for investment the 5-sty double flat at 80 West 91st st, 25x100.8. Peter Wolfe sold this house to Mr. Wallenstein on May 6, 1907, subject to a mortgage of \$17,000. It is located 75 feet east of Columbus av. The last assessment was for \$25,000 with improvements.

92D ST.—The William Rosenzweig Realty Operating Co. sold 114 East 92d st, 25x100.8, to the Charter Realty Co., which acts for Anson Phelps Stokes. Mr. Stokes will erect a garage on the lot. William A. White & Sons acted as brokers in the transaction. This is the only vacant plot on the block. A synagogue is across the street. Two 5-sty flats adjoin the premises just sold on the east. There are 7 private dwelling on the west of this lot.

100TH ST.—Madeline E. Claussen sold to Max Neuburger, the tenant in possession, 235 West 100th st, a 4-sty dwelling, 15x100.11. On the east of the premises is Nameoki Club.

Purchased for Investment.

117TH ST.—Charles W. Smith, of the office of James K. Holly, in conjunction with W. J. Collins, sold for Richard Bullwinkel, of Central Valley, N. Y., the two 5-sty flats, 38 and 40 West 117th st, each 25x100. Charles Horning is the purchaser of No. 38, and Paul Miklowitz, of No. 40. The gross rents of each house aggregate \$3,396. There are two apartments on a floor, each having 5 rooms and tiled bath, with open plumbing. Each house is subject to a mortgage of \$50,000 and were bought by the present seller from Mary A. Young on May 20, 1905. Public School 184, occupying a plot 150x200.10, and running through to 116th st, is located 25 feet to the east. Abutting on 116th st is the building of the Columbia Typewriter Manufacturing Co., 100x100. The houses just disposed are two of a row of 13 similar structures, built to a depth of 84 feet each. Title will be taken September 15.

Woman Investor Sells.

129TH ST.—Mrs. Matilda S. Jones sold the Eldorado, a 5-sty apartment house at 56 West 129th st, 27.6x99.11, between 5th and Lenox avs. The property is mortgaged for \$28,200.

131ST ST.—John Bottomley sold 230 West 131st st, a 3-sty and basement brownstone dwelling, 12.6x100. There is a double row of private houses in this block. Many of them are very narrow.

141ST ST.—Peter Axelrod sold for S. Veder 201 to 209 West 141st st, five 5-sty flats, 100x100, each 65 feet deep. This property is 75 feet west of 7th av. Adjoining on the west is the rectory of St. Charles Borromeo Church, with the school attached fronting on 142d st. Abutting on this latter st are seven 3-sty dwellings. The Renaissance, a 6-sty apartment, adjoins facing 7th av, on lot 75x75.

144TH ST.—The Norman Realty Co. sold for Philip Reilly 236 West 144th st, a 6-sty apartment house, 26x100, to Martha Rambow, who gives in exchange 236 East 49th st, a 3-sty dwelling. The house just sold is built 70 feet deep. Across the street is a vacant plot with a frontage of 240 feet. This is part of the old terminal property formerly belonging to the elevated railroad.

145TH ST.—In exchange for the 3-sty brk dwelling, 46 Edgecombe av, on the southeast cor of 137th st, Frank T. Ludlow takes 163 and 165 West 145th st, a 6-sty apartment house, 40x99.11.

Apartments in New Hands.

AMSTERDAM AV.—Butler and Herrman Co. sold for the Frederick Ruth Co. to Caroline Ulrich the 6-sty elevator apartment house 1109-1111 Amsterdam av, 40x100. There is a mortgage of \$64,000 on these premises. The adjoining house, Nos 1105-1107, a similar structure, was reported sold last week by the same company, also subject to a mortgage of \$64,000. The rent of the premises just disposed of aggregates \$13,000, while the two houses taken together rent for about \$25,000. Each floor is laid out for four families. The outlook over Columbia University grounds makes these apartments desirable.

BROADWAY.—Althea S. Rudd Ward sold 2781 and 2787 Broadway, two 5-sty flats facing Schuyler square. The former occupies a plot 26.10x100, at the northwest cor of 107th st, and the latter is 25x100, 75 feet north of the cor of 107th st. The two are separated by the Trouville apartment house, a 7-sty building, 50x89x100. Across the avenue is the Ridgewood apartment, a 7-sty building. There is a subway station at 110th st. Some properties were given in trade. Title will be taken Sept. 1. Mrs. Ward is a large owner of Manhattan property. Her holdings include No. 37 West 8th st, 222 West 84th st, 2501 Broadway, 418 Riverside Drive, 836 West End av and 115 8th av.

CATHEDRAL PARKWAY.—H. & C. Levis sold for John D. Crimmins to Edgar A. Levy the plot of 26 lots, 325x191.10, on the north side of Cathedral Parkway (110th st), running through to 111th st, 325 feet east of Broadway and extending to within 125 feet of Amsterdam av. Mr. Crimmins has been accumulating this large tract for more than ten years, having made some of his purchases before 110th st was placed in the control of the Department of Parks, and immediately after the block to the east was selected as the site of the Cathedral of St. John the Divine. There is a building in course of construction on the southwest cor of Amsterdam av and 110th st. This section is being developed very rapidly.

Edgecombe Avenue Activity.

EDGECOMBE AV.—W. J. Huston & Son sold for Mrs. Mary Q. Nally to a client 201 Edgecombe av, a 3-sty brk and stone dwelling, 16.8 x99.11. Title will be taken Sept. 1.

EDGECOMBE AV.—Frank T. Ludlow sold 46 Edgecombe av, southeast cor of 137th st, a 3-sty brick dwelling, 19.1x90. In exchange Mr. Ludlow takes 163 and 165 West 145th st, a 6-sty apartment house, 40x99.11.

WEST END AV.—Pease & Elliman sold for Adelaide Lagasse 353 West End av, a 4-sty dwelling, 22x55.5, 45 feet south of 77th st. Mrs. Lagasse bought this house Jan. 5, 1907, and also No. 345 on the same date.

2D AV.—Samuel Jaffe and M. Frank sold for Philip Drucker the southeast cor of 98th st and 2d av, to Joseph Lasner, who gave in part payment 10 lots on Long Island. Mr. Drucker will improve this property with 1-family dwellings.

2D AV.—Newman Leavy sold for Elias Feinberg the northeast cor 2d av and 117th st, a 5-sty tenement, 25.5x81. There is a subway station in front of the door. The building is 77 ft. deep. The property is subject to a mortgage of \$31,000. The building has a liquor license.

WASHINGTON HEIGHTS.

Dwellings in Demand.

141ST ST.—The Picken Realty Co sold 469 West 141st st, a 4-sty dwelling, 18x99.11. Title will be taken about Sept. 15. The property is mortgaged for \$17,000 at 5%.

151ST ST.—E. J. Kehoe sold for Thomas Meehan, the attorney, of 38 Park row, the 5-sty double apartment house, 452 West 151st st, 21x99.11, located 254 ft. east of Amsterdam av, to Peter Dongan. The present seller bought this property from Mary E. Lockwood on August 29, 1907, subject to a mortgage of \$17,500. The adjoining house, No 450, another 5-sty apartment, 20.6x99.11, was recently sold through the Renton-Moore Co.

Heights Block Front to Be Improved.

BROADWAY.—The Wannegan Realty Co sold to Henry T. Bulman the block front on the west side of Broadway between 163d and 164th sts, 200x125. S. Marcus was the broker. The property includes ten lots and is part of the old deaf and dumb asylum tract, which occupied three entire square blocks. The sellers purchased this property from the Vanderbilt syndicate three years ago through this same broker. Many improvements have taken place in this neighborhood in that time. Streets have been cut through, and



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REAL ESTATE NOTES

A building loan of \$95,000 was given by the City Mortgage Co. to the South Side Construction Co. on the property in the south side of 179th st, 125 ft. east of St. Nicholas av, 125x100.

The Title Insurance Co. of New York loaned \$100,000 to the Washington Heights Development and Construction Co. on the property, 100x100 at the northwest corner of Audubon av and 177th st.

S. B. Soloman, of Edgar P. Holdridge's office, secured a loan of \$87,000 at 5 per cent. for five years from the Albany Savings Bank on the property 19 to 23 East Broadway, southeast corner of Catherine st, a 7-sty store and loft building.

The Gallatin Realty Co. has elected the following officers: President, E. J. Conway, president of the Irish-American Athletic Club; vice-president, John H. Lawrence; treasurer, James R. Keane. The capitalization of the company is \$250,000. The offices are located at 71 and 73 Nassau st.

The real estate firm known as Gilman, Randall & Paterson has been dissolved. A new partnership, however, has been formed under the firm name of Gilman & Paterson, with offices located at their old address, No. 39 East 42d st. The firm consists of Edward E. Gilman and Henry A. Paterson.

A lease was recorded on the property at the southeast corner of Madison av and 59th st, being part of the Lenox Lyceum, from Walter J. Salomon to Maurice Baumfeld for 20 years and 6 months, from Oct. 1, 1908. The consideration for the first year is \$30,000 and thereafter until the expiration the annual rental will be \$35,000.

Two main thoroughfares, Tremont and Wetschester avs, are now being extended by the city through Throgg's Neck Gardens. The Estates Development Co. believe that the water front on the sound and upper East River will make property values on these avenues in Throg's Neck Gardens increase even more rapidly than has been the case farther west on the same avenues.

Title was taken by the Stuyvesant Realty Co. during the week to the property Nos. 228 to 236, 242 and 250 West 34th st, from the City Real Estate Co. These properties were bought by the Pennsylvania Railroad, through the City Real Estate Co. several years ago, and will be used to provide an entrance to the terminal from 34th st. The railroad also owns the abutting property on the north side of 33d st.

The Alliance Realty Co., the Century Investing Co. and the Star Holding Co. transferred their respective interests in the

Everett House property on the northwest corner of 17th st and 4th av to the Everett Investing Co. The work of tearing down the old building has been begun by a wrecker representing the Fuller Construction Co. Building Superintendent Murphy issued the permit last Tuesday. A 16-sty office building will be erected on the site.

The Sandringham Hotel Co. sold to W. M. Naef, through John Tyler, the lease and furniture of the Hitel Hamilton, located at No. 132 West 45th st, 35x100.5. The house is located in the heart of the apartment hotel and theatre district. Adjoining on the west is the stage door of the Hudson Theatre, while across the street is the Lyceum Theatre. Adjoining on the east are two private dwellings occupying a plot 40x100.5. The structure, whose lease has just been disposed of, will build to a depth of 90 ft.

The Albany County Savings Bank loaned \$190,000 to the Church & Warren Co. on the property No. 32 Warren st. The mortgage has five years to run and bear interest at 5 per cent. The same institution loaned \$100,000 on the same terms to the United States Trust Co., as executor, on the property 109 to 113 Park row. This bank has been a heavy lender of money on bond and mortgage since the panic last October. It is an expression of confidence on their part as to the permanency of Manhattan realty.

The announcement of President Mellin that his company, the New York, New Haven & Hartford Railroad, would be willing to undertake the building and operation of the East Side subway is agreeable, although not wholly unexpected, news to property owners in Manhattan and the Bronx. For many months it has been steadily growing apparent that some change in the terminal plans of the New Haven road were under consideration, and although the matter has been held in abeyance by the officials of that company, discerning speculators anticipated just such a movement on their part and have made extensive purchases along the route likely to be followed.

The Corpus Christi Roman Catholic Church gave a mortgage to the Emigrant Industrial Savings Bank of \$109,000 on the property in the north side of 121st st, located 100 ft. east of Broadway, 100x191.10, and running through to 122d st. This mortgage has three years to run and bears interest at five per cent. The Title Insurance Co. of New York loaned Harry P. Ward, of Closter, N. J., \$100,000 on the property in the south side of 32d st, 138 ft. west of Madison av, and known by the street numbers 14 and 16 West 32d st. This mortgage is divided into two, and half placed on each house. It has three years to run and the interest rate is five per cent. The size of the plot is 43.8x98.9.

PROPERTY OWNERS' SECTION.

CONDEMNATION PROCEEDINGS.

NEW ST.—Opening and extending between Broome and Spring sts. Commissioners Ernest L. Crandall, Nathan Fernbacher and Wm. J. Carroll give notice that they have completed their estimate and assessment in this proceeding. All persons objecting thereto are required to present their objections in writing, duly verified, at 90 and 92 West Broadway on or before Sept. 18. Unless objections are filed the Commissioners will present their final report to the Supreme Court on Nov. 24.

PIER (OLD) 14, EAST RIVER.—Relative to acquiring right and title to and possession of the wharfage rights, terms, easements, emoluments and privileges appurtenant to Pier (Old) 14, East River, not now owned by the city, and all right, title and interest in and to said pier, or any portion thereof, not now owned by the city, and all wharfage rights, terms, easements, emoluments and privileges appurtenant to the easterly one-half part of all that certain bulkhead, dock or wharf property on or near the southerly line of South st, between the easterly side of Pier (old) 13 and the westerly side of Pier (old) 14, and between the easterly side of Pier (old) 14 and Pier (new) 12, not now owned by the city, necessary for the improvement of the water-front on the East River, pursuant to the plan heretofore approved by the Commissioners of the Sinking Fund. Commissioners John T. Dooling, Adolph Schilling and Thos. J. McManus will present bill of costs and expenses in this proceeding for taxation to Supreme Court.

168TH ST.—Acquiring title to site for armory purposes at northeasterly corner of 168th st and Fort Washington av. Corporation Counsel Francis K. Pendleton gives notice under date of Aug. 15 that Messrs. Delancey Carter, Edward Chase Crowley and Nathan M. Clark were appointed Commissioners of Estimate and Appraisal in this proceeding.

ASSESSMENTS.

167TH ST.—Opening from Broadway to St. Nicholas av and West 167th st; public pl, bounded by West 166th st, St Nicholas av, West 167th st and Broadway. Area of assessment as follows: Beginning at a point 100 feet south of the southerly side of West 165th st, measured at right angles thereto on a line midway between the westerly side of Broadway and the easterly side of Fort Washington av, and running thence northwardly on a line midway between the westerly side of Broadway and the easterly side of Fort Washington av to a point 100 feet north of the northerly side of West 168th st, measured at right angles thereto; thence eastwardly on a line parallel with the northerly side of West 168th st and parallel therewith to a point 100 feet east of the easterly side of Audubon av; thence southwardly on a line 100 feet east of the easterly side of Audubon av and parallel therewith to its intersection with a line midway between the southerly side of West 168th st and the northerly side of West 167th st; thence eastwardly along a line midway between the southerly side of West 168th st and the northerly side of West 167th st and the prolongation thereof to a point 100 feet east of the easterly side of Amsterdam av; thence southwardly along a line 100 feet east of the easterly side of Amsterdam av and parallel therewith to its intersection with a line midway between the southerly side of West 167th st and the northerly side of West 166th st; thence westwardly along a line midway between the southerly side of West 167th st and the northerly side of West 166th st and the prolongation thereof to a point 100 feet east of the easterly side of Audubon av; thence southwardly along a line 100 feet east of the easterly side of Audubon av and parallel therewith to a point 100 ft. south of the southerly side of West 165th st, measured at right angles thereto; thence westwardly along a line 100 feet south of the southerly side of West 165th st and parallel therewith to the point of beginning. Assessment entered. Payable within 60 days.

HUDSON TUNNELS NEARING COMPLETION.—The officials of the Hudson and Manhattan Railroad Co. state that the chain of tunnels, connecting New York and New Jersey, are rapidly nearing completion, and that by Jan. 1, 1909, the entire system will be in operation, unless something unforeseen develops. The south tubes, from Cortlandt st, running under the river, are almost finished, and the workmen are busy laying track under Fulton and Cortlandt sts. This work is progressing at the rate averaging twelve feet a day. The portion of the tunnel which has been in operation for some time past, has been carrying a greater number of people each month. There was natural hesitancy on the part of the traveling public until its safety was demonstrated, but that once being accomplished the road was freely patronized.

WORD TO THE WISE.

AN OPEN LETTER ON WHY SOME BROKERS KEEP THEMSELVES POOR.

IN a metropolitan city any business is absolutely sure to go to the wall when the principles on which it is based and conducted are not constitutionally sound. Luck may obtain success in small centres, but Luck is submerged in the gigantic whirl of New York business. Success only attends the thoughtful charting of a proper course. Success in real estate is a question of brains and equipment.

The real estate broker who has the greatest number of bargains to offer to the greatest number of buyers, has mastered the first principle of his business. The second principle is to equip his office with such machinery that the largest possible list of bargains and buyers can be secured with the minimum expenditure of time, labor and money. The reducing of routine labor to a minimum is what is meant by properly systematizing a business. It leaves time for the use of brains in selection. The broker who remains poor does not have enough chance to use his brains.

The first and absolute requisite is proper machinery to build up a stock in trade—something to sell.

And this machinery is a system of records.

Here is the parable of the Broker Who Keeps Himself Poor.

A buyer enters the door of his dingy and unprosperous office. Lo and behold! he would buy a cold water tenement, six stories high, three families to a floor east of 3d av and north of 72d st. Go thou out and find it.

And Mr. Poor Broker hustleth out and the mortality in shoe leather and carfare for one week is great while he locateth the houses, and then another week is like unto it while he locateth the owners rushing over Manhattan, Brooklyn, and even to the uttermost parts of the Bronx.

At the end of the second week he returneth to the Buyer, who exclaims, "Go to thou sluggard! I went from you to a real Real Estate Broker. He opened the Real Estate Directory, and in ten minutes from the interlinear description of tenement houses got a full list. He got the correct address, a list of property each one owned and valuations from the same wonderful book. The next day I not only bought a house but traded two others on information from this great book."

And the poor broker smote himself in the neck, for by not paying twenty-seven cents per day for the Real Estate Directory he had lost a commission and besides spent more than that in unnecessary carfare. Thereafter he consoled himself for while he had no money and little brains he had wonderful leg muscles.

To the broker who would make his labor count the Real Estate Directory is absolutely necessary. Without an exception the foremost brokers in Manhattan are its subscribers. We guarantee the 1908 volume to be the best ever issued. A force of fifty men were employed to call at every address given and verify its correctness. Particulars regarding number of stories, material, flats to the floor, rooms to the flat, steam heat, hot water, electricity, elevator, liquor license, and store fronts, are all given in the interlinear description of tenements, stated considerations of 1908 are recorded and the list of property held by each owner has been revised and brought up to date. Conveyances and property affected by will are reported weekly. Payment can be made on the instalment plan, and it is a poor broker indeed who cannot make the Real Estate Directory pay for itself several times over before he has to pay for it. The 1908 Directory will be ready for delivery shortly after Sept. 1, and will be shown to any one on application.—Adv.

PLAN TO RELIEVE WATER SHORTAGE.

At the regular monthly meeting of the House and Real Estate Owners' Association of the 12th and 19th Wards more than 150 members were present. Among the interesting reports discussed was the matter of water supply. Messrs. Bloch and Schnelle, who have been conferring with Commissioner O'Brien relative to securing additional pumping facilities, have hopes of obtaining temporary relief, at least, by a plan to connect with the West 98th st pumping station.

The meeting discussed the matter of transfers on the 59th st car line, and a resolution was passed condemning the action of the transit companies in refusing to issue transfers. A committee consisting of Chas. H. Schnelle, August Wiggers, Jos. Ceyka and Adolph Bloch was thereupon appointed to prepare the resolutions referred to and present them to the Public Service Commission.

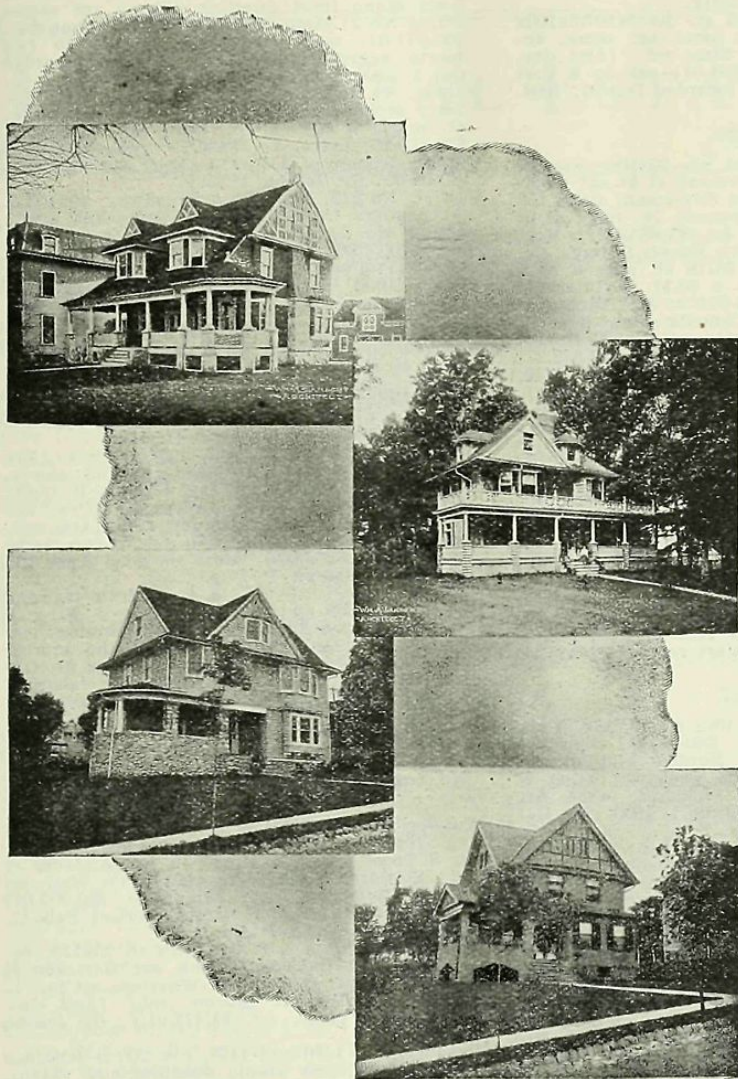
A COMMUNITY OF HOMES.

LARGE UPLIFT IN REALTY VALUES IN NUTLEY SINCE THE OPERATION OF THE McADOO TUNNEL.

It is generally conceded that the complete operation of all the Hudson River tunnels will eventually create a revolution in the realty and transportation conditions of that part of northern New Jersey known as the commuting zone. Since the opening of the first McAdoo tunnel tubes giving continuous transit from Hoboken, N. J., to 19th st and 6th av, Manhattan, an accelerated movement full of promise to investors and home seekers has been noted in the region indicated.

At the present time building lots in the territory referred to are much lower in price and the cost of building considerably less than in almost any other section around New York, which largely accounts for the steady increase of realty development in that community.

A good illustration of what is being accomplished within the nearby suburban belt is furnished by the town of Nutley, where conditions at the outset provide the essentials of nearness to the metropolis and natural beauty of surroundings.



ATTRACTIVE NUTLEY HOMES.

Wm. A. Lambert, Architect.

In an era of exploitation, however, the town makes no bid for the services of the vociferous promoter. Its claims as an ideal residential place rest upon something more substantial than the blaze of trumpets and the clash of cymbals.

LARGE IMPROVEMENT CONTEMPLATED.

Nutley has many advantages that do not usually pertain to the average suburban neighborhood. In fact, it is has everything needful to fulfil the ideal of those who seek the nearest approach to perfection in modern living conditions.

The section in question has been settled for a great many years, the name Nutley being first used in the year 1844.

Nutley has a population approximating 6,000, and a real estate taxable value exceeding \$4,000,000. The town recently voted to unite with Newark and other municipalities in the construction of the gigantic Passaic Valley trunk sewer, which will reclaim the beautiful Passaic River and furnish the cities and towns nearby with the finest sewer system in the world. By joining hands at this time with the larger municipalities the town places itself in a position to secure a material reduction of the real estate assessment incident to the completion of the work in 1912. Calculations show that Nutley will secure a large benefit from this vast scheme of improvement at a lower proportionate assessment than any other municipality.

The town has always taken pride in its schools, of which there are five. One of these is a mammoth new modern building containing 24 class rooms and arranged for kindergarten, primary, grammar and high school classes. The building alone represents an outlay of more than one hundred thousand dollars, and the 15 acres of magnificent park lands surrounding the school easily double the value. A similar school building in the west Nutley section was erected a few years ago at a cost of \$35,000.

MANY ATTRACTIONS FOUND.

Among the perennial attractions that the town affords is its clean and wholesome social life. Thirty to forty organizations vie with each other in furnishing diversion to the townspeople, and it would be hard to find an individual of normal tastes and tendencies who could not find among these one or more to suit his tastes.

It almost goes without saying that a model home town catering to the best class of inhabitants, would be equipped with the essential features of modern comfort and convenience such as electric light, gas, good water, telegraph and telephone system, free mail delivery, graded and macadamized streets, first-class fire alarm system, good sidewalks, etc., all of which are provided in Nutley.

Located on the Newark branch of the Erie Railroad, 14 miles from New York, and with the Newark and Paterson trolley passing through the town, it is easily realized that Nutley has all the advantages of a thriving and successful community. Newark cars run as far as Nutley on a 7½ minute headway and a five-cent fare.

Nutley is representative of the best in suburban New Jersey home life, and it may well be said that the place is worthy of notice both by the professional and the layman interested in modern home development.

The accompanying cut illustrates the prevailing class of home development in progress at Nutley. Among the handsomest sections are Nutley Park and Prospect Heights, both of which owe their artistic beauty and charm to the well directed efforts of an architect of prominence in that locality.

AUCTION SALE AT OAKDALE.

On Great South Bay, adjoining Idle Hour, the home of W. K. Vanderbilt, W. K. Aston has arranged another auction sale of plots, part of his large estate on the water front of Great South Bay, immediately south of the Oakdale Station, Long Island, to be held on Thursday, September 3, 11 o'clock, in the Vesey Street Exchange sales room by Auctioneer Bryan L. Kennelly.

He will leave 60% on mortgage at 4% interest, for 3 years. The property is carefully restricted and will be offered in plots 75x150 feet more or less, with no charge for title insurance.

The rapid increase in values of residential sites along the south shore is well understood and there are few points where waterfront on high and level shore can be secured within a short distance of a railroad station, as at Oakdale.

The property offered is conveniently located, being one hour by train to the station at Oakdale and ten minutes to the shore front. The drives around this section of Long Island are beautifully shaded, and appeal not only to the lover of horses, but also to the motorist.

AVOIDING BUBONIC PLAGUE.

In San Francisco, where the danger from bubonic plague is always present, the authorities lately framed a building law which would make it imperative that the ground space beneath all buildings hereafter erected within the limits of that city, be concreted 1½ ins. in depth, and that side foundation walls of concrete be also provided, the object of the proposed measure being to bar out disease breeding rats. The bill provided for the "ratproofing" by means of screens, netting, cement and other material. It also provided that all storerooms, warehouses, residence and other property be provided with traps of an approved pattern, such traps to be inspected daily and freshly baited at least twice within a fortnight.

In alluding to the matter a prominent property owner in lower Manhattan expressed the belief that the New York Building Department would most likely take up the subject of ratproofing buildings hereabouts before the advent of winter.

In so far as the Asiatic plague is concerned, there does not appear to be the need for such drastic measures as mentioned in cities along the Atlantic coast owing to their great distance from the eastern hemisphere. A modified regulation, though, requiring owners of property to more fully safeguard the interests of their tenants by providing suitable floor or wall screens to repel invasions by rodents would be of infinite benefit to all concerned.

LISTING PROPERTY.—The bad effect of listing a property with several agents at once is twofold, according to many property owners. The agent has less inducement to work and the effect on the market is to make it appear that more property is for sale than the facts warrant. Select an agent of known ability and integrity and stick by him.

JOSEPH P. DAY

REAL ESTATE AUCTIONEER AND APPRAISER

J. ARCHIBALD MANAHAN

FINANCIERING Railroad, Mining and Industrial Properties Promoted.

THOMAS DIMOND All Kinds of Iron Work for Buildings

BRYANT PARK REALTY CO., Inc. Real Estate, Loans, Insurance

THE TITLE INSURANCE CO., OF NEW YORK

135 Broadway, Manhattan CAPITAL AND SURPLUS, and 203 Montague St., Brooklyn \$3,000,000

EDGAR J. LEVEY, President JOHN D. CRIMMINS, Vice-Presidents.

NOTICE to PROPERTY OWNERS.

HEARINGS FOR THE COMING WEEK. At 90-92 West Broadway.

AUCTION SALES OF THE WEEK.

The following is the complete list of the property sold, withdrawn or adjourned during week ending August 21, 1908.

*Indicates that the property described was bid in for the plaintiff's account.

JOSEPH P. DAY. Park av n w cor 121st st, 100.11x20, 4-121st st, No 79 1/2 sty stone front tenement.

HERBERT A. SHERMAN. *88th st, No 206, s s, 127 e 3d av, 33x100.8, 6-sty brk tenement and store.

ADVERTISED LEGAL SALES.

Sales to be held at the Real Estate Exchange, 14 and 16 Vesey st, except as elsewhere stated.

165th st, No 475, n s, 150 e Amsterdam av, 25x77x25.3x88.8, 3-sty frame tenement and 2-sty frame tenement in rear.

mort of \$25,000.) Mort recorded June 16, 1905.) By Joseph P Day. Brook av s w cor 141st st, 100.5x113.9x100x141st st | 104.3, vacant.

Aug. 26. Audubon av n w cor 171st st, 95x100, vacant. 171st st | Henry Battermann et al agt Frederick C Beer et al; Julius Silverman, att'y, 150 Nassau st; Frank A Spencer, Jr, ref.

Aug. 27. 3d av, No 241, e s, 145 n 19th st, 19.6x70, 4-sty brk tenement and store, leasehold.

133d st, Nos 27 to 31, n s, 360 w 5th av, 50x99.11, 6-sty brk tenement and store. Sender Jarmulowsky agt David Shaff et al; Morris Clark, att'y, 54 Canal st; Edw J McGeane, ref.

46th st, No 206, s s, 118 w Broadway, 20x100.5, 5-sty stone front dwelling. N Taylor Phillips agt James Churchill et al; action 1; Fettech, Silkman & Seybel, att'ys, 41 Park row; Gilbert H Montague, ref.

Park av, No 1316 s w cor 100th st, 25.11x73.3, 100th st, No 76 | 5-sty brk tenement. Jonas Weil et al agt Cecilia Gottlieb et al; Isaac S Heller, att'y, 71 Nassau st; James A Foley ref.

Wooster st, Nos 137 and 139, w s, 120 n Prince st, 50x100, 6-sty brk loft and store building. U S Trust Co of N Y agt Julius Landauer et al; Stewart & Shearer, att'ys, 45 Wall st; Frank Hendrick, ref.

OFFICIAL LEGAL NOTICES.

ATTENTION IS CALLED TO THE ADVERTISEMENT IN THE CITY RECORD of August 19 to September 2, 1908, of the confirmation by the Board of Assessors and the entering in the Bureau for the Collection of Assessments and Arrears, of Assessments for LOCAL IMPROVEMENTS IN THE BOROUGH OF BROOKLYN:

HERMAN A. METZ, Comptroller. City of New York, August 18, 1908. (5378)

OFFICIAL LEGAL NOTICES

PUBLIC NOTICE IS HEREBY GIVEN to the owner or owners of all houses and lots, improved or unimproved lands affected thereby, that the following proposed assessments have been completed and are lodged in the office of the Board of Assessors for examination by all persons interested, viz.:

BOROUGH OF BROOKLYN.

- List 11, No. 1. Constructing sewer basins at the southeast and southwest corners of Jerome street and Belmont avenue, all four corners of Jerome street and Sutter avenue, southwest corner of Jerome street and Dumont avenue, all four corners of Jerome street and Livonia avenue and northeast and northwest corners of Jerome street and New Lots road.
- List 18, No. 2. Constructing sewer in Dean street, between Ralph and Howard avenues.
- List 34, No. 3. Constructing a sewer in Blake avenue, between Powell and Junius street, and a sewer basin at the southeast corner of Blake and Hopkinson avenues.
- List 37, No. 4. Grading to the level of the

curb a lot lying on the north side of Forty-ninth street, between Sixth and Seventh avenues, known as Lot No. 49, in Block 776.

- List 38, No. 5. Constructing a sewer in Maple street, between Rogers and Nostrand avenues.
- List 44, No. 6. Constructing a sewer in Fifty-sixth street, between Seventh and Eighth avenues.
- List 46, No. 7. Constructing a sewer in Sixty-first street, between Third and Fourth avenues, and in Third avenue, between Sixty-first and Sixty-second streets.
- List 49, No. 8. Constructing a sewer in Fourth avenue, both sides, between Sixtieth and Sixty-first streets, with outlet sewer in Fourth avenue, westerly side, between Sixty-first and Sixty-fourth streets.
- List 56, No. 9. Constructing a sewer in Eighty-third street, between Fourth and Fifth avenues.
- List 60, No. 10. Constructing a sewer in Fifty-fifth street, between Seventh and Ninth avenues.

List 61, No. 11. Constructing a sewer in Fifth avenue, between Sixtieth and Sixty-fourth streets.

All persons whose interests are affected by the above-named proposed assessments and who are opposed to the same, or either of them, are requested to present their objections, in writing, to the Secretary of the Board of Assessors, No. 320 Broadway, New York, on or before September 22, 1908, at 11 A. M., at which time and place the said objections will be heard and testimony received in reference thereto. For full particulars see City Record.

ANTONIO ZUCCA,
PAUL WEIMANN,
JAMES H. KENNEDY,
Board of Assessors.

WILLIAM H. JASPER,
Secretary,
No. 320 Broadway,
City of New York, Borough of Manhattan,
August 20, 1908.

REAL ESTATE RECORDS

Key to abbreviations:

- 1st.—Q. C. is an abbreviation for Quit Claim deed, i. e., a deed wherein all the right, title and interest of the grantor is conveyed, omitting all covenants and warranty.
- 2d.—C. a. G. means a deed containing Covenant against Grantor only, in which he covenants that he hath not done any act whereby the estate conveyed may be impeached, charged or encumbered.
- 3d.—B. & S. is an abbreviation for Bargain and Sale deed, wherein, although the seller makes no expressed consideration, he really grants or conveys the property for a valuable consideration, and thus impliedly claims to be the owner of it.
- 4th.—The street and avenue numbers given in these lists are, in all cases, taken from the insurance maps when they are not mentioned in the deeds. The numbers, it will occasionally be found,

- do not correspond with the existing ones, owing to their having been no official designation made of them by the Department of Public Works.
- 5th.—The first date is the date the deed was drawn. The second date is the date of filing same. When both dates are the same, only one is given.
- 6th.—The figures in each conveyance, thus, 2:482—10, denote that the property mentioned is in section 2, block 482, lot 10.
- 7th.—It should also be noted in section and block numbers that the instrument as filed is strictly followed.
- 8th.—A \$20,000—\$30,000 indicates the assessed value of the property, the first figures being for the lot only and the second figures representing both lot and building. Letter P before second figure indicates that the property is assessed as in course of construction. Valuations are from the assessment roll of 1907.

CONVEYANCES

Aug. 14, 15, 17, 18, 19 and 20. (No. 8.)

BOROUGH OF MANHATTAN.

Bedford st, No 44 | s e cor Leroy st, 20x45, 4-sty brk tenement |
Leroy st, No 38 | and store. 21,000
Leroy st, No 34, s s, 60 e Bedford st, 18x60, 3-sty brk tenement.
Leroy st, No 36, s s, 45 e Bedford st, 15x20, 4-sty brk tenement.
Elizabeth Sherwood et al EXRS, &c, James D Sherwood to Frederick Rabbe. Aug 19. Aug 20, 1908. 2:586—5 and 6. A \$14,500—\$18,500.
Broome st, No 263, s s, 50.2 w Orchard st, 25.3x87.7x25.2x87.7, 5-sty brk tenement and store. Albert London to Louis London. 1/2 part. All title. Q C. Apr 9. Aug 18, 1908. 2:413—42. A \$20,000—\$28,000 other consid and 100
Christopher st, No 114, s s, 113.8 e Bedford st, 22.3x74.11x22.3x | 74.7, 3-sty frame tenement and store and 1-sty frame building | in rear. Mort \$7,000.
Christopher st, No 116, s s, 85.1 e Bedford st, runs e 28.7 x s 74.7 | x e 22.3 x s 5 x e 25.9 x s 11.10 x w 57.4 x n 8.4 x w 18 x n | 95.8 to beginning, 3-sty frame brk front tenement and store, | 2-sty frame tenement in rear and 2-sty frame stable. Mort | \$14,000.
John H Goetschius to Samuel Rodt and Jacob Lipman. Aug 11. | Aug 19, 1908. 2:558—48 and 49. A \$31,000—\$34,000.
other consid and 100
Church st, No 281 | s e cor White st, 25x75, 6-sty brk |
White st, Nos 35 and 37 | loft and store building.
Leonard st, No 86, s s, 205 w Broadway, 25x100, 5-sty brk loft | and store building.
Gardner Colby to Fanny C wife of and Gardner Colby of East | Orange, N J. All title. B & S. July 30. Aug 14, 1908. 1: | 175—17. A \$50,000—\$72,000, and 173—23. A \$51,000—\$75, | 000. nom
Cornelia st, Nos 24 and 26, s s, 147.3 e Bleecker st, 50.1x92.4, two | 5-sty brk tenements. Amelia W Bischoff to Caroline Blatt- | mach'r of Los Angeles, Cal. 1-3 part of all right, title and in- | terest. B & S. Aug 10. Aug 18, 1908. 2:589—14 and 15. A | \$21,000—\$34,000. gift
Fulton st, No 125, old No 117 | n s, about 100 e Nassau st, 25x |
Ann st, No 44 | 118.11 to s s Ann st, 25.2x118.11, | 5 and 6-sty brk loft and store building. 1:91—11. A \$79,800— | \$95,000.
Pearl st, No 64 | s e s, 27.5 n w Coenties slip, 28.6x |
Water st, No 38, on map No 34 | 105 to n w s Water st, x28.6x |
103.6, 5-sty brk loft and store building. 1:7—25. A \$26,500— | \$38,000.
West End av | n e cor 89th st, runs n 201.5 to s s 90th st, x e |
89th st | 325 to w s Broadway, x s w 201.5 to n s 89th |
Broadway | st, x w 325 to beginning, several 1 and 2-sty |
90th st | frame sheds and vacant. 4:1237—1. A \$625,000 |
—\$625,000.
John st, No 26, s s, 50.3 w Nassau st, 25x64.2x25.2x64, 4-sty brk |
loft and store building. 1:65—25. A \$84,700—\$93,000.
W W and Frank L Evans heirs, &c, Thos W Evans to Thomas W | Evans Museum and Institute Society. All title. Q C. Nov 6, |
Aug 15, 1908. nom
Grand st, Nos 484 to 488 | n e cor Willett st, 50x62, 6-sty brk |
Willett st | tenement and store. Samuel Wein- |
stock et al to Esther Friedman, Borough of Richmond. Mort

\$91,150. July 16. Aug 18, 1908. 2:336—61. A \$46,000— | \$85,000. nom
Hamilton terrace, Nos 39 to 49, e s, 364.9 n 141st st, 114.8x98.5, | six 3-sty brk dwellings. Ashbel H Barney to Barney Estate Co. | B & S. Mort \$78,000. Aug 18. Aug 19, 1908. 7:2050—107 to | 111. A \$23,000—\$90,500. other consid and 100
Jumel pl, w s, 241.3 n 167th st, 125x100, vacant. Albert W Pross | to Emily M Roemer, Brooklyn. C a G. All liens. Aug 17. | Aug 18, 1908. 8:2112—41 to 45. A \$20,000—\$20,000.
other consid and 100
Maiden lane, No 127 | n s, 60.4 w Water st, 19.9x82.4, 6-sty brk |
Fletcher st, No 11 | loft and store building. Abraham Bijur et |
al HEIRS, &c, Isaac Bijur to Henrietta Bijur widow of Isaac | Bijur. July 1. Aug 17, 1908. 1:70—6. A \$19,600—\$31,000. | 42,000
Mangin st, No 67, w s, 125 s Rivington st, 25x99, 5-sty brk tene- |
ment. Harris Levy to Israel Dachs. Mort \$26,850. Aug 17. | Aug 18, 1908. 2:323—21. A \$8,000—\$27,000. nom
Mangin st, No 71, w s, 75 s Rivington st, 25x99, 5-sty brk tene- |
ment. Jacob Salmanowitz to Maurice Altman. All title. June | 3. Aug 20, 1908. 2:323—19. A \$8,000—\$27,000. nom
Nichols pl, n w s, 775 s w on curve from Prescott av, runs n w | 190 x s w 109 x e 188.3 to pl, x n 32.8 to beginning. Wood- | bury G Langdon to House of Rest for Consumptives. B & S. | July 31. Aug 20, 1908. 8:2255—part lot 1. nom
Norfolk st, No 101, w s, 70.8 n Delancey st, 29.4x51.3, 6-sty brk |
tenement and store. Mary Saideman to Myer Kaplan. Mort | \$29,600. Aug 20, 1908. 2:353—37. A \$15,000—\$25,000.
other consid and 100
Prince st, No 179, n s, 75 e Sullivan st, 25x95.6, 3-sty brk tene- |
ment and store and 3-sty brk tenement in rear. Josephine De- |
lano to Chas R Farnolo and Bernard F Golden. Mort \$8, | 000. July 24. July 27, 1908. 2:517—41. A \$17,000—\$20,000.
Corrects error in issue of Aug 1, when grantees name was |
Ferdard F Golden. other consid and 100
Rivington st, No 235, s s, 25 e Willett st, 20x70, 3-sty brk tene- |
ment and store. Jacob Conner to Mary Weiser. 1/2 part. All |
title. Mort \$16,250. July 30. Aug 15, 1908. 2:338—52. A | \$12,000—\$14,000. other consid and 100
Rivington st, No 345, s s, 68 e Mangin st, 22x75, 4-sty brk tene- |
ment. Harris Levy to Meyer Hochberger. Mort \$10,900 on |
this and other property. Aug 17. Aug 18, 1908. 2:323—50. A | \$7,000—\$11,000. nom
Washington st, Nos 710, w s, 87 n Perry st, 23x81x24x75.6, 3-sty |
brk tenement. Abram Vanderbilt to Geo Baum and Adam Cook. |
Mort \$3,250. Aug 20, 1908. 2:637—70. A \$7,500—\$8,500. | 9,750
3d st E, No 218, s s, 140 e Av B, 24.9x100, 6-sty brk tenement |
and store; also all that portion of lot 432, map Leanderts Farm, |
which lies in rear of above. James Kalman to Sadie Epstein. |
Mort \$35,500. Aug 18, 1908. 2:385—14. A \$13,000—\$28,000. |
other consid and 100
10th st E, No 295, n s, 24 e Av A, 23.10x109.4, 4-sty brk dwelling. |
4th st E, No 61, n s, 142.5 e Bowery, 25x96.2, 5-sty brk tenement |
and store and 2-sty frame extension.
Julius Martinson to Sophie Martinson. All liens. Aug 18, 1908. |
2:404—58. A \$16,000—\$23,000, and 460—56. A \$16,000—\$21, | 000. 100
10th st W, Nos 236 and 238, s e s, abt 155 e Hudson st, 50x95, 6- |
sty brk tenement and store. Samuel Rodt et al to John H |
Goetschius, of Montclair, N J. Mort \$45,000. Aug 18. Aug 19, |
1908. 2:619—16. A \$24,000—\$. other consid and 100
16th st W, No 347, n s, 225 e 9th av, 25x91.9, 5-sty brk tene- |
ment. Joseph Bruder to Gene wife of Joseph Bruder. B & S. |
Aug 1. Aug 17, 1908. 3:740—10. A \$10,500—\$23,000. nom

THE GEORGE A. JUST CO. IRON WORK

239 VERNON AVENUE FOR BUILDINGS

LONG ISLAND CITY NEW YORK

- 16th st W, No 130, s s, 375 w 6th av, 25x40.9x—x59.3, 3-sty brk dwelling. Joseph L Buttenwieser to Louise Fox. Mort \$10,000. Aug 4. Aug 19, 1908. 3:791-62. A \$9,500-\$11,000.
- 18th st E, No 530, s s, 183 w Av B, 43.9x92, 6-sty brk tenement and store. Jennie Goldstein to Celia Newkofsky and Rebecca Rosen. Mort \$45,500. Aug 15. Aug 20, 1908. 3:975-36. A \$10,500-\$44,000. nom
- 18th st W, Nos 334 and 338, s s, 395 w 8th av, 60x92, two 5-sty brk tenements. Mary F McKeon to Rev Wm H Murphy in trust for Anna M McKeon her daughter. B & S. Aug 13. Aug 14, 1908. 3:741-53 and 54. A \$30,000-\$70,000. nom
- 25th st W, No 262, the business thereat. Power of attorney. Frank Schroeder to Fred Schroeder. Aug 12. Aug 20, 1908. —
- 26th st W, Nos 37 to 43. Power of attorney. The West Twenty-sixth St Corp to Emanuel Pilpel. Aug 14. Aug 15, 1908. —
- 27th st W, No 141, n s, 475 w 6th av, 25x98.9, 3-sty brk tenement and 4-sty brk tenement in rear. Ida Margoles to the Junction Realty Co. Mort \$21,000. July 14. Aug 14, 1908. 3:803-15. A \$24,000-\$27,000. other consid and 100
- 28th st E, No 29, s s, 95 w Madison av, 25x98.9, 4-sty stone front dwelling. Arthur W Saunders to Louis J Ronder. Mort \$66,000. June 20, 1906. Aug 20, 1908. 3:857-66. A \$62,500-\$72,000. other consid and 100
- 28th st W, No 228, s s, 320.8 w 7th av, 24.10x98.9, 5-sty brk tenement and store and 4-sty brk tenement in rear. Oscar Oestreicher to Oestreicher Realty Co, a corpn. 1/2 part. Mort 1/2 of \$23,000. July 28. Aug 15, 1908. 3:777-59. A \$12,500-\$18,500. 100
- 28th st W, No 217, n s, 222.3 w 7th av, 24.10x98.9, 5-sty brk tenement and store and 3-sty brk tenement in rear. Isaac Oestreicher to Oestreicher Realty Co. Mort \$22,000. Aug 11. Aug 15, 1908. 3:778-30. A \$12,500-\$18,500. 100
- 30th st W, No 258, s s, 60 e 8th av, 20x63.4, 4-sty brk tenement and store. Oscar Oestreicher to Oestreicher Realty Co, a corpn. 1/2 part. Mort 1/2 of \$12,000. Aug 11. Aug 15, 1908. 3:779-74. A \$12,000-\$14,000. 100
- 31st st E, No 15, n s, 138.9 w Madison av, 21.10x98.9, 4-sty stone front dwelling. Arthur W Saunders to Wm F Havemeyer, of Shrewsbury, N J. Mort \$50,000. Apr 8. Aug 15, 1908. 3:861-12. A \$63,000-\$70,000. other consid and 100
- 31st st E, Nos 5 to 9 | n s, 150 e 5th av, runs n 197.6 to s s 32d 32d st E, Nos 6 to 10 | st, x e 66 x s 98.9 x w 0.4 1/2 x s 98.9 to n s 31st st, x w 65.7 1/2 to beginning, 4-sty stone front hotel in 31st st and three 4-sty stone front dwellings in 32d st. Arthur W Saunders to Harry P Ward of Closter, N J. Mort \$300,000. Mar 2, 1908. Aug 15, 1908. 3:861-7 to 9 and 70 to 72. A \$387,000-\$428,000. other consid and 100
- 34th st W, Nos 238 and 240, s s, 375 e 8th av, 41.8x98.9, 4-sty stone front dwelling and 5 and 6-sty brk tenement. City Real Estate Co to the Stuyvesant Real Estate Co. B & S and C a G. Morts \$30,000. Feb 6, 1902. Aug 19, 1908. 3:783-66 and 67. A \$94,000-\$110,000. nom
- 34th st W, No 242, s s, 352.6 e 8th av, 22.6x98.9, 4-sty stone front dwelling. City Real Estate Co to The Stuyvesant Real Estate Co. B & S and C a G. Mort \$15,000. Apr 16, 1902. Aug 18, 1908. 3:783-68. A \$49,000-\$52,000. nom
- 34th st W, No 244, s s, 330 e 8th av, 22.6x98.9, 4-sty stone front dwelling. City Real Estate Co to Stuyvesant Real Estate Co. B & S and C a G. Mort \$18,000. May 12, 1903. Aug 18, 1908. 3:783-69. A \$49,000-\$52,000. other consid and 100
- 34th st W, No 230, s s, 467.8 e 8th av, 17.8x98.9, 4-sty stone front dwelling. City Real Estate Co to The Stuyvesant Real Estate Co. B & S and C a G. May 7, 1903. Aug 18, 1908. 3:783-62. A \$38,000-\$41,000. other consid and 100
- 34th st W, No 232, s s, 450 e 8th av, 17.8x98.9, 4-sty stone front dwelling. City Real Estate Co to The Stuyvesant Real Estate Co. B & S and C a G. May 7, 1903. Aug 18, 1908. 3:783-63. A \$38,000-\$41,000. other consid and 100
- 34th st W, No 228, s s, 297 w 7th av, 17.8x98.9, 4-sty stone front dwelling. City Real Estate Co to The Stuyvesant Real Estate Co. B & S and C a G. May 7, 1903. Aug 18, 1908. 3:783-61. A \$38,000-\$41,000. other consid and 100
- 34th st W, No 250, s s, 253.11 e 8th av, 76x98.9, stone front church. City Real Estate Co to The Stuyvesant Real Estate Co. B & S and C a G. Mort \$5,000. May 7, 1903. Aug 18, 1908. 3:783-72. A \$195,000-\$230,000. other consid and 100
- 34th st W, No 234, s s, 350 w 7th av, 16.8x98.9, 4-sty stone front dwelling. City Real Estate Co to The Stuyvesant Real Estate Co. B & S and C a G. May 7, 1903. Aug 18, 1908. 3:783-64. A \$36,000-\$39,000. other consid and 100
- 34th st W, No 236, s s, 366 w 7th av, 16.8x98.9, 4-sty stone front dwelling. City Real Estate Co to The Stuyvesant Real Estate Co. B & S and C a G. Nov 19, 1902. Aug 18, 1908. 3:783-65. A \$36,000-\$39,000. nom
- 36th st W, No 430, s s, 375 w 9th av, 25x98.9, 5-sty brk tenement and store and 5-sty brk tenement in rear. John Sievers to Bertha wife John Sievers of West New York, Hudson Co, N J. B & S and confirmation deed. Aug 18, 1908. 3:733-54. A \$9,000-\$17,000. nom
- 36th st W, Nos 209 to 213, n s, 116.11 w 7th av, 50.9x75, three 4-sty brk tenements. William Richtberg to Whitney Lyon. Mt \$40,000. Aug 12. Aug 15, 1908. 3:786-37 to 39. A \$33,000-\$42,000. other consid and 100
- 38th st E, No 155, n s, 65.10 w 3d av, runs n 32.3 to s s former Susan st, x w 29.5 x n 60.8 to n s former Susan st, x w 4.10 x s 97 to 38th st, x e 34 to beginning, 3-sty brk tenement. Henry Nobel to Henrietta A Fajen. All liens. May 31, 1907. Aug 17, 1908. 3:894-40. A \$16,500-\$18,000. nom
- 41st st W, No 120, s s, 260 w 6th av, 20x98.9, 5-sty stone front dwelling. Lillian E Scofield to Robt H Strahan. Aug 18. Aug 19, 1908. 4:993-43. A \$40,000-\$44,000. nom
- 42d st W, No 202, s s, 20 w 7th av, 20x90, 4-sty brk and stone dwelling. James C Fuller to Commercial Savings Bank of Caro, Mich. All title. Q C. Given to secure note of \$2,500 at 7%. Prior morts \$42,000. Mar 28, 1906. Aug 17, 1908. 4:1015-35 1/4. A \$75,000-\$77,000. nom
- 42d st W, No 202, s s, 20 w 7th av, 20x90, 4-sty brk and stone dwelling. James C Fuller to John F Seeley of Caro, Mich. 1-24 part. Q C. July 19, 1906. Aug 17, 1908. 4:1013-35 1/4. A \$75,000-\$77,000. 1,500
- 43d st E, Nos 204 to 210, s s, 105 e 3d av, 100x100.5, 4 and 5-sty brk loft and store buildings. Morts \$30,000.
- 81st st E, Nos 104 and 106, s s, 225 w Lexington av, 83x102.2, two 6 and 7-sty brk tenements. Morts \$70,000.
- Thos J O'Reilly to Cornelius J Fyans. Aug 12. Aug 18, 1908. 5:1316-43. A \$44,000-\$60,000; 1509-66 and 68. A \$52,500-\$135,000. nom
- 44th st W, No 161 (127), n s, abt 105 e Broadway, 21x100.5, 4-sty stone front dwelling.
- 44th st W, Nos 157 and 159, n s, 122.8 e Broadway, new line, 42x100.5, two 5-sty stone front dwellings.
- Release dower. Mary Levy to Abraham J Levy. Mar 17. Aug 18, 1908. 4:997-6 to 8. A \$135,000-\$148,000. nom
- 44th st W, Nos 157 and 159, n s, 122.8 e Broadway, new line, 42x100.5, two 5-sty stone front dwellings. Abraham J Levy to Max Blumenthal. 1/2 of all title. Mort \$50,000. Aug 19. Aug 20, 1908. 4:997-7 and 8. A \$88,000-\$96,000. nom
- 44th st W, No 161 (127), n s, abt 100 e Broadway, 21x100.5, 4-sty stone front dwelling. Abraham J Levy to Max Blumenthal. 1/2 of all title. Aug 19. Aug 20, 1908. 4:997-6. A \$47,000-\$52,000. nom
- 52d st W, Nos 510 and 512, s s, 176.8 w 10th av, runs e 45 x s 105.5 x w 51.10 x —, two 2-sty fr tenements and stores and 2 and 3-sty brk tenements in rear. Mary Curran widow to John C Thompson. Mort \$12,500. Aug 17. Aug 18, 1908. 4:1080-38 and 39. A \$13,500-\$14,500. other consid and 100
- 53d st E, No 218, s s, 200 e 3d av, 20x90, 3-sty and basement stone front dwelling. Albert Freund et al to George Kilian. 4-5 parts. Mort \$8,000. Aug 12. Aug 19, 1908. 5:1326-40 1/2. A \$7,000-\$10,000. other consid and 100
- Same property. Rosie Lange to same. 1-5 part. All title. Mort \$8,000. July 29. Aug 19, 1908. 5:1326. other consid and 100
- Same property. Henry Freund to same. 1-5 part. All title. Mt \$8,000. July 27. Aug 19, 1908. 5:1326. other consid and 100
- 60th st E, No 102, s s, 20 e Park av, 20x100.5, 4-sty and basement stone front dwelling. Arthur W Saunders to Louis J Ronder. Mort \$30,500. May 17, 1905. Aug 20, 1908. 5:1394-71. A \$28,000-\$34,000. 100
- 60th st E, No 128, s s, 104.6 w Lexington av, 20.6x100.5, 4-sty and basement stone front dwelling. Arthur W Saunders to Louis J Ronder. Mort \$25,000. June 14, 1905. Aug 20, 1908. 5:1394-61. A \$26,000-\$30,000. other consid and 100
- 60th st E, No 130, s s, 84 w Lexington av, 20.6x100.5, 4-sty and basement stone front dwelling. Arthur W Saunders to Louis J Ronder. Mort \$25,000. June 14, 1905. Aug 20, 1908. 5:1394-61 1/2. A \$26,000-\$30,000. other consid and 100
- 65th st E, Nos 326 and 328, s s, 275 e 2d av, 37.6x100, 6-sty brk tenement and store. William Bachrach et al to Robert Bader. All liens. Aug 17. Aug 20, 1908. 5:1439-40. A \$15,000-\$45,000. other consid and 100
- Same property. Robert Bader to William and Julius Bachrach. Morts \$—. Aug 18. Aug 20, 1908. 5:1439. other consid and 100
- 66th st W, No 225, n s, 375 w Amsterdam av, 25x100.5, 5-sty brk tenement and store. Bernhard Klein to Chas A Bruhns. Mort \$17,200. Aug 19. Aug 20, 1908. 4:1158-17. A \$6,000-\$14,000. other consid and 100
- 66th st W, No 159, n s, 153.8 e Amsterdam av, 28.6x100.3x28.6x100.1, 5-sty brk tenement. FORECLOS, July 22, 1908. Louis B Hasbrouck ref to Margt F Downey of New Rochelle, N Y. July 27. Aug 14, 1908. 4:1138-7. A \$17,000-\$30,000. 36,900
- 70th st W, No 146, s s, 417 w Columbus av, 16x100.5, 4-sty and basement stone front dwelling. Annie Davis to Pauline B Cos-sitt. All liens. Aug 17. Aug 19, 1908. 4:1141-49 1/2. A \$11,500-\$21,500. other consid and 100
- 73d st E, Nos 233 and 235, n s, 125 w 2d av, 50x102.2, two 5-sty stone front tenements, store in No 233. Samuel Lehman to 174th Street Construction Co. Morts \$43,050. Aug 17. Aug 18, 1908. 5:1428-18 and 19. A \$22,000-\$46,000. other consid and 100
- 74th st E, No 410, s s, 213 e 1st av, 25x102.2, 7-sty brk tenement and store. Morris Solot to Molka Korenblatt. All liens. Aug 14, 1908. 5:1468-40. A \$8,000-\$32,000. other consid and 100
- 77th st E, No 62, s s, 120 e Madison av, 12.6x102.2, 4-sty stone front dwelling. Gertrude I Gillig to Tina L wife Palmer Coolidge. Mort \$20,000. Aug 17. Aug 18, 1908. 5:1391-49 1/2. A \$14,000-\$17,000. other consid and 100
- 80th st E, No 231, n s, 228.9 w 2d av, 25.5x102.2, 4-sty stone front tenement. Annie Bollet to Samuel Cohen. All liens. Aug 15. Aug 20, 1908. 5:1526-15. A \$10,500-\$14,000. nom
- 84th st W, No 153, n s, 175 e Amsterdam av, 32x102.2, 5-sty brk tenement. Rose Gutfreund to Robert Strahl, of Weehawken, N J. Mort \$29,000. July 15. Aug 20, 1908. 5:1215-8. A \$17,020-\$37,000. other consid and 100
- 84th st W, No 153, n s, 175 e Amsterdam av, 32x102.2, 5-sty brk tenement. Robert Strahl to Arnold Gutfreund, of Weehawken, N J. Mort \$29,000. July 20. Aug 20, 1908. 4:1215-8. A \$17,000-\$37,000. gift
- 86th st W, No 53, n s, 92.6 e Columbus av, 22x100.8, 4-sty and basement stone front dwelling. Rosalie Eckstein to Mark E Stroock. Mort \$25,000. Aug 17, 1908. 4:1200-5. A \$23,000-\$40,000. other consid and 100
- 88th st E, No 20, s s, 95 w Madison av, 25x100.8, 5-sty brk and stone tenement. Louise F Mahoney to Robert J Mahoney. 1/2 part. All title. Aug 18. Aug 19, 1908. 5:1499-60. A \$48,000-\$53,000. 100
- 88th st W, No 264, s s, 190 w Broadway, 18x100.8, 3-sty and basement stone front dwelling. Adolph J Jantzen to Eugenia Wolf. Mort \$15,000. Aug 19, 1908. 4:1235-59. A \$8,000-\$16,000. 100
- 88th st W, No 35. Power of attorney. Anna E O'Neil to Henry M O'Neil. June 16. Aug 19, 1908. 4:1202.
- 88th st W, No 35, n s, 429 e Columbus av, 21x100.8, 4-sty and basement stone front dwelling. Anna E O'Neil to Jane wife of Daniel Meenan. Mort \$20,000. Aug 18. Aug 19, 1908. 4:1202-18. A \$14,000-\$29,000. other consid and 100
- 89th st E, No 434, s s, 207 w Av A, 25x100.8, 5-sty stone front tenement. Matthew J Murphy and ano to Christian T Johannsen. Mort \$10,000. Aug 14. Aug 15, 1908. 5:1568-33. A \$8,000-\$19,000. other consid and 100

MAPLEDORAM & CO.

Bay Ridge Property

FIFTH AVE. AND 79th ST.

BROOKLYN, N. Y.

REAL ESTATE BROKERS

Our Specialty

TELEPHONE, 724 BAY RIDGE

- 89th st E, Nos 408 and 410, s s, 106 e 1st av, 40x100.8, 6-sty brk tenement. Samuel Sheindelman to Theresa J Feinberg. Mort \$49,000 and all liens. Aug 15. Aug 17, 1908. 5:1568-43. A \$14,000-\$50,000. nom
- 95th st E, Nos 309 and 311, n s, 175 e 2d av, 37.6x100.8, 6-sty brk tenement and store. E H Ogden Lumber Co to Selma Alexander. Undivided right, title and int. July 20. Aug 20, 1908. 5:1558-8. A \$11,000-\$44,000. nom
- Same property. Geo E Roche to same. Undivided right, title and int. July 20. Aug 20, 1908. 5:1558. nom
- Same property. all of. Selma Alexander to Bertha Weindrug. July 22. Aug 20, 1908. 5:1558. other consid and 100
- 95th st E, Nos 309 and 311, n s, 175 e 2d av, 37.6x100.8, 6-sty brk tenement and store. John Holl to Selma Alexander. All title. July 18. Aug 20, 1908. 5:1558-8. A \$11,000-\$44,000. nom
- 95th st E, Nos 309 and 311, n s, 175 e 2d av, 37.6x100.8, 6-sty brk tenement and store. Bertha Weindrug to Antonio Ferrara and Eduardo D'Argenio. Aug 20, 1908. 5:1558-8. A \$11,000-\$44,000. nom
- 99th st E, Nos 311 and 313, n s, 217 e 2d av, 37x100.11, 6-sty brk tenement and store. Release mort. Albert Crane to Thomas Graham of Brooklyn. Aug 11. Aug 17, 1908. 6:1671-10. A \$9,000-P \$35,000. 8,527.03
- 100th st E, No 407, n s, 137.1 e 1st av, 37.1x100.11, 6-sty brk tenement and store. Berliner & Greenberg to Selma Alexander. Mort \$41,000 and all liens. Aug 12. Aug 14, 1908. 6:1694-7. A \$7,500-\$42,000. other consid and 100
- 102d st E, No 164, s s, 245 w 3d av, 20x100.11, 4-sty stone front tenement. Sarah Rabinowitz to David Robins. Mort \$11,150. Aug 19, 1908. 6:1629-46½. A \$6,500-\$9,000. 100
- 104th st E, Nos 234 to 240, s s, 175 w 2d av, 75x100.11, two 6-sty brk tenements and stores. Annie Lipman to Hyman and Jacob Peskin. Mort \$86,375. July 23. Aug 14, 1908. 6:1653-32 and 33. A \$24,000-\$90,000. other consid and 100
- 104th st E, No 75, n s, 49.3 w Park av, 15.8x75, 3-sty stone front dwelling. Samuel Bach to Pauline Blum. Aug 11. Aug 14, 1908. 6:1610-34½. A \$4,500-\$6,000. nom
- 108th st E, No 2B, s s, 84 e 5th av, 26x100.11, 6-sty brk tenement and store. Release mort. Pincus Lowenfeld and Wm Prager to Chas I Weinstein. June 30. Aug 19, 1908. 6:1613-68. A \$13,500-\$34,000. nom
- 108th st E, No 2B, s s, 84 e 5th av, 26x100.11, 6-sty brk tenement and store. Chas I Weinstein to Abram Roseman. Mort \$30,000. June 12. Aug 19, 1908. 6:1613-68. A \$13,500-\$34,000. other consid and 100
- 108th st E, Nos 213 and 215, n s, 160 e 3d av, 50x100.11, two 4-sty stone front tenements and stores. Oscar Oestreicher to Oestreicher Realty Co. Mort \$24,000. July 28. Aug 15, 1908. 6:1658-7 and 8. A \$14,000-\$29,000. 100
- 108th st E, No 238, s s, 109 w 2d av, 25x100.11, 4-sty brk tenement and store. Graziano Scornavacche to Bartolo Scornavacche. Mort \$10,600. April 14. Aug 17, 1908. 6:1657-29. A \$7,000-\$15,000. other consid and 100
- 113th st W, n s, 150 w Amsterdam av, 75x100.11, vacant. Silverson & London Construction Co to Paterno Bros, a corpn. Mts \$50,000. Aug 13. Aug 15, 1908. 7:1885-24 to 26. A \$39,000-\$39,000. other consid and 100
- 114th st W, No 78, s s, 142.4 e Lenox av, 16.8x100.11, 3-sty and basement brk dwelling. Joseph Bruder to Gene wife of Joseph Bruder. B & S. Aug 1. Aug 17, 1908. 6:1597-65. A \$7,500-\$10,000. nom
- 115th st E, No 167½, n s, 245 w 3d av, 12.6x100, 3-sty stone front dwelling. FORECLOS. July 22, 1908. K Henry Rosenberg to Bertha Fibel. Aug 20, 1908. 6:1643-27. A \$4,000-\$6,000. 5,700
- 116th st W, Nos 60 and 62, s s, 125 e Lenox av, 50x100.11, 2-sty brk store. Jesse W Ehrich et al to Sixty-two West One Hundred Sixteenth Street, a corpn. Mort \$35,000. Aug 11. Aug 14, 1908. 6:1599-65. A \$30,000-\$35,000. other consid and 500
- 117th st E, No 419, n s, 212.9 e 1st av, 18.9x100.11, 4-sty brk tenement. Rosa wife of Wm Klinkel, Jr, to Domenico Sebastian. Mort \$5,000. Aug 17. Aug 19, 1908. 6:1711-10. A \$3,700-\$8,200. other consid and 100
- 117th st W, Nos 19 and 21, n s, 300.3 w 5th av, 34.8x100.11, 6-sty brk tenement. Orazio La Cagnina to Tommaso Loforte. Mt \$54,000. Aug 14. Aug 15, 1908. 6:1601-24. A \$18,000-\$49,000. other consid and 100
- 117th st E, No 416, s s, 194 e 1st av, 25x100.10, 5-sty brk tenement and store. Isaac Popkin et al to Jacob Tepper. All liens. July 31. Aug 14, 1908. 6:1710-42. A \$5,000-\$25,000. 100
- 117th st W, Nos 38 and 40, s s, 375 e Lenox av, 50x100.11, two 5-sty brk tenements. Richard Bullwinkle to Mary A Young. Mts \$50,000. Aug 13. Aug 14, 1908. 6:1600-55 and 56. A \$26,000-\$48,000. nom
- 118th st W, No 303, n s, 100 w 8th av, 25x100.11, 5-sty brk tenement. Alfred L M Bullowa et al to Gertrude K Brennan, of Orange, N J. Mort \$22,000. July 16. Aug 14, 1908. 7:1945-28. A \$11,000-\$23,000. nom
- 118th st W, No 303, n s, 100 w 8th av, 25x100.11, 5-sty brk tenement. Gertrude K Brennan to Alfred L M, Arthur M and Ernest E M Bullowa. Aug 7. Aug 14, 1908. 7:1945-28. A \$11,000-\$23,000. nom
- 118th st E, No 158, s s, 252.3 w 3d av, 25x100.11, 5-sty brk tenement. Edwd Zipser to Samuel Zipser. ½ part of all right, title and interest. May 8, 1905. Aug 20, 1908. 6:1645-47. A \$10,000-\$17,000. nom
- 120th st W, No 145, n s, 199 e 7th av, 19x100.11, 3-sty and basement stone front dwelling. Abram Roseman to Pincus Lowenfeld and Wm Prager. Mort \$12,000. July 1. Aug 18, 1908. 7:1905-10. A \$9,100-\$18,500. nom
- 121st st E, No 434, s s, 224.4 w Pleasant av, 25.8x100.11, 5-sty brk tenement. Isidore Rubin to Martin J Rubin. ½ part. Mort \$24,500. Aug 11. Aug 18, 1908. 6:1808-36. A \$5,000-\$22,000. other consid and 100
- 122d st W, No 137, n s, 408.4 w Lenox av, 16.8x100.11, 4-sty and basement brk dwelling. Release curtesy life interest, etc. Ellis Goldberg to Claire Goldberg. Q C. All title. Aug 9, 1906. Aug 17, 1908. 7:1907-15. A \$8,000-\$18,000. nom
- 122d st E, No 329, n s, 275 w 1st av, 21x100.11, 4-sty brk tenement. Freehold Construction Co to Annie Flynn. Mort \$7,500. Aug 13. Aug 17, 1908. 6:1799-16. A \$4,500-\$9,000. other consid and 100
- 122d st W, No 237, n s, 335 w 7th av, 14.6x100.11, 3-sty and basement stone front dwelling. Abraham S Gilbert to Rebecca Gilbert. Mort \$10,500. Feb 1, 1906. Aug 19, 1908. 7:1928-18. A \$6,600-\$10,000. nom
- 122d st E, No 112, s s, 112.6 e Park av, 27.6x100.11, 4-sty brk tenement. Mary Falkenberg to Marie Jung, of La Crosse, Wis, party 1st part, reserves life estate. Morts \$13,000. Aug 11. Aug 14, 1908. 6:1770-67. A \$7,700-\$19,000. nom
- 127th st W, Nos 145 and 147, n s, 150 e 7th av, 50x99.11, 6-sty brk tenement. W & B Realty Co to Esther Geiger. Mort \$75,000. Aug 17. Aug 19, 1908. 7:1912-8. A \$22,000-\$80,000. other consid and 100
- 129th st W, No 56, s s, 135 e Lenox av, 27.6x99.11, 5-sty stone front tenement. Ida Posternack widow to Fani Shiffman. All liens. Aug 19. Aug 20, 1908. 6:1726-66. A \$11,000-\$28,000. nom
- 129th st W, No 56, s s, 135 e Lenox av, 27.6x99.11, 5-sty stone front tenement. Matilda S Jones to Ida Posternack. Aug 13. Aug 15, 1908. 6:1726-66. A \$11,000-\$28,000. nom
- 135th st W, No 506, on map Nos 510 and 512, s s, 191.8 w Amsterdam av, 45.10x99.11, 6-sty brk tenement. Salvage Realty Co to Terrace Holding Co. Morts \$63,269.14. Aug 13. Aug 14, 1908. 7:1988-40. A \$18,500-P \$30,000. other consid and 100
- 135th st W, No 508, on map Nos 514 and 516, s s, 237.6 w Amsterdam av, 45.10x99.11, 6-sty brk tenement. Salvage Realty Co to Chas E Murtha, Jr. Morts \$61,269.14. Aug 13. Aug 14, 1908. 7:1988-42. A \$18,500-P \$30,000. other consid and 100
- 135th st W, No 510, on map Nos 518 and 510, s s, 283.4 w Amsterdam av, 45.10x99.11, 6-sty brk tenement. Salvage Realty Co to Curb Realty Co. Morts \$61,269.14. Aug 13. Aug 14, 1908. 7:1988-44. A \$18,500-P \$30,000. other consid and 100
- 135th st W, No 512, on map Nos 522 and 524, s s, 329.2 w Amsterdam av, 45.10x99.11, 6-sty brk tenement. Salvage Realty Co to Empire City Wood Working Co. Morts \$61,269.14. Aug 13. Aug 14, 1908. 7:1988-46. A \$18,500-P \$30,000. other consid and 100
- 135th st W, No 504, on map Nos 506 and 508, s s, 145.10 w Amsterdam av, 45.10x99.11, 6-sty brk tenement. Salvage Realty Co to Jacob Moersfelder. Morts \$63,269.14. Aug 13. Aug 14, 1908. 7:1988-39. A \$18,500-P \$30,000. other consid and 100
- 135th st W, No 502, on map Nos 502 and 504, s s, 100 w Amsterdam av, 45.10x99.11, 6-sty brk tenement. Salvage Realty Co to J & N Realty Co. Morts \$63,269.14. Aug 13. Aug 14, 1908. 7:1988-37. A \$18,500-P \$30,000. other consid and 100
- 138th st W, No 613, n s, 224.6 w Broadway, 15.6x99.11, 3-sty brk dwelling. Alice wife Oscar L Richard to Leonard W Simmons. Mort \$7,500. Dec 31, 1907. Aug 18, 1908. 7:2087-22. A \$4,500-\$10,500. nom
- 140th st W, No 66, s s, 110 e Lenox av, 40x100, 6-sty brk tenement. Orazio La Cagnina to Tommaso Loforte. Morts \$55,000. Aug 14. Aug 15, 1908. 6:1737-66. A \$11,500-\$48,000. other consid and 100
- 145th st W, n s, 470 w 7th av, 205x99.11, vacant. Mary E Haynes to W & B Realty Co. All liens. May 13. Aug 19, 1908. 7:2031-5. A \$-\$. other consid and 100
- 145th st W, Nos 227 to 237, n s, 350 w 7th av, 120x99.11, three 6-sty brk tenements and stores. W & B Realty Co to Esther Geiger. Mort \$120,000. Aug 15. Aug 19, 1908. 7:2031-14 to 17. A \$-\$. other consid and 100
- 145th st W, n s, 100 e 8th av, 205x99.11, vacant. W & B Realty Co to Jacob Shevell. Mort \$114,250. Aug 15. Aug 19, 1908. 7:2031-5. A \$-\$. other consid and 100
- 151st st W, No 452, s s, 254 e Amsterdam av, 21x99.11, 5-sty brk tenement. Thos J Meehan to Elizabeth J Dougan. Morts \$18,000. Aug 15. Aug 17, 1908. 7:2065-54. A \$4,800-\$17,000. other consid and 100
- 153d st W, s s, 150 w Broadway, 100x100, 2-sty frame stable and vacant. Benjamin Lichtblau to Bernard Reich. All title. Mts \$24,000. Jan 31, 1907. Re-recorded from Feb 1, 1907. Aug 14, 1908. 7:2099-40 to 43. A \$12,000-\$12,000. other consid and 100
- 166th st W, Nos 453 and 455, n s, 250 e Amsterdam av, 50x60, 5-sty brk tenement. Release mort. State Bank to Trial Realty Co. Aug 13. Aug 14, 1908. 8:2111-105. A \$-\$. nom
- Same property. Release mort. American Mortgage Co to same. Aug 12. Aug 14, 1908. 8:2111. nom
- 166th st W, Nos 457 and 459, n s, 200 e Amsterdam av, 50x76.6, 5-sty brk tenement. Release mort. State Bank to Trial Realty Co. Aug 13. Aug 14, 1908. 8:2111-107. A \$-\$. nom
- Same property. Release mort. American Mortgage Co to same. Aug 12. Aug 14, 1908. 8:2111. nom
- 172d st W, Nos 503 to 509, n s, 100 w Amsterdam av, 87.6x94.6, two 5-sty brk tenements. Albert London to Louis London. Mort \$83,000. April 9. Aug 17, 1908. 8:2129-part of lots 24 to 29. other consid and 100
- 179th st W, s s, 125 e St Nicholas av, 125x100, vacant. Abraham Ruth to South Side Construction Co. Mort \$35,000. July 21. Aug 14, 1908. 8:2153-10. A \$30,000-\$30,000. other consid and 100
- Amsterdam av, Nos 1109 to 1115, e s, 40.11 s 115th st, 80x100, two 6-sty brk tenements and stores. The Polstein Realty and Construction Co to Frederick-Ruth Realty Co, a corpn. Mort \$132,800. July 15. Aug 20, 1908. 7:1867-40 and 41. A \$58,000-P \$80,000. other consid and 100
- Bowery, No 230 | s w cor Prince st, 27.8x99.7x48.9x100.3, 6-sty Prince st, Nos 2 to 6 | brk tenement and store. Emil Adler to Leopold Adler. 1-3 part. All title. All liens. July 28. Aug 18, 1908. 2:492-19. A \$55,000-\$105,000. other consid and 100
- Broadway, No 3147, w s, 100 n 125th st, 41.8x100, 6-sty brk tenement and store. Charles Kaiser et al to Cora B Redfern. Morts \$54,500. Aug 13. Aug 17, 1908. 7:1993-79. A \$25,000-\$65,000. other consid and 100
- Broadway, No 3151, w s, 183.3 n 125th st, 41.7x100, 6-sty brk tenement and store. Charles Kaiser to Wm B Mott. All title. Mort \$54,500. Aug 13. Aug 14, 1908. 7:1993-82. A \$25,000-\$65,000. other consid and 100
- Columbus av, No 975 | s e cor 108th st, 25.11x100, 5-sty brk tenement and store. Laura E Simonson to Thomas Reynolds. Mort \$48,000. Aug 14. Aug 15, 1908. 7:1843-61. A \$25,000-\$51,000. other consid and 100

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TELEPHONE, 1835-6 CHELSEA

Lenox av, No 371, w s, abt 55 s 129th st, —x—, all of, 4-sty brk tenement and store.

48th st W, No 114, s s, abt 165 w 6th av, —x—, ½ part, 4-sty stone front dwelling.

Revocation of trust deed dated Aug 11, 1908. Julia D J de Vado to United States Trust Co of N Y, in trust. Aug 17. Aug 18, 1908. 7:1913-34. A \$7,500-\$13,000. 4:1000-39. A \$30,000-\$32,000.

Madison av, No 1483, e s, 25.5 s 102d st, 25.2x106.5x25.9x111.10, 5-sty brk tenement and store. Marcus Rosenthal to Isaac Silberberg. Mort \$35,000. Aug 13. Aug 15, 1908. 6:1607-50. A \$17,000-\$30,000.

Madison av, No 1439, e s, 54.10 n 99th st, 27x100, 5-sty brk tenement and store. Thomas Reynolds to Laura E Simonson. Mort \$27,500. Aug 13. Aug 15, 1908. 6:1605-22. A \$21,000-\$30,000.

Park av | n e cor 104th st, 100.11x25, 5-sty stone front 104th st, No 101 | tenement and store. Samuel Bach to Fani Shiffman. Mort \$33,000. Aug 11. Aug 15, 1908. 6:1632-1. A \$15,000-\$27,000.

Park av | n e cor 104th st, 100.11x25, 5-sty stone front 104th st, No 101 | tenement and store. Bessie Bach to Fani Shiffman. Mort \$35,000. Aug 13. Aug 15, 1908. 6:1632-1. A \$15,000-\$27,000.

Park av, No 1260 | n w cor 97th st, 100.11x100, three 6-sty brk 97th st | tenements, stores on cor. FORECLOS, July 20, 1908. Louis F Doyle ref to David Kidansky, N Y, and Louis J Levy, of Spring Valley, N Y. Aug 20, 1908. 6:1603-33. A \$55,000-\$—, \$15,000 over and above mortg of 142,600

Park av, No 1712, w s, 24.11 s 120th st, runs w 30 x s 0.2 x w 59.11 x s 25.2 x e 89.11 to av, x n 25.5 to beginning, 5-sty brk tenement and store. Harris Schwartz to Hannah Ruderman. B & S. All liens. Aug 19. Aug 20, 1908. 6:1746-39. A \$7,000-\$21,000.

Park av, No 61, e s, 49.7 s 38th st, 24.7x80, 4-sty stone front dwelling. Rapid Transit Subway Construction Co to Geo A Plimpton. Mort \$59,000. Aug 12. Aug 19, 1908. 3:893-91. A \$51,000-\$65,000.

Riverside Drive, No 94, e s, 64.2 s 82d st, runs e 70.3 x n 15.6 x w 26.6 x n w 6.3 x w 47 to drive, x s 21.2 to beginning, 4-sty and basement stone front dwelling. Charles Bruno to Wm H Gentzlinger. Mort \$27,000. Aug 17, 1908. 4:1244-92. A \$18,000-\$30,000.

St Nicholas av, No 1543, w s, 15.10 n 187th st, 20x80, 3-sty brk dwelling. Frank R Adams to Maude T Mason. Mort \$9,000. Aug 11. Aug 19, 1908. 8:2168-22. A \$6,000-\$9,000.

St Nicholas av, No 1543, w s, 15.10 n 187th st, 20x80, 3-sty brk dwelling. Power of attorney. Frank R Adams to John B White. July 16. Aug 19, 1908. 8:2168-22. A \$6,000-\$9,000.

1st av, Nos 1026 to 1030 | n e cor 56th st, 60x94, three 4-sty 56th st, No 401 | stone front tenements and stores. Chas Geiger to Saml Wacht. ½ part. Mort \$44,500. Aug 15. Aug 19, 1908. 5:1368-1 to 2. A \$28,000-\$45,000.

1st av, No 1108, e s, 75.5 n 60th st, 25x100, vacant. Samuel Wacht to Charles Geiger and Solomon Braverman. ½ part. Mort \$9,000. Aug 15. Aug 19, 1908. 5:1455-4. A \$10,000-\$10,000.

2d av, No 697, w s, 78.7 s 38th st, 19.6x80, 4-sty brk tenement and store. Aristides Martinez to Thos P J Delehanty. Mort \$8,000. Aug 19. Aug 20, 1908. 3:918-31. A \$10,000-\$12,500.

2d av, No 1894 | s e cor 98th st, 25x100, 5-sty brk tenement 98th st, No 300 | and store. Benjamin or Benj V Abraham to Isaac S Heller. B & S. Mort \$26,200. Aug 14. Aug 15, 1908. 6:1669-49. A \$14,000-\$32,000.

2d av, No 2282 | n e cor 117th st, 25x81, 5-sty stone front tene- 117th st, No 301 | ment and store. Elias Feinberg to Abraham Michaels. Mort \$31,000. Aug 17. Aug 18, 1908. 6:1689-1. A \$13,000-\$28,000.

2d av, No 1883, w s, 24.11 n 97th st, 25x100, 5-sty brk tenement and store. Isidore Rubin to Martin J Rubin. ½ part. Mort \$23,000. Aug 11. Aug 18, 1908. 6:1647-22. A \$12,000-\$23,000.

2d av, No 2057, w s, 50.6 s 106th st, 25x73, 4-sty stone front tenement and store. Henry Friedman to Morris Lang. Mort \$15,000. Aug 14. Aug 18, 1908. 6:1655-26. A \$7,500-\$16,000.

3d av, Nos 371 and 373 | s e cor 27th st, 49.10x85, 7 and 8-sty 27th st, Nos 200 and 202 | brk tenement and store. 3d av, No 369, e s, 49.10 s 27th st, 24.2x85, 7-sty brk loft and store building.

27th st, Nos 204 to 208, s s, 85 e 3d av, 75x98.8, 5 and 6-sty brk loft and store building.

26th st, No 209, n s, 110 e 3d av, runs e 25 x n 98.8 x w 27 x s 49.4 x e 2 x s 49.4 to beginning, 6-sty brk loft and store building.

August Oppenheimer to Minnie J Robinson. All title. B & S. Aug 14. Aug 15, 1908. 3:907-56, 57, 54 and 8. A \$110,000-\$262,000.

4th av, Nos 51 to 59 | n w cor 17th st, runs w 127.7 x n 109 x e 17th st No 39 | 49 x n 33 x e 78.7 to w s 4th av, x s 142 to beginning, 5-sty brk and stone hotel. The Alliance Realty Co to Everett Investing Co, a corpn. ¼ part. Mort \$713,000. Aug 5. Aug 17, 1908. 3:846-33. A \$475,000-\$650,000.

Same property. Century Investing Co to same. ½ part. Mort \$713,000. Aug 5. Aug 17, 1908. 3:846. other consid and 100

Same property. Star Holding Co to same. ¼ part. Mort \$713,000. Aug 5. Aug 17, 1908. 3:846. other consid and 100

5th av, Nos 1263 to 1269 | s e cor 108th st, 100.11x110, three 6- 108th st, Nos 2A and 2B | sty brk tenements and stores. Release judgment. Lester C Lockwood to Chas I Weinstein. Q C. Aug 11. Aug 19, 1908. 6:1613-68 to 71. A \$103,500-P \$199,000.

5th av, Nos 1263 to 1269 | s e cor 108th st, 100.11x110, three 6- 108th st, Nos 2A and 2B | sty brk tenements and stores. Release judgment. Isidor Pollock to Chas I Weinstein. Aug 17. Aug 19, 1908. 6:1613-68 to 71. A \$103,500-P \$199,000.

5th av, No 2100 | n w cor 129th st, 99.11x110, 6-sty brk tene- 129th st, No 1 | ment. Charles Wolfson to Emile Utard. Correction deed. Mort \$180,000. July 11. Aug 15, 1908. 6:1727-33. A \$85,000-P \$150,000.

6th av, No 818, e s, 130 s 47th st, 20x90.2, 4-sty brk tenement and store. Release judgment. Mary B Slevin to Catherine E Smith. All title. Aug 11. Aug 19, 1908. 5:1262-3. A \$30,000-\$34,000.

Same property. Release judgment. Mary B Slevin to same. All title. Aug 11. Aug 19, 1908. 5:1262.

6th av, No 818, e s, 130 s 47th st, 20x90.2, 4-sty brk tenement and store. Release mort. Mary B Slevin to Cath E Smith. Aug 11. Aug 18, 1908. 5:1262-3. A \$30,000-\$34,000.

Same property. Release mort. Same to same. Aug 11. Aug 18, 1908. 5:1262.

Same property. Release mort. Mary B Slevin to same. Aug 11. Aug 18, 1908. 5:1262.

Same property. Release mort. Same to same. Aug 11. Aug 18, 1908. 5:1262.

Same property. Bridget D and Philip A Fitzpatrick EXRS John J Fitzpatrick to same. All title. Confirmation deed. Aug 17. Aug 18, 1908. 5:1262.

Same property. Bridget D Fitzpatrick to same. Q C. Aug 17. Aug 18, 1908. 5:1262.

Same property. Bridget D Fitzpatrick as TRUSTEE Philip A Fitzpatrick to same. B & S. All title. Confirmation deed. Aug 17. Aug 18, 1908. 5:1262.

Same property. Philip A Fitzpatrick to same. Q C and Confirmation deed. Aug 17. Aug 18, 1908. 5:1262.

Same property. Bridget D Fitzpatrick EXTRX and TRUSTEE Philip Fitzpatrick to same. Aug 17. Aug 18, 1908. 5:1262.

6th av, No 818, e s, 130 s 47th st, 20x90.2, 4-sty brk tenement and store. Release mort. Mary B Slevin to Cath E Smith. Aug 11. Aug 18, 1908. 5:1262-3. A \$30,000-\$34,000.

8th av, No 2431, w s, 50.6 n 130th st, 25.6x100, 5-sty brk tenement and store. Thomas Scholes to Florence Rittwagen. Mort \$23,000. Aug 20, 1908. 7:1958-8. A \$14,000-\$21,000.

10th av, No 738, e s, 49.6 n 50th st, 25.8x73, 4-sty brk tenement and store. Frank Battenhausen et al to Patrick J Cronin. Mort \$18,000. Aug 15. Aug 20, 1908. 4:1060-3. A \$12,500-\$18,000.

MISCELLANEOUS.

Power of attorney. Margt B Monahan to Henry N Tiff. Jan 15. Aug 18, 1908.

Power of attorney. Anna Weiler to Henry Seib. July 14. Aug 14, 1908.

Power of attorney. Sofia Raab to Samuel Raab. Aug 1. Aug 14, 1908.

BOROUGH OF THE BRONX.

Under this head the * denotes that the property is located in the new Annexed District (Act of 1895).

*Bayard st, w s, 200 s 236th st, 25x100. Joseph L Zoetzi to J C Julius Langbein. Mort \$150. Aug 12. Aug 15, 1908.

Clinton pl, No 78 | s s, 366 w Grand av, 52.8 to e s Aqueduct av, Aqueduct av | x101.4x69.8x100, 2-sty frame dwelling and vacant. Release mort. Lambert S and Abraham C Quackenbush to Michael J Keenan. July 31. Aug 14, 1908. 11:3207.

*East st, s s, at e s land Chas E Mead, runs s 100.4 x e 111.7 x n 98.9 to st, x w 114.1 to beginning, City Island. Wm J Bush to Mary A R wife of Wm J Bush. Aug 12. Aug 18, 1908.

*Fillmore st, e s, 101 s Morris Park av, 25x100x-x101. Henrietta Schmidt to Louis C Pils. Q C. Aug 18. Aug 19, 1908.

*Graham st, e s, 231 n Morris Park av, 25x95. Frank Jenik to John Jenik. ½ part. All title. All liens. Aug 15. Aug 17, 1908.

*Silver st, n s, 25 w Roselle st, 25x98.11x25x97.1, Westchester. Raymond W Coble to Rosetta M Coble. Q C. All liens. July 22. Aug 17, 1908.

*Van Buren st, e s, 187.6 s Morris Park av, 75x100. Bertha Jacobowitz to Sadie Jacobowitz. Mort \$11,000. Aug 13. Aug 17, 1908.

*Willow Lane road, leading to Pelham, adj land of Thomas Montgomery, runs s 30 x w 150 x n 30 x e 150 to beginning, Throggs Neck.

Willow Lane, leading from Throggs Point to Pelham Bridge, 30 s land of Loretta Clapp, runs w 150 x n 30 x e 150 x s 30 to beginning.

Julia Boes to Maud A Boes. ½ part. All title. Subject to life estate of Albert S Clapp. Mort \$600. Aug 15. Aug 18, 1908.

*Willow lane, s s, 75 e Robin av, 25x95.1x25x95.11, Tremont Terrace. Gaetano Adinolfi to Stella Sabatella. Q C. Mar 25. Aug 14, 1908.

*5th st | s s, 255 e Av D, 50x216 to n s 4th st, Unionport. Frances 4th st | R Lithgow to Ella G Halsey. 1-5 part. B & S. Mar 23. Aug 14, 1908.

*12th st, s s, 380 e Av D, 25x100, Unionport. Mort \$4,000. Valued at \$7,350.. CONTRACT TO EXCHANGE for Prospect av, e s, 125 n 183d st, 50x104x50x107.6, vacant. Mort \$2,150. Valued at \$6,500.

Philip Kaufman with John Cook. Aug 7. Aug 19, 1908. 11:3114 and *.

137th st, Nos 622, old No 902, s s, about 245 w Cypress av; also 600 w Home av, 25x100, 4-sty brk tenement. Ben Cohen to Ignaz Luft. Mort \$10,000. Aug 15. Aug 19, 1908. 10:2549.

148th st, No 461, n s, 115 w Brook av, 25x99.11, 4-sty brk tenement. Wm J Muller of Brooklyn to Mary E Muller, of Orange, N J. B & S. Oct 10, 1906. Aug 19, 1908. 9:2293.

148th st, No 461, n s, 115 w Brook av, 25x99.11, 4-sty brk tenement. Mary E Muller to James A Collins. Mort \$11,500. Aug 15. Aug 19, 1908. 9:2293.

157th st, n s, 198 w Courtlandt av, a strip, runs n 1¼ to n s Prospect st, x w 25 x s 1¼ to n s 157th st, x e 25 to beginning. Charles Schied EXR Caspar Schied to Annie Berner. July 30. Aug 17, 1908. 9:2417.

158th st, Nos 421 and 423, n s, 150 w Elton av, 50x100, with all title to land in front of above and bet n s Milton st, 6-sty brk tenement. Chas H Zumbuehl to Edward Riegelmann. Mort \$43,500. Aug 14. Aug 15, 1908.

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166th st, No 971, n s, 100 w Union av, old line, 75x150, except part for 2-sty frame dwelling and vacant. FORECLOS, Aug 6, 1908. Clarence R Freeman ref to City Real Estate Co. Aug 14, 1908. 10:2671. 10,100
174th st, Nos 492 to 496, s s, 37.6 w Bathgate av, 76.11x100.2x76.11 x100.3, two 6-sty brk tenements and stores. 174th Street Construction Co to Samuel Lehman. Morts \$74,000. Aug 17, 1908. 11:2915. other consid and 100
Same property. Samuel Lehman to Abraham H Vogel. Morts \$74,000. Aug 17, 1908. 11:2915. other consid and 100
179th st, No 232, s s, 80.2 w Anthony av, 25x69.9x25x68.6, 2-sty frame dwelling. Amelia Schlesinger to Eliz J Riley. Mort \$5,750. Aug 14, 1908. 11:2811. other consid and 100
179th st, No 803, n s, 24 e Mapes av, 21x103, 2-sty frame dwelling. John A Steinmetz to William Steinmetz. Mort \$5,000. Aug 13, 1908. 11:3108. other consid and 100
194th st, No 342 (674), s s, 22.1 e Marion av, 18x80.9x18x80.2, 2-sty frame dwelling. Wm H Wright to Helena Rheinisch. Mort \$4,750 and all liens. July 1, 1908. 12:3276. nom
*211th st, s s, and being lots A, B, C, D, E and F map W F Duncan at Williamsbridge. Filomena Cipolla to J Alfred Burlando. Mort \$1,000. June 18, 1907. Aug 20, 1908. nom
*215th st, late 1st av, s s, abt 356 w 5th av, 34.8x87.6, Wakefield. Dominico Bonomolo to Francesco Maccarrone. 1/2 part. All title. Mort \$2,000. June 24, 1908. other consid and 100
*217th st (3d av), s s, 255 w 5th av, 25x114, Wakefield. Henry Adler to Jos Bloch. Aug 5, 1908. Aug 20, 1908. nom
*Same property. Joseph Bloch to John J Kain. Aug 6, 1908. Aug 20, 1908. nom
*234th st, n s, 105.6 e Carpenter av, 50.6x114.6, Wakefield. Release mort. Hamilton Bank of N Y to Max and Annie Germansky. Aug 12, 1908. Aug 14, 1908. 2,000
*234th st, n s, 105.6 e Carpenter av, 25x114.6, Wakefield. Max Germansky and Annie his wife to Paul F Weinbeer. Mort \$4,350. Aug 13, 1908. Aug 14, 1908. other consid and 100
*235th st, n s, 55 w Old White Plains road, runs n 114 x e 8.6 to Old White Plains road, x s w about 123.6 to st, x w 55 to beginning, Wakefield. Edw L E Phipps to Albina De Palma. Aug 11, 1908. Aug 19, 1908. other consid and 100
237th st, No 211, n s, 100 e Keppler av, 40x100, 2-sty frame dwelling, 13-14 parts.
237th st, No 215, n s, 140 e Keppler av, 40x100, 2-sty frame dwelling and 2-sty frame stable in rear. 6-7 parts.
David Forsyth et al to Otto P Schroeder. All title. Aug 18, 1908. 12:3378. 6,042.87
237th st, No 215, n s, 140 e Keppler av, 40x100, 2-sty frame dwelling and 2-sty frame stable in rear. Mary J Forsyth by Edw L Thompson her COMMITTEE to Otto P Schroeder. 1-7 part. All title. B & S. Aug 18, 1908. 12:3378. 542.85
Same property, all of. Otto P Schroeder to Richard Stahl. Mort \$2,800. Aug 18, 1908. Aug 19, 1908. 12:3378. other consid and 100
237th st, No 211, n s, 100 e Keppler av, 40x100, 2-sty frame dwelling. Mary J Forsyth by Edw L Thompson her COMMITTEE to Otto P Schroeder. 1-14part. All title. B & S. Aug 18, 1908. 12:3378. 214.28
Same property. All of. Otto P Schroeder to Jennie Hughes. Mort \$2,000. Aug 18, 1908. Aug 19, 1908. 12:3378. 100
Arthur av, Nos 2183 and 2185, w s, 33.4 s 182d st, 33.4x80, two 3-sty brk tenements. Herman Kahn to Wm F Kenyon. Mort \$14,000. Aug 14, 1908. 11:3063. other consid and 100
Anthony av, No 1706 | s e cor 174th st, 21.9x100.2x23.1x100.5, 2-174th st | sty frame dwelling and 2-sty frame building in st. Joseph Philipp to Brown and Root Co, a corpn. Mts \$11,500. Aug 14, 1908. 11:2889. nom
Av St John | s e cor Kelly st, 250 to n s Beck st, x107.5, except Kelly st | part for sts and av, vacant. B G F Realty Co to Beck st | Robt Buchanan. Mort \$38,500. June 30, 1908. Aug 14, 1908. 10:2685. other consid and 100
Same property. Robert Buchanan to Wm J Hauser. Party 1st part reserves any buildings on the property. Mort \$38,500 and all liens. July 31, 1908. Aug 14, 1908. 10:2685. nom
Bryant av, No 1493, w s, 180 s 172d st, 20x100, 3-sty brk dwelling. Davis & Silverman to Isidor Newman. Mort \$7,000. Aug 19, 1908. 11:2995. nom
Brook av, No 1006, e s, 123.1 s 165th st, 26.6x155.11x25x164.9, 4-sty brk tenement. Philip Meyerowitz et al to Nathan Solomon. Morts \$18,600. July 14, 1908. 9:2386. nom
Brook av, No 1006, e s, 123.1 s 165th st, 26.6x155.11x25x164.9, 4-sty brk tenement. Nathan Solomon to Armor Realty Co. 3/4 part and Abraham Gabriel 1/4 part. Morts \$18,600. Aug 18, 1908. 9:2386. other consid and 100
Briggs av, No 2661, w s, 171.8 n 194th st, 22x77.2x22.1x74.11, 2-sty frame dwelling. Wm H Wright & Son, a corpn, to Nathaniel B Sawyer and Anna M his wife, tenants by entirety. Mort \$4,000. Aug 17, 1908. 12:3300. other consid and 100
Briggs av, No 2666, e s, 238.2 n 194th st, 22.8x75.10x22.7x74.11, 2-sty frame dwelling. Nathaniel B Sawyer to Wm H Wright. Mort \$4,000. Aug 17, 1908. 12:3294. other consid and 100
Boston road, No 1384, s e s, 320 n e Union av, runs n e 31.4 and 21.8 x s e 139.7 x s w 23.10 x n w 134.3 to beginning, 5-sty brk tenement and store. Julia Lichtenstadter to Mary R Spero. 1/2 part. Q C. Mort \$42,000. July 1, 1908. 11:2962. other consid and 100
*Broadway, n w cor Tremont road, runs w 194.3 x n 100 x e 50 x s 50 x e 112.11 to Broadway, s e 59 to beginning. Release mort. A Morton Ferris to Bankers Realty & Security Co. Aug 3, 1908. 1908. 1,000
Brook av, No 1522, e s, 200 n 171st st, 25x100.11, 4-sty brk tenement. Wm F Kenyon to Katie O Kahn. Aug 17, 1908. 11:2895. other consid and 100
*Boston road, n w s, 25 s w Thwaites pl, 25x106.6x25x107.9, except part for White Plains road. Geo A Riehl to Adam Herlich. Mort \$9,000. Aug 13, 1908. 1908. omitted
*Beach av or 173d st, e s, 300 n Gleason av, 25x100. James Garvey to Thomas Davies and Elizabeth his wife, tenants by entirety. Mort \$3,500 and all liens. Aug 15, 1908. 100
Bathgate av, No 1822, e s, 128.5 n 175th st, 41.6x99.2x41.6x99.1, 5-sty brk tenement. Release mort. The Corn Exchange Bank to Streebrook Realty Co. Aug 11, 1908. 11:2923. 30,000

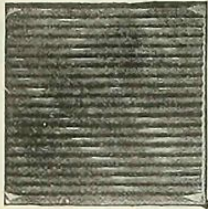
*Becker av, n e s, w 1/2 of lot 125 map Washingtonville, 25x100. James Wilkinson to Wm D Miller. Mar 30, 1903. Aug 17, 1908. 2,500
Bainbridge av, No 2667, w s, 262.11 n 194th st, 25x76.8x25x75.7, 2-sty frame dwelling. Wm H Gay to John S Arcangelo. Mort \$4,000. Aug 17, 1908. 12:3294. other consid and 100
*Burdett av, n s, 284.4 w Fort Schuyler road, 50x100, Tremont Heights. Release mort. Eugene R Dennis et al to The Lampport Realty Co. Aug 15, 1908. Aug 18, 1908. 400
Bryant av, No 1494, e s, 150 s 172d st, 25x100, 3-sty brk dwelling. Ida Davis to Jennie Kind. Morts \$10,000. Aug 12, 1908. 11:3000. other consid and 100
Crotona av | n w cor 187th st, 75x80, vacant. Ignatz Greenberger 187th st | to Alexander Geiger. 1/2 part. Mort \$5,000. Aug 13, 1908. 11:3105. nom
Concord av, w s, 177.9 n 147th st, 19.9x100, 2-sty frame dwelling. D J Dillon Co to Peter E Murphy. Mort \$5,500. Aug 14, 1908. 10:2579. other consid and 100
Carter av, w s, 209.3 s Tremont av, 18.9x115, 2-sty frame dwelling. German Construction Co to Augusto Pellegrinelli. Mort \$4,000. Aug 11, 1908. 11:2892. other consid and 100
Cambreleng av, No 2305, w s, 117.7 n 183d st, 16.8x100, 2-sty frame dwelling. Harry Cahn et al to John Wallace. Mort \$2,500. Aug 11, 1908. 11:3088. other consid and 100
*Cedar av, n e cor Elm st, 26.2x100. Release mort. Wm G Wood and ano TRUSTEES Maria Wood to Abraham Shatzkin. July 3, 1908. 1908. 514.75
*Cleveland av, n s, w 1/2 of lot 108 map Penfield property at South Mt Vernon, 25x103.6x25.8x97.9. Michael A Grimes to Charles Krauss. Mort \$400. Aug 19, 1908. Aug 20, 1908. nom
Crotona av, w s, 104.5 s 182d st, runs s along av, 25.1 x w 100 to beginning (?) probable omission, vacant. Antonio Abruscato to Salvatori Abruscato. All title. Aug 18, 1908. Aug 20, 1908. 11:3083 and 3084. nom
Eagle av, No 896, e s, 62.6 n 161st st, 18.9x100, 4-sty brk tenement. Katie Zorn to Conrad Mueller. Mort \$9,500. Aug 14, 1908. 10:2627. other consid and 100
*Edwards av, e s, 125 n Marrin st, 75x100. Christian Strohm to Henrietta C Wettje. Mort \$900. Aug 15, 1908. Aug 18, 1908. other consid and 100
Forest av, e s, 107.10 s 165th st, strip, 17.10x2.4, bet old and new lines of av. Henry L Morris and ano as TRUSTEES, &c. Gouverneur Morris to Susie Stash. Q C. All title. July 8, 1908. 1908. 10:2659. 50
Forest av, No 864, e s, 51.2 s 161st st, 25x100, 3-sty frame tenement and store and 1-sty frame stable in rear. Timothy F Sullivan to The Bungay Co. Mort \$7,000. Aug 14, 1908. Aug 15, 1908. 10:2657. other consid and 100
Gun Hill road, n s, 101.8 e DeKalb av, 76.3x115.6x75x101.3, vacant. Arthur W Saunders to Louis J Ronder. B & S and C a G. Mort \$5,287.50. Dec 8, 1905. Aug 20, 1908. 12:3328. other consid and 100
*Grace av, n e s, 175 s Lyon av, 25x130. Alex F Walsh to James F Donnelly. Mort \$4,000. Aug 1, 1908. Aug 20, 1908. other consid and 100
Hoe av, No 1151, w s, 225 n 167th st, 25x100, 3-sty frame tenement. Jacob Pkelner to Margt W Mark. Mort \$9,000. Aug 18, 1908. 10:2745. other consid and 100
Hughes av, e s, 190 n 189th st, 25x87.6, vacant. Geo E Stonebridge to Gaetano Ambriola. Mort \$6,500. Aug 18, 1908. Aug 20, 1908. 11:3078. other consid and 100
Hughes av, e s, 190 n 189th st, 25x87.6. Agreement as to release mort, &c. Ottilie Siedler to Geo E Stonebridge. July 20, 1908. 11:3078. nom
Hoe av, Nos 1141 and 1143, w s, 100 n 167th st, 50.4x100, two 2-sty frame dwellings. Otto J Scheina to Mary F Scheina. Mort \$9,000. Aug 19, 1908. Aug 20, 1908. 10:2745. nom
Hoe av, No 1497, w s, abt 125 s 172d st, —x—, 2-sty frame dwelling. Elizabeth Reilly to Peter Purfield. Mort \$3,000. Aug 17, 1908. 11:2981. other consid and 100
Jackson av, No 887, w s, 134.3 n 161st st, 19.9x75, 2-sty frame dwelling. Charlotte Wolff to Emma Greiner. Mort \$4,000. Aug 13, 1908. Aug 14, 1908. 10:2638. other consid and 100
Jerome av | s e cor 194th st, late Kingsbridge road, runs e 260 to 193d st | w s Morris av, x s 259.2 to n s 193d st, x w 260 to 194th st | e s Jerome av, x n 259.2 to beginning, vacant. Release Morris av | mort on above and agreement that 14th st, No 110 West be conveyed to Farmers Loan and Trust Co as substituted security in place of 1st parcel, also agreement as to release and modification of mortgages and consent, &c. Recorded in Sec 7 and 11. Farmers Loan & Trust Co as trustee under mortgage by Fleischmann Realty and Construction Co with Daniel P Hays et al as bondholders of said Fleischmann Realty and Construction Co. July 13, Re-recorded from July 24, 1908. Aug 20, 1908. 7:2015; 2030, 2033. 11:3191. nom
Same property. Certificate as to delivery of bonds, &c. Same to same. July 23. Re-recorded from July 24, 1908. Aug 20, 1908. 7:2015, 2030 and 2033 and 11:3191.
Lincoln av, No 166, e s, 25 n 135th st, 25x100, 2-sty frame tenement and store. Marie Hartmayer to C Wm Montgomery. Mort \$2,500. Aug 17, 1908. 9:2311. other consid and 100
Leggett av | n w cor Beck st, 250 to s Kelly st, x107.5, 1-sty Beck st | frame church and vacant. Robert Buchanan, Jr, to Kelly st | Wm J Hauser. All liens. April 18, 1908. 10:2685. nom
La Fontaine av, No 2166, e s, 57.8 s Quarry road, 20x95, 2-sty frame dwelling. Mary E C wife of Henry J Nichols to Mary Sutter. Morts \$4,800. Aug 12, 1908. Aug 14, 1908. 11:3063. other consid and 100
Mapes av, No 2081 | s w cor 180th st, 88x22.2, two 3-sty frame 180th st, No 790 | tenements and stores. Domenico Sebastiano to Rosa C Klinkel. Morts \$11,500. Aug 17, 1908. 11:3109. other consid and 100
Martha av | n e cor 240th st, 200 to 241st st, x100x—x65, vacant. 240th st | 241st st |
Martha av, n w cor 241st st, 100x100.
Katonah av, n e cor 241st st, 100x135.
Declaration as to deed dated Aug 7, 1908. Edw Riegelman to whom it may concern. Aug 19, 1908. 12:3390 and 3394.

JOHN C. ORR CO., India, Java and Huron Sts. and East River City of New York, Borough of Brooklyn

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Ferguson, Martin G to Aero Realty Co. Manhattan av, n e cor 109th st, runs n 145.11 to s s Cathedral Parkway, x e 236.10 x - on curve 166.4 to 8th av, x s 62 to 109th st, x w 370 to beginning. Leasehold. Aug 19, 1 year, 6%. Aug 20, 1908. 7:1845. 3,250

423, n s, 300 e 1st av, 16.8x85. Jan 22, 1908, due July 22, 1908, 6%. July 23, 1908. 2:437. Corrects error in issue of July 25, when 1st parcel read 9th st, No 423. 500



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106—120th st, No 427 East. Frank W Ferry agt William D Kirby et al and Ella Henry. 22.12
107—7th av, No 260. Otto Petersen agt Augusta Polifeme and Edward & Bernard Clark. 418.00
108—109th st, No 62 East. Jacob Kaplan et al agt Herman Shapiro. 328.66
109—155th st, s w cor Tinton av, 130x130. Locke & Smith Co agt St Anselm's R C School, John Koch Plumbing Co and Thomas J Reilly Co. 1,274.00
110—Satisfied.

Aug. 19.

111—Canal st, No 178. Libman Contracting Co agt Henry Goldberg, exr, and Fanny Goldberg, exrx. 700.00
112—27th st, No 43 West. H H Upham & Co agt Jefferson D M Thompson. 213.00
113—Tinton av, s w cor 155th st, 130x130. J L Mott Iron Works agt St Anselm's Roman Catholic School, Thomas J Reilly Co and John Koch Plumbing Co. 2,001.46
114—Goerck st, No 122. Edward Feuerstein agt Davis Skrulon. 27.22
115—116th st, No 28 West. David Shuldiner agt Louis N Adler, S Fox Construction Co and H Prugansky. 224.00

Aug. 20.

116—43d st, Nos 311 to 319 West. Edward Smolka & Co agt Charles and Arthur H Scribner (renewal). 261.52
117—135th st, n s, 322 w Walnut av, 150x200 to 136th st. Cross, Austin & Ireland Lumber Co agt N Y, New Haven & Hartford R R Co, Allen & Savage. 1,074.49
118—41st st, Nos 446 and 448 West. Morris Siegfried agt Abraham Shimans, Morris Solomon and Louis Valsky. 1,522.50
119—Delancey st, No 192½. Charles Pache agt Margaret A Burnett. 50.15
120—Lyon av s s, 52 w Parker av, 75x100. Zambetti Bros agt Marcus Nathan and B Steinmetz. 1,155.60
121—137th st, Nos 584 and 586 East. Haberman & Kerngood agt Pietro Altieri. 30.00
122—Lexington av, Nos 161 and 163. Same agt Michael Benincasa. 150.00
123—135th st, n s, 322 w Walnut av, 150x— to 136th st. Northampton Portland Cement Co agt N Y, New Haven & Hartford R R Co and Royalton Contracting Co. 1,130.00
124—7th av, s e cor 111th st, —x—. Anton Larsen agt Greene Court Building Co. 375.00
125—Broadway, s w cor 111th st, 100,10x175. German Grob & Son agt Moses Sahlein and George J Essig. 65.00
126—Bryant av, w s, 100 s 172d st, 150x100. David Meyer agt Davis & Silverman, Jacob Lipkin and Nathan Hurwitz. 231.50

Aug. 21.

127—Broadway, No 2845. T R McMann Co agt Broadway Cathedral Parkway Co and Geo J Essig. 918.87
128—Hamilton pl, Nos 79 to 83. Louis C Bergman agt Frank D Adams. 56.20
129—118th st, No 215 East. Same agt John Doe, Greater New York Builders & Contractors Co. 35.00
130—Madison av, No 1719. Same agt John Doe and Gordon & Stein. 34.00
131—234th st, n s, 200 e Verio av, 25x100. Michael Subitzky agt John Linder and Roger Burkley. 72.50
132—41st st, n s, 122 e 5th av, 22x98. Harry Velmintzky agt City & Country Land Improvement Co and Max Rothschild. 350.00

BUILDING LOAN CONTRACTS.

Aug. 15.

Washington av, e s, 65 n 167th st, 125x137. City Mortgage Co loans Brook Construction Co to erect three 6-sty flats; 8 payments. \$80,000

Aug. 17.

172d st, e s, 200 n Gleason av, 25x100. T Emory Clocke as atty loans Jacob Cohen to erect a —sty building; — payments. 4,000
Mead av, s s, 250 e Garfield st, 25x100. T Emory Clocke as atty loans Felix and Maria Farago to erect a —sty building; — payments. 4,000
Parker av, w s, 25 n St Raymond av, 25x100. T Emory Clocke as atty loans Mary M De Canio and Katie Marcon to erect a —sty building; — payments. 4,500

Aug. 19.

Stillwell av, e s, 500 n Saratoga av, 25x100. T Emory Clocke, attorney, loans John J Hogan and James W Nelson to erect a 2-sty building; 3 payments. 3,000
Brook av, e s, 150 n 139th st, 25x120. James G Wentz loans Jacob Streifer to erect a 5-sty apartment; 4 payments. 20,000
Audubon av, n w cor 177th st, 100x100. Title Ins Co of N Y loans Washington Heights Development & Construction Co to erect a —sty building; — payments. 100,000
Bowery, Nos 334 and 336. Elsie Powell loans Geo G Segal to erect an 8-sty loft building; 5 payments. 20,000

Aug. 20.

Garfield st, e s, 100 s Morris Park av, 25x100. George Hauser loans Charles Ringelstein to erect a 2-sty dwelling; — payments. 3,500

Aug. 21.

Minneford av, e s, 100 n Cross st, 25x247 to Long Island Sound. Frederick E Wood loans Thomas B Watson to erect a 2-sty dwelling; — payments. 3,500

SATISFIED MECHANICS' LIENS.

Aug. 15.

Spring st, Nos 195 and 197. G B Vanesco agt Pietro Giordano. (July 13, 1908). \$104.00
Broadway, w s, whole front between 73d and 74th sts. A J Ellis Co agt Onward Construction Co et al. (July 1, 1903). 13,819.07
Union av, s w cor 158th st. K E Walsh agt Max H Newman et al. (Jan 11, 1908). 1,087.00
Same property. Simon Green agt same. (Jan 17, 1908). 128.00
Same property. M Altieri & Sons agt same. (Nov 19, 1907). 600.00
Same property. John F Arnst agt same. (Dec 3, 1907). 1,072.00
Same property. Martha Manassa agt same. (Nov 30, 1907). 137.20
Same property. Jamestown Mantel Co agt same. (Nov 29, 1907). 3,954.60
Same property. Frank B Van Dusen trustee agt same. (Dec 4, 1907). 1,332.14
96th st, No 44 West. Moses J Perault Jr agt Louis W Morrison et al. (July 9, 1908). 111.00

Aug. 17.

Garfield st, e s, 100 n Van Nest av. Church E Gates & Co agt First Van Nest Hebrew Congregation et al. (Aug 14, 1908). 365.29

Aug. 18.

Riverside drive, n e cor 143d st. Metropolitan Grill Mantel & Fire Cabinet Works agt George Brown as pres't, etc. (Dec 23, 1907). 100.00

158th st, n w cor Union av. Globe Fire Proof Door & Sash Company agt Max H Newman et al. (Nov 12, 1907). 290.00
St Lawrence av, n w cor Merrill st. Unionport Lumber & Mfg Co agt John Doe et al. (July 8, 1908). 890.00
Same property. Same agt Sarah Spero et al. (July 15, 1908). 890.00

Aug. 19.

11th st, No 504 East. Adam Safir et al agt S Sattenstein et al. (May 18, 1907). 200.00

Aug. 20.

161st st, No 768 East. Nathan Janofsky et al agt Harry Meltzer et al. (July 23, 1908). 40.00
5th av, w s, between 110th and 111th sts. East River Mill & Lumber Co agt Pastime Amusement Co et al. (July 25, 1908). 723.70
Same property. Same agt same. (Aug 5, 1908). 723.70
Norfolk st, No 101. Morris Forman agt Mary Saideman et al. (May 27, 1908). 157.00
Same property. Morris Jaffe agt same. (May 18, 1908). 110.00
Same property. Same agt same. (May 15, 1908). 103.00

31st st, Nos 306 and 308 East. Antonio Filippi et al agt Annie Zinstein et al. (Aug 6, 1908). 1,052.00

Same property. Mayer Malbin et al agt same. (March 13, 1908). 668.74

Tremont av, Nos 733 to 737. Louis Katz agt Ignatz Modry. (Nov 7, 1907). 92.25
Same property. S Meenick agt same. (Nov 7, 1907). 92.25

Bryant av, w s, 100 s 172d st. Michael F Hickey agt Davis & Silverman et al. (Aug 3, 1908). 150.00
Orchard st, No 183. Jacob Pearlman agt Rose Featherman et al. (July 27, 1908). 533.00

Aug. 21.

Bryant av, w s, 100 s 172d st. Albert W De Long agt Davis & Silverman, Inc. (Aug 18, 1908). 1,225.00

69th st, Nos 315 to 321 West. B Masor & Co agt Archibald H Murdock et al. (Dec 2, 1907). 1,575.00

69th st, n s, 225 w West End av. Roof Maintenance Co agt Andrew Avitable et al. (July 25, 1907). 180.00

101st st, No 62 West. Gustav Ernst agt G Harris et al. (Dec 18, 1905). 421.00

¹Discharged by deposit.

²Discharged by bond.

³Discharged by order of Court.

ATTACHMENTS.

Aug. 13.

Atlas Motor Car Co; Frank E Malone; \$4,000; W B Donihee.

Horton Basket Machine Co; Fletcher, McCutchen & Brown; \$2,605.41; J H Richards.

Aug. 15.

Goodrich, Henry I; Nelson A Ransohoff; \$949.20; L B Pollak.

Ashley Mfg Co; Tolar & Hart; \$2,407.11; Battle & Marshall.

CHATTEL MORTGAGES.

Aug. 14, 15, 17, 18, 19 and 20.

AFFECTING REAL ESTATE.

Barker, J. 168 Centre. S A Barker. Gas and Electric Fixtures. \$10,000
Landau H Co. 143d st near 7th av. Gunney H Co. Boilers. 1,890
Shiffman, F. 56 W 129th. O Weinberg. Range, Boiler, etc. 500

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